

## Damir Drozdek

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**From:** Steven Usdan <StevenU@kornwasser.net>  
**Sent:** Tuesday, May 06, 2014 4:44 PM  
**To:** Damir Drozdek; Bill Sandre  
**Cc:** Shane Greenwood; Brad Klavano; Greg Schindler; Ben Brown  
**Subject:** RE: Masonry Wall

Damir,

Thank you very much; I appreciate it.

In your estimation, are the plans otherwise in condition for us to make payment and obtain a site work permit tomorrow morning? Same question-Sprouts building permit?

Steven

Steven H. Usdan  
CCA Acquisition Company, LLC  
Kornwasser Shopping Center Properties, LLC  
5670 Wilshire Boulevard  
Suite 1250  
Los Angeles, CA 90036

Tel: (323) 965-1510  
Fax: (323) 967-5696  
Cell: (323) 974-5200

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**From:** Damir Drozdek [mailto:DDrozdek@sjc.utah.gov]  
**Sent:** Tuesday, May 06, 2014 3:41 PM  
**To:** Steven Usdan; Bill Sandre  
**Cc:** Shane Greenwood; Brad Klavano; Greg Schindler; Ben Brown  
**Subject:** RE: Masonry Wall

Yes, I think we can work something along those lines out.  
Thanks,

**Damir Drozdek | Planner II | City of South Jordan**  
1600 W. Towne Center Drive | South Jordan, UT 84095  
O: 801.253.5203 ext 1290 | F: 801.253.5235

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**From:** Steven Usdan [mailto:StevenU@kornwasser.net]  
**Sent:** Tuesday, May 06, 2014 4:40 PM  
**To:** Damir Drozdek; Bill Sandre  
**Cc:** Shane Greenwood; Brad Klavano; Greg Schindler; Ben Brown  
**Subject:** RE: Masonry Wall

Damir,

I spoke with Bill and he told me that you are correct and the wall should be there. Bill has called Ted Didas to make this change.

We would very much appreciate the ability for R&O Construction to move forward immediately with the understanding that the wall must be added to the plans. If we promise to add the wall to the plans and deliver the revised plan to you expeditiously, can you approve the plans for permit tomorrow morning, with a stipulation that the wall is required and once we submit the revision the page can be changed out of the permit set?

We would very much appreciate any consideration you can provide in this regard.

Steven

Steven H. Usdan  
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**From:** Damir Drozdek [<mailto:DDrozdek@sjc.utah.gov>]  
**Sent:** Tuesday, May 06, 2014 3:14 PM  
**To:** Bill Sandre  
**Cc:** Steven Usdan; Shane Greenwood; Brad Klavano; Greg Schindler  
**Subject:** Masonry Wall

Bill,  
I know we discussed several options (i.e. rezone) awhile back to eliminate the wall along the southern boundary of the Oquirrh Mountain Marketplace subdivision but none of those options were ever approved or even applied for. Please explain why the wall is missing from the south boundary if none of these options were ever realized? The wall, by Ordinance, is still required and plans can't be approved as submitted. Please explain.  
Thanks,

**Damir Drozdek | Planner II | City of South Jordan**  
1600 W. Towne Center Drive | South Jordan, UT 84095  
O: 801.253.5203 ext 1290 | F: 801.253.5235

## Damir Drozdek

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**From:** Gary Whatcott  
**Sent:** Friday, April 11, 2014 3:56 PM  
**To:** Steven Usdan; Damir Drozdek  
**Cc:** Steve Barnes; Bill Sandre  
**Subject:** Re: Issue with Oquirrh Mountain Marketplace

Yes I agree to the 5 foot setback.

Gary Whatcott  
South Jordan City Utah

On Apr 11, 2014, at 15:53, "Steven Usdan" <[StevenU@kornwasser.net](mailto:StevenU@kornwasser.net)> wrote:

Gentlemen:

Bill just got off the phone with Damir who communicated that he will agree to the 5 foot landscaping buffer if Gary authorizes him to do so.

Gary, we would appreciate it if you would please authorize Damir to accept the 5 foot landscaping buffer along the southern boundary of the property consistent with the site plan presented to the City Council earlier this year?

Steven

Steven H. Usdan  
CCA Acquisition Company, LLC  
Kornwasser Shopping Center Properties, LLC  
5670 Wilshire Boulevard  
Suite 1250  
Los Angeles, CA 90036

Tel: (323) 965-1510  
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**From:** Steven Usdan  
**Sent:** Friday, April 11, 2014 2:43 PM  
**To:** 'Gary Whatcott'; Steve Barnes  
**Cc:** Bill Sandre  
**Subject:** RE: Issue with Oquirrh Mountain Marketplace

Gary,

I don't understand why this was not brought to my attention by my staff earlier however, if it had been brought to my attention earlier, I would have raised the same concerns regarding Sprouts and parking, among other concerns. Our plan currently provides for a 5 foot landscape buffer along the southern boundary of the site and, if we have to increase the landscape buffer to 10 feet, we will get into trouble with Sprouts and the adjacent anchor (probably HomeGoods).

I still don't understand why City Staff did not bring this issue up earlier this year when we met with City Staff and subsequently with the City Council specifically for the purpose of reviewing the attached site plan and the setbacks shown on it. If the setback along the southern boundary of the property was a problem for City Staff why did City Staff not raise this to me when I specifically asked about all of the setbacks shown on this plan?

Steven

Steven H. Usdan  
CCA Acquisition Company, LLC  
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5670 Wilshire Boulevard  
Suite 1250  
Los Angeles, CA 90036

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**From:** Gary Whatcott [<mailto:GWhatcott@sjc.utah.gov>]  
**Sent:** Friday, April 11, 2014 2:16 PM  
**To:** Steve Barnes; Steven Usdan  
**Subject:** Fwd: Issue with Oquirrh Mountain Marketplace

Steven here is what I am getting from our staff.

Gary Whatcott  
South Jordan City Utah

Begin forwarded message:

**From:** Damir Drozdek <[DDrozdek@sjc.utah.gov](mailto:DDrozdek@sjc.utah.gov)>  
**Date:** April 11, 2014 at 15:10:27 MDT  
**To:** Gary Whatcott <[GWhatcott@sjc.utah.gov](mailto:GWhatcott@sjc.utah.gov)>, Greg Schindler <[GSchindler@sjc.utah.gov](mailto:GSchindler@sjc.utah.gov)>  
**Cc:** Shane Greenwood <[SGreenwood@sjc.utah.gov](mailto:SGreenwood@sjc.utah.gov)>  
**Subject:** RE: Issue with Oquirrh Mountain Marketplace

Gary,  
That is not true. I made that very same comment from the time we first reviewed the project. Please see my comments attached to the email. The comment is highlighted in each document. And please check on the dates on those comment sheets.  
Thanks,  
Damir

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**From:** Gary Whatcott  
**Sent:** Friday, April 11, 2014 2:57 PM  
**To:** Greg Schindler; Damir Drozdek  
**Subject:** Fwd: Issue with Oquirrh Mountain Marketplace

Why are we just now finding this out? Can either of you give me some insight. Is this the first time Kornwasser has heard of this?

Gary Whatcott  
South Jordan City Utah

Begin forwarded message:

**From:** "Steven Usdan" <[StevenU@kornwasser.net](mailto:StevenU@kornwasser.net)>  
**To:** "Steve Barnes" <[SBarnes@sjc.utah.gov](mailto:SBarnes@sjc.utah.gov)>, "Gary Whatcott" <[GWhatcott@sjc.utah.gov](mailto:GWhatcott@sjc.utah.gov)>, "Rob Wall" <[RWall@sjc.utah.gov](mailto:RWall@sjc.utah.gov)>  
**Cc:** "Ben Brown" <[bbrown@mtnwest.com](mailto:bbrown@mtnwest.com)>, "Bill Sandre" <[BillS@kornwasser.net](mailto:BillS@kornwasser.net)>  
**Subject:** Issue with Oquirrh Mountain Marketplace

Gentlemen:

I hope that you are doing well and am hoping that you can help me with something. Bill Sandre brought to my attention that earlier this week the City has asserted a requirement that a 10 foot landscape buffer is required along the southern boundary of Oquirrh Mountain Marketplace (see attachments 2 and 3). This requirement is problematic because access and loading for Sprouts and the adjacent anchor tenant have consistently been shown on our site plans (see 1st attachment to this email which is the site plan we discussed in the closed session of City Council in the Council Chambers earlier this year). In order for this newly asserted requirement to be complied with, we would be forced to move the anchor buildings northward, which would reduce the parking field in front of Sprouts, thereby putting us in violation of the Sprouts lease. One of the main purposes of meeting with City Council and Staff earlier this year was to confirm whether or not the City Council was satisfied with the site plan attached to this email (see first attachment) in light of set-back requirements. While we were guided by City staff to address setbacks along the north, the east and the west of the site, at no point did City Staff inform us of a problem with the site plan because it did not provide for a 10 foot landscape buffer along the southern boundary of the property. Moreover, our specific understanding has been and our site drawings have been based upon the premise that the orientation of the Sprouts and adjacent anchor with the rear access and loading, abutting the City's property line, was acceptable. In light of the foregoing, in addition to putting the landlord in violation of the Sprouts Lease, this would delay the site work and delay construction of the Sprouts building.

Given that we entered into leases based upon the site plan that we have previously, consistently shown, we would appreciate the City's eliminating the newly asserted requirement of a 10 foot landscaping buffer along the southern boundary of the site. The

imposition of this requirement at this point in time is really problematic for us. Thank you in advance for your consideration of this matter.

Respectfully,

Steven

Steven H. Usdan  
Kornwasser Shopping Center Properties, LLC  
5670 Wilshire Boulevard  
Suite 1250  
Los Angeles, CA 90036

Tel: (323) 965-1510  
Fax: (323) 967-5696  
Cell: (323) 974-5200

Please update your records with our new address.

## Damir Drozdek

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**From:** Gary Whatcott  
**Sent:** Friday, April 04, 2014 10:12 AM  
**To:** stevenu@kornwasser.net  
**Cc:** Steve Barnes; Damir Drozdek  
**Subject:** Site Plan

Guys, sorry for my previous email, it was interrupted before it was to be sent. After discussing with the planning staff, the plans that were submitted to the City were submitted with the landscaping already shown at the larger area, that was not requested by the staff according to them and not comments were not given back regarding such. With that said you can expect the following: 1. We agree that the eastern landscaping area surrounding the eastern edge can be 10 feet, with trees and natural grasses. It would be the City's expectation that Kornwasser will work out will UDOT to maintain the excess between the 10 foot landscaping and the Bangerter Hwy, so it does not become unsightly with weeds and such. 2. We will require the tree wells in the Kornwasser project parking lots to comply to 6 stalls per tree well as demonstrated on the District commercial site.

Thanks,

**Gary L. Whatcott | Interim City Manager | City of South Jordan**  
**1600 W. Towne Center Drive | South Jordan, UT 84095**  
**O: 801.254.3742 | F: 801.254.3393**

## Memo

**TO:** Ted Didas, McNeil Engineering  
**CC:** Shane Greenwood / File

**DATE:** March 21, 2014  
**SUBJECT:** Oquirrh Mountain  
Marketplace – Site Plan -  
Review #3

**FROM:** Damir Drozdek, Planner II

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### Items to be addressed prior to site plan approval:

#### Overall Site Plan C1.00

1. Show pedestrian path around the development that connects 4000 West and all buildings on the site. In other words you should be able to walk from one building to the next across the parking lot without having to drive. The path must be ADA compliant (have ADA ramps at appropriate locations and be at least 5' wide). Show a safe route to get to the shops located at the east end of the development. Maybe this can be shown on a separate sheet.
2. Provide a safe crossing across 4000 West from Foxview Dr. (one of the requirements in the development agreement was to provide for good pedestrian connections between the shopping center and adjoining residential properties).
3. Is the line located at the east end of the Sprouts representing a screen wall for loading docks? If so, how high is the wall, and does the wall finish match the rest of the building? All loading docks must be screened from view and finished to match the main building exterior. The walls must be high enough to screen semi-trucks and docks from view.
4. 10' landscape buffer is required along the south boundary (behind the Sprouts store).

#### Horizontal Control Plan C1.02

5. ADA ramps are missing in the front of the Sprouts store. Why is there an ADA ramp in front of major 2 but no ramps in front of major 1?
6. See comment #4.

#### Overall Planting Plan L1.00

7. Show landscape area in square feet. One tree is required for every 500 sq. ft. of landscaping. A third of those must be evergreens (required parking lot and parkstrip trees are not figured in this calculation).
8. Note regarding columnar Norway spruce appears to be in a wrong location (under planting legend).

#### Planting Plan L1.01

9. Shade trees required at all parking row ends.

# Memo

## **Planting Plan L1.04**

10. 10' landscape buffer required along the south project boundary.

## **Miscellaneous**

11. Submit lighting plans including details on lighting poles/fixtures and photometrics plans.
12. Plans/site improvements for the Sprouts building should be incorporated into the plans for the overall site as this is the first building to be constructed. Or should that be a separate site plan application altogether?

**Please submit two full sized and two 11X17 sized plan sets. Return all redlines with comment sheets. Respond in writing to all questions and comments.**

## Memo

TO: Ted Didas, McNeil Engineering  
CC: Shane Greenwood / File

DATE: February 5, 2014  
SUBJECT: Oquirrh Mountain  
Marketplace – Site Plan -  
Review #2

FROM: Damir Drozdek, Planner II

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### Items to be addressed prior to site plan approval:

#### Overall Site Plan C1.00

1. Show pedestrian path around the development that connects 4000 West and all buildings on site. In other words you should be able to walk from one building to the next across the parking lot without having to drive. The path must be ADA compliant (have ADA ramps at appropriate locations and be at least 5' wide).
2. Provide a safe crossing across 4000 West from Foxview Dr. (one of the requirements in the development agreement was to provide for good pedestrian connections between the shopping center and adjoining residential properties).
3. Show a 6' decorative masonry wall along the south project boundary.
4. Show parking counts.
5. A diamond planter for shade trees is required at every 6 stalls for double parking rows. Plans show one diamond per approximately every 12 stalls. Please correct.
6. Is the line located at the east end of the Sprouts representing a screen wall for loading docks? If so, how high is the wall, and does the wall finish match the rest of the building? All loading docks must be screened from view and finished to match the main building exterior. The walls must be high enough to screen semi-trucks and docks from view.

#### Horizontal Control Plan C1.01

7. Vertical ADA parking signage is missing from the main parking lot.

#### Horizontal Control Plan C1.02

8. ADA ramps are missing in the front of the Sprouts store.

#### Overall Planting Plan L1.00

9. Shade trees required at all parking row ends.
10. Shade trees required at every third stall for single parking rows and every sixth stall for double parking rows.
11. Landscape and irrigation plans must be signed and stamped by a licensed landscape architect.
12. Berm the landscape buffer located along 4000 West at all locations possible where parking and/or driveway is located between a building and street. Vary the heights.

## Memo

13. Show property lines.
14. 10' landscape buffer required along the entire south project boundary line.
15. Show landscape area in square feet. One tree is required for every 500 sq. ft. of landscaping. A third of those must be evergreens (required parking lot and parkstrip trees are not figured in this calculation).
16. Evergreen trees must be at least 7' high.

### **Planting Plan L1.01**

17. See comments 9-13.

### **Planting Plan L1.02**

18. See comments 9-13.

### **Planting Plan L1.03**

19. See comments 9-13.

### **Planting Plan L1.04**

20. See comments 9-14.
21. A 10' landscape buffer is required between 4000 West ROW and any parking lot.

### **Miscellaneous**

22. Submit title report or ALTA survey for review. It should show all easements and other encumbrances located on the property.
23. Submit lighting plans including details on lighting poles/fixtures and photometrics plans.
24. Show typical dumpster enclosure detail. The enclosure walls must match the building exterior. The gates must be made of solid metal.
25. Plans/site improvements for the Sprouts building should be incorporated into the plans for the overall site as this is the first building to be constructed. Or should that be a separate site plan application altogether?

**Please submit two full sized and two 11X17 sized plan sets. Return all redlines with comment sheets. Respond in writing to all questions and comments.**

**IV. PUBLIC HEARINGS AND POTENTIAL \*\*ADMINISTRATIVE ACTION ITEMS**

\*\*Administrative Action = Less Discretion, Substantial Evidence (Objective Standard)

**A.1. Issue: ELISON MEDICAL BUILDING (WITHDRAWN)  
SITE PLAN – MEDICAL AND OFFICE BUILDING**  
**Address:** 3583 West 9800 South  
**File No:** SP-2013.27  
**Applicant:** Kurt DeHart, Interior Development, Inc.

| <b><u>Planning Commission Vote</u></b><br><b>WITHDRAWN BY APPLICANT because of an easement issue</b> |               |          |
|--|---------------|----------|
| Planning Commissioner  | Vote (yes/no) | Comments |
| Beverly Evans  | n/a           |          |
| Jason Haymore  | n/a           |          |
| Kathie Johnson   | n/a           |          |
| Evan Jones ( <i>resigned</i> )   | n/a           |          |
| Russ Naylor  | n/a           |          |
| Steven Roberts   | n/a           |          |
| Alex Winder  | n/a           |          |
| Public Comments of Note  |               |          |
| None.  |               |          |

**B.1. Issue: OQUIRRH MOUNTAIN MARKETPLACE  
SITE PLAN – RETAIL SHOPPING CENTER**  
**Address:** SW corner Bangerter Highway and 11400 South  
**File No:** SP-2013.32  
**Applicant:** Bill Sandre, CCA Acquisition Company, LLC

| <b><u>Planning Commission Vote</u></b><br><b>Approved as per Staff Recommendation w/ clarification on<br/>improvements on 11400 South to be approved by City Engineer.<br/>(6-0)</b> |               |   |
|--|---------------|---|
| Planning Commissioner  | Vote (yes/no) | Comments  |
| Beverly Evans  | Yes           |   |
| Jason Haymore  | Yes           |   |
| Kathie Johnson   | Yes           | Asked to have applicant review changes made to the Sprouts building elevations, based upon review of ARC. |

|                                |     |  |
|--------------------------------|-----|--|
| Evan Jones <i>(resigned)</i>   | n/a |  |
| Russ Naylor <b>Motion</b>      | Yes | Pleased with the changes made to the Sprouts building, as requested by ARC.  |
| Steven Roberts                 | Yes | Question about amount of retail space in the shopping center. Concern with future empty buildings and the parking arrangement for Pad C. |
| Alex Winder <b>Second</b>      | Yes |  |
| <b>Public Comments of Note</b> |     |  |
| None.                          |     |  |

**V. OTHER BUSINESS – NOT PUBLIC HEARINGS**

**C.1. Issue: MOWER MEDIC DISPLAY SHED  
CONDITIONAL USE PERMIT/SITE PLAN AMENDMENT**  
**Address: 11273 South Redwood Road**  
**File No: CUP-2013.15**  
**Applicant: Ron Dickerson**

| <b><u>Planning Commission Vote</u></b><br><b>Approved as per Staff Recommendation (5-1)</b> |               |   |
|---|---------------|---|
| Planning Commissioner   | Vote (yes/no) | Comments  |
| Beverly Evans <b>Motion</b>   | Yes           |   |
| Jason Haymore   | Yes           | Question about removing the shed daily. Also, type of landscaping for screening. Question about how retailers handle outside display. |
| Kathie Johnson  | Yes           | Question on interpretation of a permanent building vs. display. Raised the question as to whether or not the code needs to be amended |
| Evan Jones <i>(resigned)</i>  | n/a           |   |
| Russ Naylor   | Yes           |   |
| Steven Roberts  | No            | Question on potential conflict of wording of staff report and screening of display.   |
| Alex Winder <b>Second</b>   | Yes           |   |
| <b>Public Comments of Note</b>  |               |   |
| None.   |               |   |

**VI. PUBLIC HEARINGS AND POTENTIAL \*LEGISLATIVE ACTION ITEMS**

\*Legislative Action = More Discretion, Reasonably Debatable (Subjective Standard)

# SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 11/26/2013

**Issue:** OQUIRRH MOUNTAIN MARKETPLACE  
SITE PLAN – RETAIL SHOPPING CENTER  
**Address:** Southwest corner of Bangerter Highway and 11400 South  
**File No:** SP-2013.32  
**Applicant:** Bill Sandre, CCA Acquisition Company, LLC

**Submitted by:** Damir Drozdek, Planner II  
Shane Greenwood, Assistant City Engineer

## Staff Recommendation (Motion Ready):

- **Approve** Application SP-2013.32 to allow for construction of a retail shopping center on property located at the southwest corner of 11400 South and Bangerter Highway with the following:
  - *Compliance with applicable City Codes,*
  - *Compliance with Development Agreement, and*
  - *Developer shall construct public infrastructure improvements as outlined and described in the background section of the report stated below.*

**ACREAGE:** Approximately 12 acres  
**CURRENT ZONE:** C-C (Commercial - Community) Zone  
**CURRENT USE:** Vacant  
**FUTURE LAND USE PLAN:** COM (Commercial)

**NEIGHBORING ZONES/USES:** North – R-M-6 / 11400 South  
South – A-5 / Vacant Land  
West – R-2.5, R-3 and C-C / 4000 West  
East – BH-MU / Bangerter Highway

## BACKGROUND:

The proposed retail shopping center is located at approximately the north half of a parcel that stretches from 11400 South to 11800 South and from Bangerter Highway to 4000 West. Only the north portion of the parcel is zoned commercial and proposed to be developed. The shopping center will abut Bangerter Highway and 11400 and will be accessed from 4000 West.

There are four proposed access points to the shopping center. The southernmost access is intended to be reserved for delivery vehicles only. There will be no access off 11400 South or Bangerter Highway. There will be pedestrian connections provided with the shopping center to accommodate the foot traffic between the commercial buildings in the center, and also between the adjacent residential developments to the west and the north and the shopping center.

As part of this development, 4000 West, from 11400 South to 11800 South, will be improved by the developer along both sides of the road to meet all the City requirements, City Standards and other improvements as required by the City Engineer. 11800 South, from Bangerter Highway to 4000 West, will be improved by the developer along the north side of 11800 South to meet all City requirements, City Standards and any other improvements as required by the City Engineer. In addition to the two aforementioned roads, the intersection of 4000 West and 11400 South will be improved by the developer to provide two (2) left turn lanes on west bound

11400 South to South bound 4000 West. This will be accomplished by widening 11400 South to the north as approved by the City Engineer. As part of the City purchasing the property to the south of this development, the City and the Developer have agreed to share in the costs of the improvements as outlined above.

This development will not be required to detain or retain on site. The developer shall work with the City Engineering Office to determine the appropriate discharge to a City Constructed Storm Drainage Retention Basin to be constructed on the property to be purchased by the City.

A Public Water line shall be constructed by the developer to loop through the Development and connect into the 4000 West existing water line at two locations and placed in a Public Utility Easement as required by the City Engineer.

There will be no fencing installed along Bangerter Highway, 11400 South or 4000 West. There will be a decorative masonry wall installed along the south boundary line to help buffer the open space to the south from the proposed commercial development to the north.

There will be a landscape buffer installed along Bangerter Highway that will be wide enough to plant trees and other landscape as well as one along 11400 South and 4000 West. In addition to a required landscape buffer, 4000 West will also have parkstrip street trees. Additionally there will be shade trees planted at all parking row ends and inside of parking rows as per City requirements.

The proposed shopping center will consist of retail uses ranging from grocery stores (Sprouts) to eating establishments and other types of retail business. The only non-retail use planned as of this moment is a bank proposed to be located adjacent to 4000 West. The buildings are planned to be finished in various materials ranging from stucco to brick and metal. Elevations for the Sprouts building were reviewed by the ARC on November 20, 2013. The building exterior is shown in stucco and brick. A recommendation made by the Committee was to increase the amount of brick on the building as stucco compromised the vast majority of the exterior finish. The other buildings at the center will be reviewed by the ARC as they come forward for the City review and approval.

### **STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:**

#### **Findings:**

- Retail uses (sales tax generating uses) are typically listed as permitted uses in the C-C zone (see section 17.52.020).
- ARC recommended the Sprouts building approval with a condition that the amount of brick be substantially increased, especially in the front and along the sides with greater visibility from Bangerter Highway.
- The project is in conformance with the Goals and Policies of the General Plan as follows:
  - Policy LU-3.2 Commercial land uses should not be permitted to occur in scattered or 'strip' form of development, but should be aggregated in attractively and cohesively designed developments.
  - Policy LU-3.3 Developments should be encouraged or required, depending on the underlying zone, to have architectural and site design orientation to the street, including the prohibition of parking lots between the building and the street.
  - Policy LU-3.6 Major (larger than 5 acres) commercial development should occur in areas served by arterial and collector streets as indicated on the Future Land Use Plan Map.
  - Policy LU-3.8 Designated properties adjacent to I-15, South Jordan Parkway, Redwood Road, Jordan Gateway, 11400 South, 11800 South, Bangerter Highway, 9800 South and the Mountain View Corridor should be considered for acceptable locations for major retail land uses. Proposals for commercial development or redevelopment should be encouraged in these areas as designated on the Future Land Use Plan Map.

- Policy T-7.6 Improve pedestrian safety and walkability by identifying key walking desire routes and potential pedestrian conflicts when connecting activity centers, and then provide appropriate crosswalks, crosswalk systems, and other pedestrian connections.
- Policy T-7.9 Require sidewalks with tree-lined streets on both sides of all streets, particularly on arterial and collector streets, unless separated pedestrian pathways are provided.
- Policy ED-1.10 Identify uses/businesses/employers that provide goods and services that will increase convenience for City residents, that will increase the variety of places to shop and that will help the City become a full service community.
- Policy ED-1.11 Actively recruit targeted retail, restaurant, and employment base businesses, with higher paying salaries.
- Policy ED-1.12 Seek a better balance of the 'jobs to dwelling unit' ratio in the City by promoting new businesses and job opportunities for City residents, including seasonal and part time jobs for youth.
- Policy ED-2.1 Maximize the economic development potential at key nodes within the City. Encourage commercial activities around major intersections with I-15, 1300 West, Redwood Road, Bangerter Highway, Mountain View Corridor, South Jordan Parkway and 11400 South.

**Conclusion:**

- The proposed project will meet the Goals and Policies of the General Plan as well as meet the requirements of the Development and the Planning and Land Use Codes.

**Recommendation:**

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

**FISCAL IMPACT:**

- It will have a net positive fiscal impact with revenues generated mostly from sales tax and property taxes.

**ALTERNATIVES:**

- Approve the Application with conditions.
- Deny the Application.
- Schedule the Application for a decision at some future date.

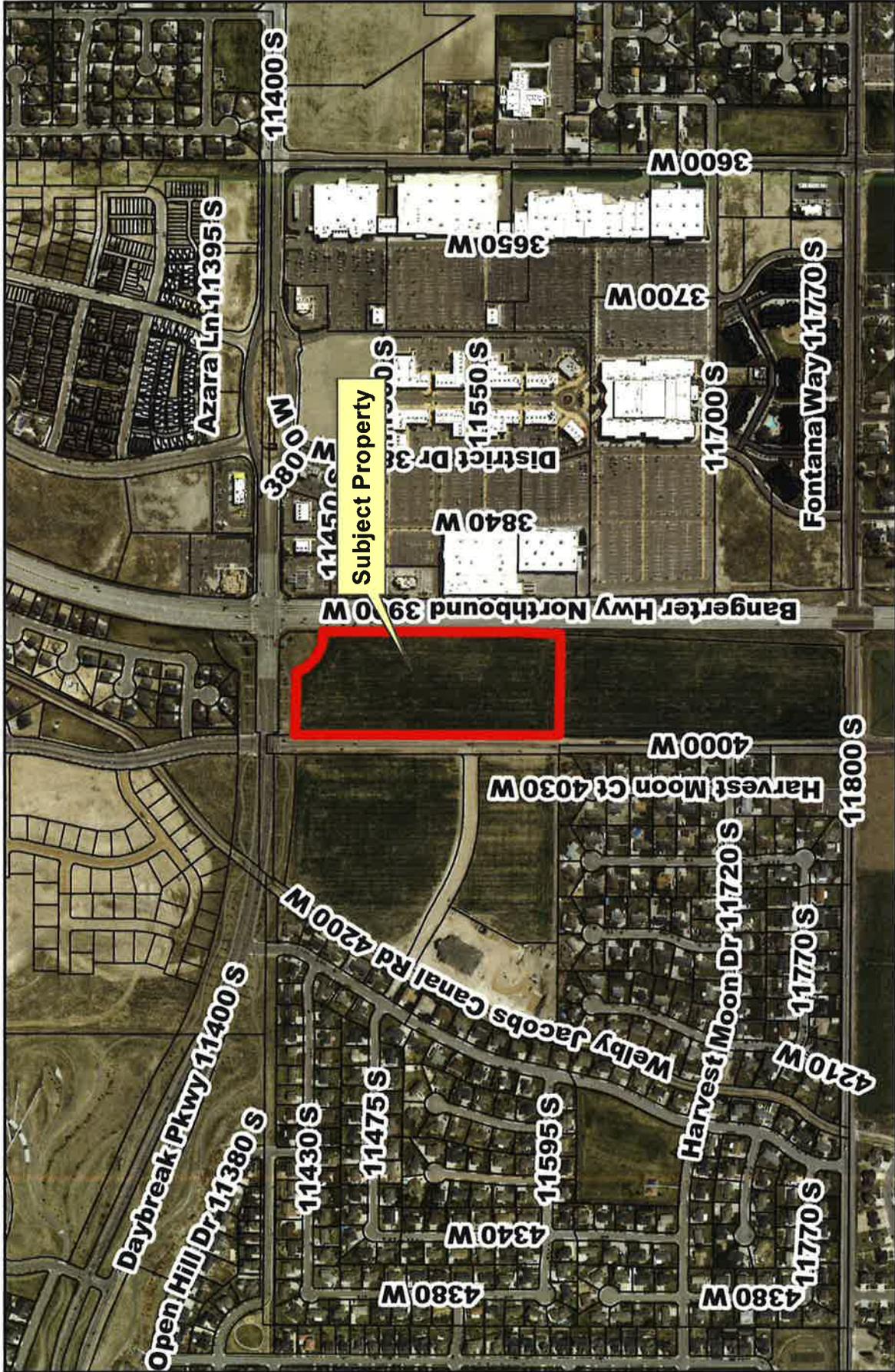
**SUPPORT MATERIALS:**

- Aerial Map
- Zoning Map
- Site Plan
- Landscape Plan
- Elevations/Color Rendering




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Damir Drozdek  
 Planner II  
 Community Development Department



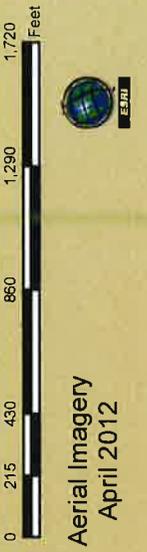
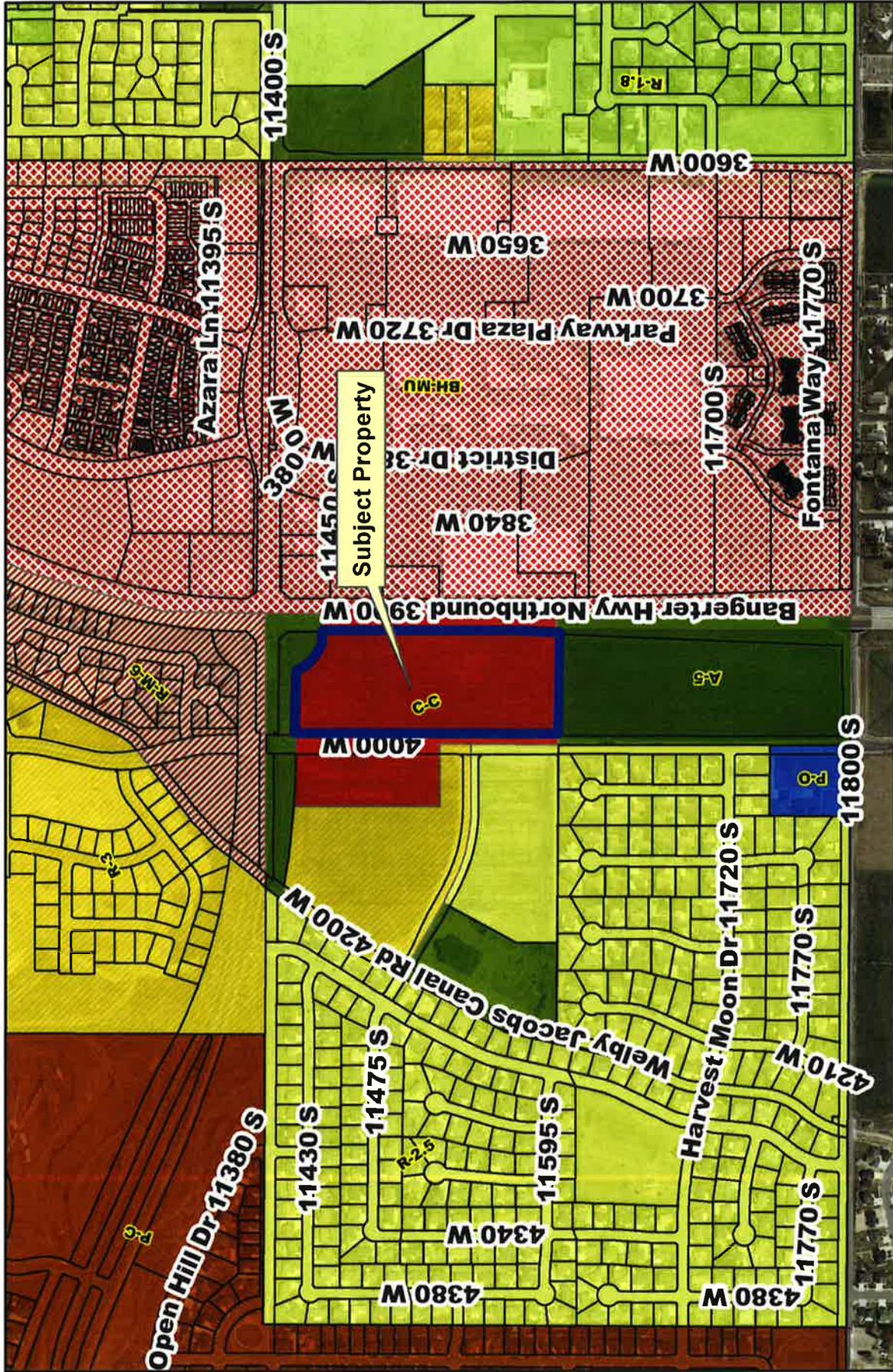
**Legend**  
 STREETS  
 PARCELS

# Aerial Map

## City of South Jordan

Aerial Imagery  
 April 2012





Aerial Imagery  
April 2012

# Zoning Map

## City of South Jordan

- Legend**
- STREETS
  - PARCELS

BANGERTEr HIGHWAY

11400 SOUTH STREET

4000 WEST STREET

FOXVIEW DRIVE

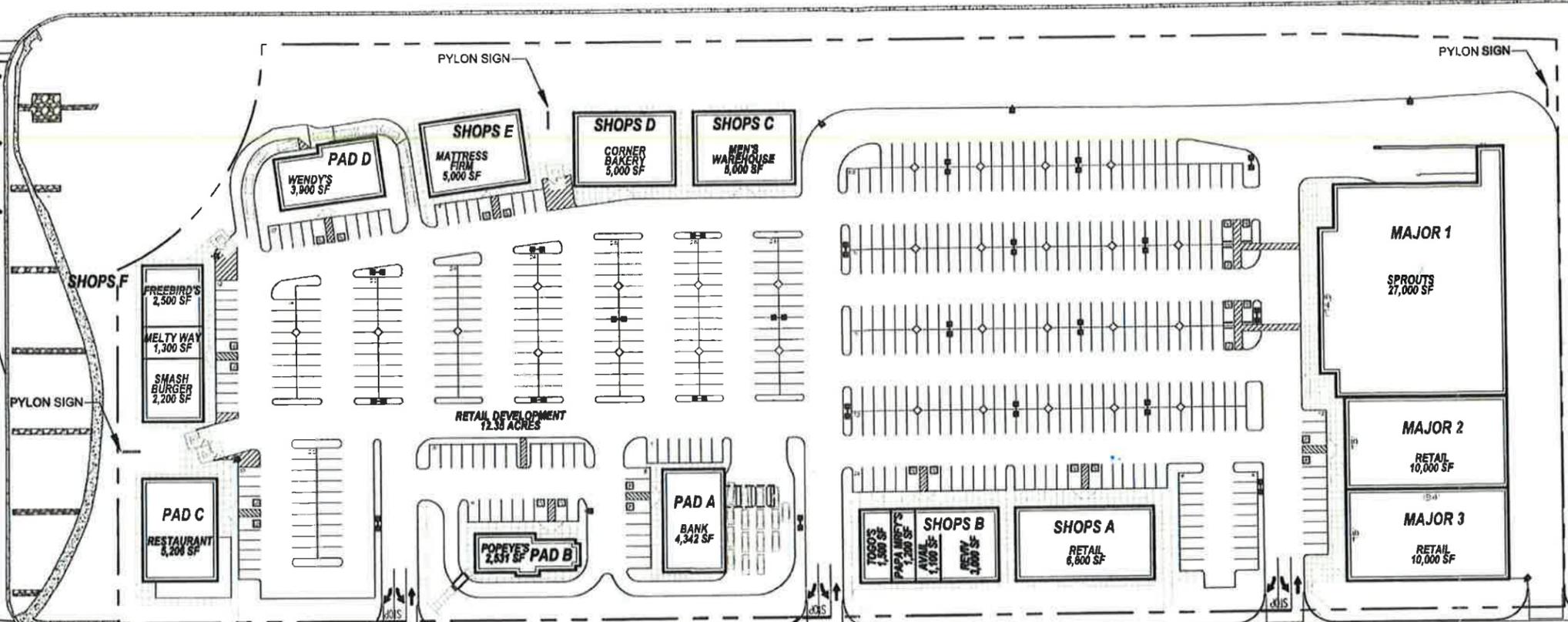
FUTURE  
COMMERCIAL / RETAIL  
DEVELOPMENT - ZONED C-C

FUTURE  
LOW DENSITY  
RESIDENTIAL



SCALE: 1" = 50'-0"

| SITE DATA               |                  |        |
|-------------------------|------------------|--------|
| CROSS SITE AREA         | 120,766 +/- S.F. | 100 %  |
| PROPOSED BUILDING AREA  | 12,238 +/- ACRES | 10.1 % |
| PARKING AREA            | 713,442 S.F.     | 58.4 % |
| REGULAR STALLS PROVIDED | 589 STALLS       |        |
| ACCESSIBLE PROVIDED     | 11 STALLS        |        |
| VAN ACCESS PROVIDED     | 11 STALLS        |        |
| TOTAL PARKING PROVIDED  | 611 STALLS       |        |
| PARKING RATIO           | 5.1 / 1,000 S.F. |        |
| LANDSCAPE AREA          | 120,766 S.F.     | 23.4 % |



CCA-Acquisition Company, LLC  
5670 W. 125th Blvd., Suite 1250  
Los Angeles, CA 90036  
(323) 965-1510 - Phone  
(323) 956-1520 - Fax

CERTAIN ELEMENTS ON THIS PLAN  
MAY BE INDICATED AS  
"FUTURE OR PROPOSED".  
CCA ACQUISITION COMPANY, LLC  
MAKES NO REPRESENTATION THAT  
THE FUTURE DEVELOPMENT WILL  
OCCUR AS SHOWN.

**OQUIRRH MOUNTAIN MARKETPLACE**  
SWC BANGERTEr HIGHWAY & 11400 SOUTH STREET  
SOUTH JORDAN, UTAH

- Preliminary
  - City Submittal
  - Construction
  - Bid Package
- Project Number:  
Date: 16-NOV-2013  
Drawn By: B. SANDRE  
Revisions:  
△  
△  
△

TITLE  
**SITE PLAN**  
Sheet Number:  
**SP-01**

BANGERTEER HIGHWAY

11400 SOUTH STREET

4000 WEST STREET

FOXVIEW DRIVE

FUTURE  
COMMERCIAL / RETAIL  
DEVELOPMENT - ZONED C-C

PROPOSED LANDSCAPE PLAN  
SCALE: 1" = 50'-0"



CCA Acquisition Company, LLC  
5870 Wilshire Blvd., Suite 1250  
Los Angeles, CA 90038  
(323) 955-1510 - Phone  
(323) 950-1820 - Fax

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OQUIRRH MOUNTAIN MARKETPLACE  
SWC BANGERTEER HIGHWAY & 11400 SOUTH STREET  
SOUTH JORDAN, UTAH

Preliminary  Bid Package  
 City Submittal  Construction

Project Number:

Date: 16-NOV-2013

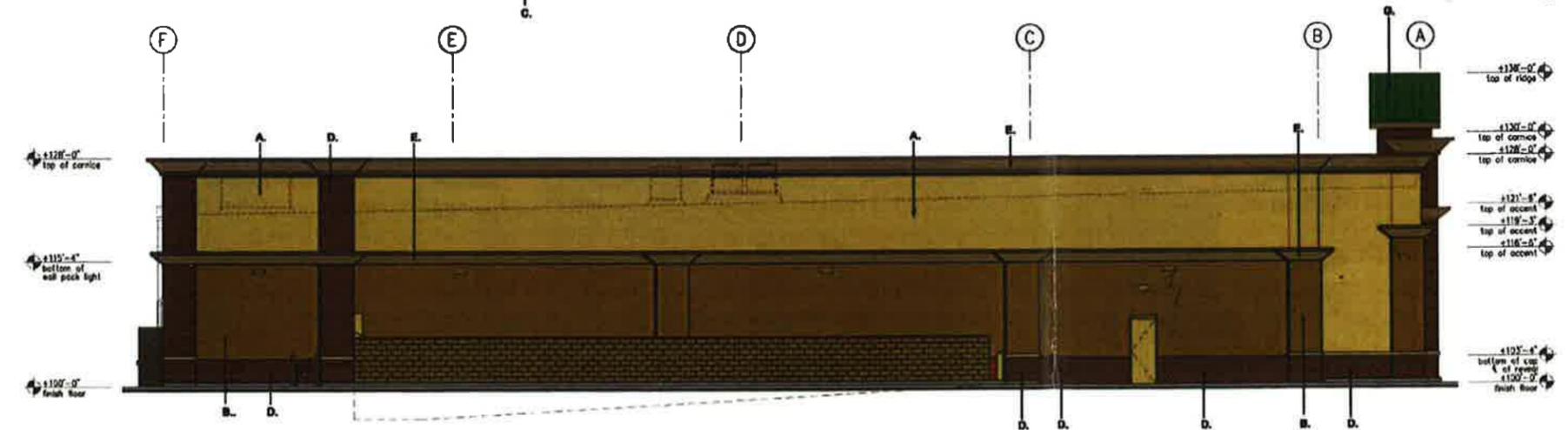
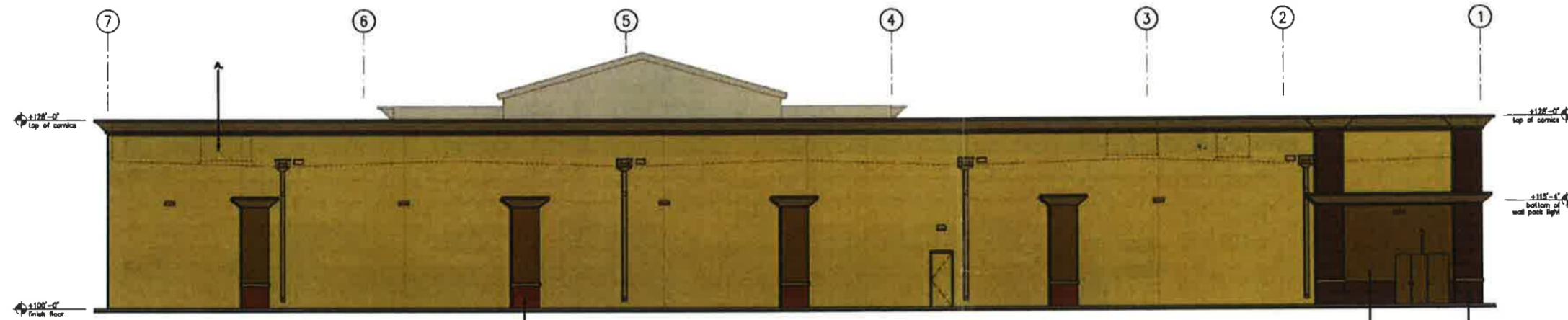
Drawn By: B. SANDRE

Revisors:

Title:  
LANDSCAPE  
PLAN

Sheet Number:  
LS-01

| PLANT MATERIAL LIST         | QUAN. | SYM. | COMMON/BOTANICAL NAME  | SIZE                       |
|-----------------------------|-------|------|--|----------------------------|
| <b>SHADE / STREET TREES</b> |       |      |  |                            |
| XX                          | UL    |      | LITTLE LEAF LINDEN<br><i>Tilia cordata</i>   | 7' CALIPER<br>SINGLE TRUNK |
| XX                          | SH    |      | SHADYMASTER HONEYLOCUST<br><i>C. macrocarpa</i> var. <i>Shadymaster</i>                    | 7' CALIPER<br>SINGLE TRUNK |
| XX                          | NM    |      | NORWAY MAPLE<br><i>Acer platanoides</i>  | 7' CALIPER<br>SINGLE TRUNK |
| XX                          | RP    |      | ROYAL PURPLE ASH<br><i>Fraxinus americana</i> 'Royal Purple'                               | 7' CALIPER<br>SINGLE TRUNK |
| <b>EVERGREEN TREES</b>      |       |      |  |                            |
| XX                          | VP    |      | VANDERWOLF'S PYRAMID PINE<br><i>Pinus baltica</i> 'Glauca' 'Vanderwolf's Pyramid'          | 7' HEIGHT                  |
| XX                          | MT    |      | MOUNT TRUFFLE BOGEMAN PINE<br><i>Pinus murrayana</i> 'Mtn Truffle'                         | 5' HEIGHT                  |
| XX                          | AP    |      | ALSTRIAN PINE<br><i>Pinus nigra</i>  | 6' HEIGHT                  |
| XX                          | C3    |      | COLORADO SPRUCE<br><i>Picea pungens</i>  | 7' HEIGHT                  |
| <b>ORNAMENTAL TREES</b>     |       |      |  |                            |
| XX                          | CF    |      | GALLERY FLOWERING PEAR<br><i>Pyrus calleryana</i> 'Charlottae'                             | 7' CALIPER<br>SINGLE TRUNK |
| XX                          | IC    |      | IRIDESCENT CLOUD CRAB APPLE<br><i>Malus id. 'Truettlow'</i>                                | 7' CALIPER<br>SINGLE TRUNK |
| XX                          | ER    |      | EASTERN REDBUD 'TORRESI PANZY'<br><i>Cercis canadensis</i> 'Torresii Panzy'                | 7' CALIPER<br>SINGLE TRUNK |
| <b>EVERGREEN SHRUBS</b>     |       |      |  |                            |
| XX                          | MP    |      | MOPS MUGHO PINE<br><i>Pinus mugo</i> 'Mops'  | 1 GALLON<br>12"-18" SPREAD |
| XX                          | CO    |      | CREEPING OREGON GRAPE<br><i>Mahonia repens</i>   | 1 GALLON<br>12"-18" SPREAD |
| XX                          | SO    |      | SEA GREEN JUNIPER<br><i>Juniperus chinensis</i> 'Sea Green'                                | 1 GALLON<br>12"-18" SPREAD |
| <b>DECIDUOUS SHRUBS</b>     |       |      |  |                            |
| XX                          | RA    |      | RED ACE POTENTILLA<br><i>Potentilla fruticosa</i> 'Red Ace'                                | 1 GALLON<br>12"-18" HEIGHT |
| XX                          | LG    |      | LIGHTWOOD GOLD FORTSING<br><i>Forsythia sp. 'Lightwood Gold'</i>                           | 1 GALLON<br>12"-18" HEIGHT |
| XX                          | SB    |      | SHRUBBY BLUE ANEM SPIREA<br><i>Coronilla x glabrata</i> 'Bastards Blue'                    | 1 GALLON<br>12"-18" HEIGHT |
| XX                          | RC    |      | RUBY CARACASS BARRBERY<br><i>Berberis thunbergii</i> 'Ruby Caracass'                       | 1 GALLON<br>12"-18" HEIGHT |
| XX                          | CP    |      | CHAMPION PYRAMID BARBERY<br><i>Berberis thunbergii</i> 'Champion Pyramid'                  | 1 GALLON<br>12"-18" HEIGHT |
| <b>GRASSES / ACCENTS</b>    |       |      |  |                            |
| XX                          | LB    |      | LITTLE BUNNY FOUNTAIN GRASS<br><i>Pennisetum setosum</i> 'Little Bunny'                    | 1 GALLON                   |
| XX                          | MF    |      | MOODY FOUNTAIN GRASS<br><i>Pennisetum setosum</i> 'Moody'                                  | 1 GALLON                   |
| XX                          | AN    |      | ADAM'S NEEDLE YUCCA<br><i>Yucca filamentosa</i>  | 5 GALLON<br>12"-18" HEIGHT |
| <b>TURF</b>                 |       |      |  |                            |
|                             |       |      | 80 BLUE SOO - MOGRASS SOO FARM<br>7-800-755-3234   |                            |
|                             |       |      | 7" MIXES GRAVEL MULCH - BIDE COLOR PROVIDE<br>OWNER SAMPLES FOR APPROVAL PRIOR TO INSTALL. |                            |
| <b>EDGERS</b>               |       |      |  |                            |
|                             |       |      | 4" x 6" EXTRUDED CONCRETE EDGER  |                            |

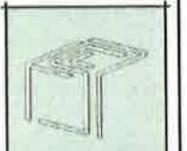


Note: The remaining elevation will be adjacent to another structure and will not require any type of relief or architectural features.

# PRELIMINARY ELEVATIONS - SPROUTS FARMERS MARKET

SCALE: 3/32" = 1'-0"

SWC Bangerter Highway & West 11400 South Street  
South Jordan, Utah



CCA Acquisition Company, LLC  
5570 Whittier Blvd., Suite 1250  
Los Angeles, CA 90036  
(323) 986-1610 - Phone  
(323) 998-1820 - Fax

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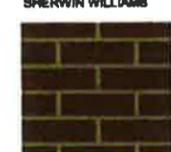
A. PAINT COLOR  
TRUSH CREAM SW1107  
SHERWIN WILLIAMS



B. PAINT COLOR  
RELIC BROUZE SW 6132  
SHERWIN WILLIAMS



C. PAINT COLOR  
PAINT TO MATCH BRICK  
SHERWIN WILLIAMS



D. DARK RED BRICK VENEER  
-RUNNING BOND



E. PAINT COLOR  
SW 6102 PORTABELLO  
SHERWIN WILLIAMS



F. ALUMINUM STOREFRONT SYSTEM  
CLEAR ANODIZED



G. STANDING SEAM MTL ROOFING  
HUNTER GREEN  
PAC-CLAD

OQUIRRH MOUNTAIN MARKETPLACE  
SWC BANGERTER HIGHWAY & 11400 SOUTH STREET  
SOUTH JORDAN, UTAH

Preliminary     Bid Package  
 City Submitted     Construction

Project Number:

Date: 16-NOV-2013

Drawn By: B. SANDRE

Revised:

Title:

SPROUTS

ELEVATIONS

Sheet:

A301



## Memo

18. Show landscape area in square feet. One tree is required for every 500 sq. ft. of landscaping. A third of those must be evergreens (required parking lot and parkstrip trees are not figured in this calculation).
19. Evergreen trees must be at least 7' high.
20. Landscape and irrigation plans must be signed and stamped by a licensed landscape architect.
21. Berm the landscape buffer located between the shopping center and 4000 West. Vary the height of the berm to break up the monotony.

### **Sprouts Elevations/Majors and Shops Elevations**

22. Where is the mechanical equipment located? All equipment must be screened from view.
23. Add more masonry (brick) to the Sprouts building as per ARC recommendation. Brick should be added in the front and the sides that have visibility from Bangerter Highway.
24. Elevations for the Majors show a wall on the side of the building. The wall finish must match the building exterior.
25. Each building will need to be presented before the ARC.

### **Cover Page**

26. The vicinity map shows one of the residential streets labeled as '11800 South' which is not correct. 11800 South is a collector street immediately to the south of the aforementioned street.
27. Please label 11400 South as 'Daybreak View Parkway'.

### **Miscellaneous**

28. Submit title report for review.
29. Submit lighting plans including details on lighting poles/fixtures and photometrics plans.
30. Submit all engineering/civil plans.
31. Separate sign permit required for all signage.

**Please submit three full sized and two 11X17 sized plan sets. Please return all redlines with comment sheets. Respond in writing to all questions/comments.**

## ARCHITECTURAL REVIEW COMMITTEE MINUTES

Wednesday, November 20, 2013

www.sjc.utah.gov

### 8:00 A. M. Roll Call:

**Committee Members present:** Claron Parry, Kathie Johnson, Russ Naylor, Damir Drozdek and Jake Warner

**Guests:** Garth Shaw (GSBS Architectects – Ultradent, Jeff Randall (Great Basin Engineering - Ultradent), Erwin Fisher (Ultradent), Bill Sandre (CCA Acquisitions – Oquirrh Mountain Shopping Center)

### I GENERAL BUSINESS ITEMS

- A. SP-2013.31, Ultradent Phase III Expansion, located at 10097 South Jordan Gateway, DEF Properties 2, LLC (Applicant)

Issues: The exterior of the pre-engineering metal shop is finished with metal.

Course of Mitigation: Metal shop should be finished with masonry to match the rest of the building.

Outcome: The Applicant will either finish the metal shop in masonry or will phase it out into the future.

- B. SP-2013.32, Oquirrh Mountain Marketplace, located at SWC of 11400 South and Bangerter Highway, SJ Marketplace, LLC (Applicant)

Issues: The proposed Sprouts building/elevations contain too much stucco.

Course of Mitigation: Add more masonry (brick or stone), specifically to the front and the Bangerter side of the building (south and east)

Outcome: The Applicant will add more masonry to the aforementioned sides and will have the revised elevations to Staff before the Planning Commission meeting.

- C. SP-AMEND-2013.33, District Heights Amendment, located at 11100 South River Heights Dr, Ernie Willmore, (Applicant)

### II ADJOURNMENT

There being no further business the meeting was adjourned at 9:15 am.

Scott L. Osborne, *Mayor*  
Mark Seethaler, *Council Member*  
Chuck Newton, *Council Member*  
Brian Butters, *Council Member*  
Steve Barnes, *Council Member*  
Larry Short, *Council Member*

John H. Geilmann, *City Manager*



PH: 801.254.3742 EMAIL: info@sjc.utah.gov FAX: 801.254.3393

## NOTICE OF PUBLIC HEARING

November 12, 2013

Dear Property Owner:

SJ Marketplace LLC has submitted an application for a Site Plan approval to develop the southwest corner of 11400 South and Bangerter Highway. The project is proposed to be developed as a shopping center consisting of retail buildings. The property is zoned C-C (Commercial - Community). It is approximately 12 acres. Salt Lake County records indicate that you own property within 300' of the subject property or are one of the public entities that may be affected by this proposal.

A Public Hearing regarding this proposal will be held before the South Jordan City Planning Commission on **Tuesday, November 26, 2013** at 6:30 p.m. at the South Jordan City Hall located at 1600 West Towne Center Drive, South Jordan, Utah. All interested parties are invited to attend.

A location/zoning map and a copy of the proposed Site Plan are attached to this notice and are also available for public review at the South Jordan Planning & Zoning Department located on the 2<sup>nd</sup> floor of the City offices during regular business hours.

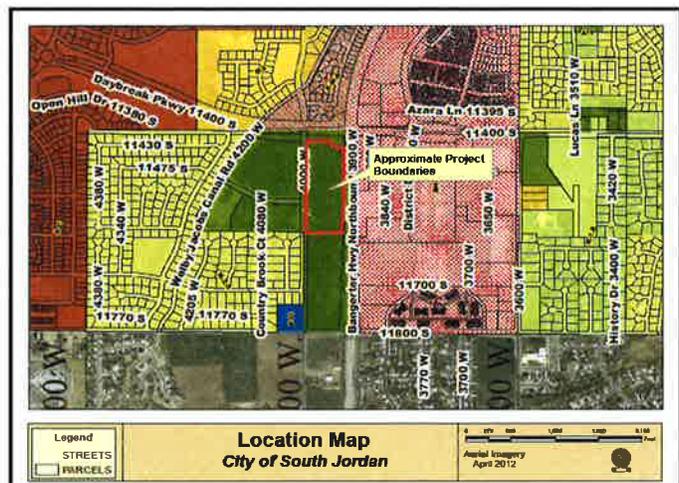
Should you desire further information, you may contact:

**Project Applicant:**                      **Bill Sandre,**                      **Business Phone: (323) 965-1510**

or the Planning and Zoning Staff at the City offices or by telephone at (801) 254-3742 during regular business hours.

Sincerely,

Damir Drozdek  
Planner II  
Community Development Department





|   |  |   |
|---|--|---|
| BEALES, ROBERTA J &<br>JESSE E; JT<br>4027 W HARVEST MOON DR<br>SOUTH JORDAN UT 84095 8015  | GITTINS, JAMES D &<br>SANDY; JT<br>11616 S HARVEST MOON CT<br>SOUTH JORDAN UT 84095 8005     | MCNALL, E. MICHAEL &<br>SUSAN E; JT<br>382 E BRAMBLEBERRY LN<br>DRAPER UT 84020 9411              |
| BOYER JORDAN HEIGHTS LC<br>90 S 400 W # 200<br>SALT LAKE CITY UT 84101 1200                 | HATCH, BRADFORD S &<br>ERIKA E; JT<br>11704 S HARVEST MOON CT<br>SOUTH JORDAN UT 84095 8005  | PAULK, RAYMOND G<br>11657 S HARVEST MOON CT<br>SOUTH JORDAN UT 84095 8006                         |
| CALDWELL, TODD &<br>SHANNON; JT<br>1226 W MEADOW RIDGE LN<br>SOUTH JORDAN UT 84095 9220     | HISLOP, BRIAN M &<br>SHANNON J; TC<br>11687 S HARVEST MOON CT<br>SOUTH JORDAN UT 84095 8006  | ROTH, JASON T<br>4013 W HARVEST MOON DR<br>SOUTH JORDAN UT 84095 8015                             |
| CERVANTES, MARIO R<br>11363 S HEREFORD CT<br>SOUTH JORDAN UT 84095 4152                     | J C PENNEY PROPERTIES INC<br>PO BOX 10001<br>DALLAS TX 75301                                 | SABIN, JEREMY P &<br>JESSICA; JT<br>11636 S HARVEST MOON CT<br>SOUTH JORDAN UT 84095 8005         |
| CHRISTENSEN, STACI &<br>DARREN; JT<br>11674 S HARVEST MOON CT<br>SOUTH JORDAN UT 84095 8005 | JORDAN HEIGHTS HOA, INC<br>90 S 400 W # 200<br>SALT LAKE CITY UT 84101 1200                  | SAN TROPEZ WEST HOLDINGS LLC<br>595 S RIVERWOODS PKWY<br>LOGAN UT 84321                           |
| CORP OF PB OF CH JC OF LDS<br>50 E NORTHTEMPLE ST #2225<br>SALT LAKE CITY UT 84150          | KONG, TAO &<br>ZHAO, NING; JT<br>11369 S HEREFORD CT<br>SOUTH JORDAN UT 84095                | SHAW, CHARLES T &<br>SHEILA R; JT<br>11562 S TARA WOODS LN<br>SOUTH JORDAN UT 84095 8053          |
| DALLEY, JASON M &<br>TAMMIE H; JT<br>11686 S HARVEST MOON CT<br>SOUTH JORDAN UT 84095 8005  | LEFLER, RICHARD R &<br>ROBYNN K; JT<br>11654 S HARVEST MOON CT<br>SOUTH JORDAN UT 84095 8005 | TENGONO, YOLANDA<br>3337 S STATE ST<br>SOUTH SALT LAKE UT 84115 4525                              |
| DISTRICT LC<br>90 S 400 W # 200<br>SALT LAKE CITY UT 84101 1200                             | MACDONALD, WILLIAM &<br>DEBRA; JT<br>11671 S HARVEST MOON CT<br>SOUTH JORDAN UT 84095 8006   | WAREHAM, RANDOLPH W II &<br>ANGELA H; JT<br>11703 S HARVEST MOON CT<br>SOUTH JORDAN UT 84095 8006 |
| DUERI, MARK S &<br>SHELLY L; JT<br>11623 S HARVEST MOON CT<br>SOUTH JORDAN UT 84095 8006    | MARSHALL, MARK L<br>11622 S HARVEST MOON CT<br>SOUTH JORDAN UT 84095 8005                    |   |
| FUGAL, CAROLYN; ET AL<br>11639 S HARVEST MOON CT<br>SOUTH JORDAN UT 84095 8006              | MCDONALD, MITCHELL R &<br>BRITTANY K; JT<br>11362 S HEREFORD CT<br>SOUTH JORDAN UT 84095     |   |



CITY OF SOUTH JORDAN ■ PLANNING & ZONING  
 1600 W. TOWNE CENTER DRIVE ■ SOUTH JORDAN UT 84095  
 TEL. (801) 254-3742 ■ FAX. (801) 253-5235

PLANNING & ZONING APPLICATION

CHECK ONE:

|         |  |                           |  |           |                                     |
|---------|--|---------------------------|--|-----------|-------------------------------------|
| Appeal  |  | Minor Site Plan Amendment |  | Site Plan | <input checked="" type="checkbox"/> |
| Concept |  | Land Use Amendment        |  | Other     |                                     |
| CUP     |  | Rezoning                  |  |           |                                     |

OQUIRRI MOUNTAIN

Project Name: ~~XXXXX~~ MARKETPLACE # SP-2013.32

Property Owner Name: SS MARKETPLACE, LLC

Address: 5670 WILSHIRE BOULEVARD, SUITE 1250 LOS ANGELES CA, 90036

Phone (business, home or cell): 323 965-1510 Email or Fax: bills@kornwasser.net

Agent Name: BILL SANDRE Business: CCA ACQUISITION COMPANY, LLC

Address: 5670 WILSHIRE BLVD. SUITE 1250 LOS ANGELES, CA 90036

Phone (business, home or cell): 323-965-1510 Email or Fax: bills@kornwasser.net

Engineer/Surveyor/Architect:

Name: TED DIDAS Cert. Number \_\_\_\_\_

Firm Name: MCNEIL ENGINEERING Address: 8610 SOUTH SANDY PARKWAY SUITE 200 SANDY, UTAH 84070

Phone (business, home or cell): 801-255-7700 Email or Fax: ted@mcneileng.com

Subject Property Information:

Address/Location: SWC 114TH & BANGERTER HWY Zone District: C-C

Property Size (acres): 12.35

Brief Description of Proposal and Proposed Use of Property: CURRENTLY VACANT LAND PROPOSED USE WILL BE COMMERCIAL/RETAIL SHOPPING CENTER

If Rezoning or Land Use Change:

Proposed change from: N/A to: N/A

Fee: \$1,677.75  
 Date Paid: 11-12-13  
 Received By: [Signature]

F:/COMMON/APPLICATIONS/GENERAL APP.DOC

11-12-13  
 NO other authorization required. Owner has made appropriate representations.  
[Signature]

CCA Acquisition Company,  
5670 Wilshire Blvd, Suite #1250  
Los Angeles, CA 90036  
(323) 965-1510

NATIONAL BANK OF CALIFORNIA  
LOS ANGELES, CA 90036  
16-3936/1220

13448

12-Nov-2013

PAY TO THE  
ORDER OF

SOUTH JORDAN

\$ 1677.75

ONE THOUSAND SIX HUNDRED SEVENTY SEVEN

75/100 DOLLARS

▲ TAMPER RESISTANT TONER AREA ▲

MEMO

*Steve Weber*

CCA Acquisition Company, LLC

13448

CITY OF SOUTH JORDAN  
REVENUE STATEMENT

RECEIVED FROM: CCA Acquisition Company LLC

DATE: 11-12-13

| ACCOUNT # | DESCRIPTION         | AMOUNT      |
|-----------|---------------------|-------------|
|           | Site Plan Review    | \$ 1,627.75 |
|           | (Planning & Zoning) | \$ 50.00    |
|           | Postage             |             |
|           |                     |             |
|           |                     |             |
|           |                     |             |

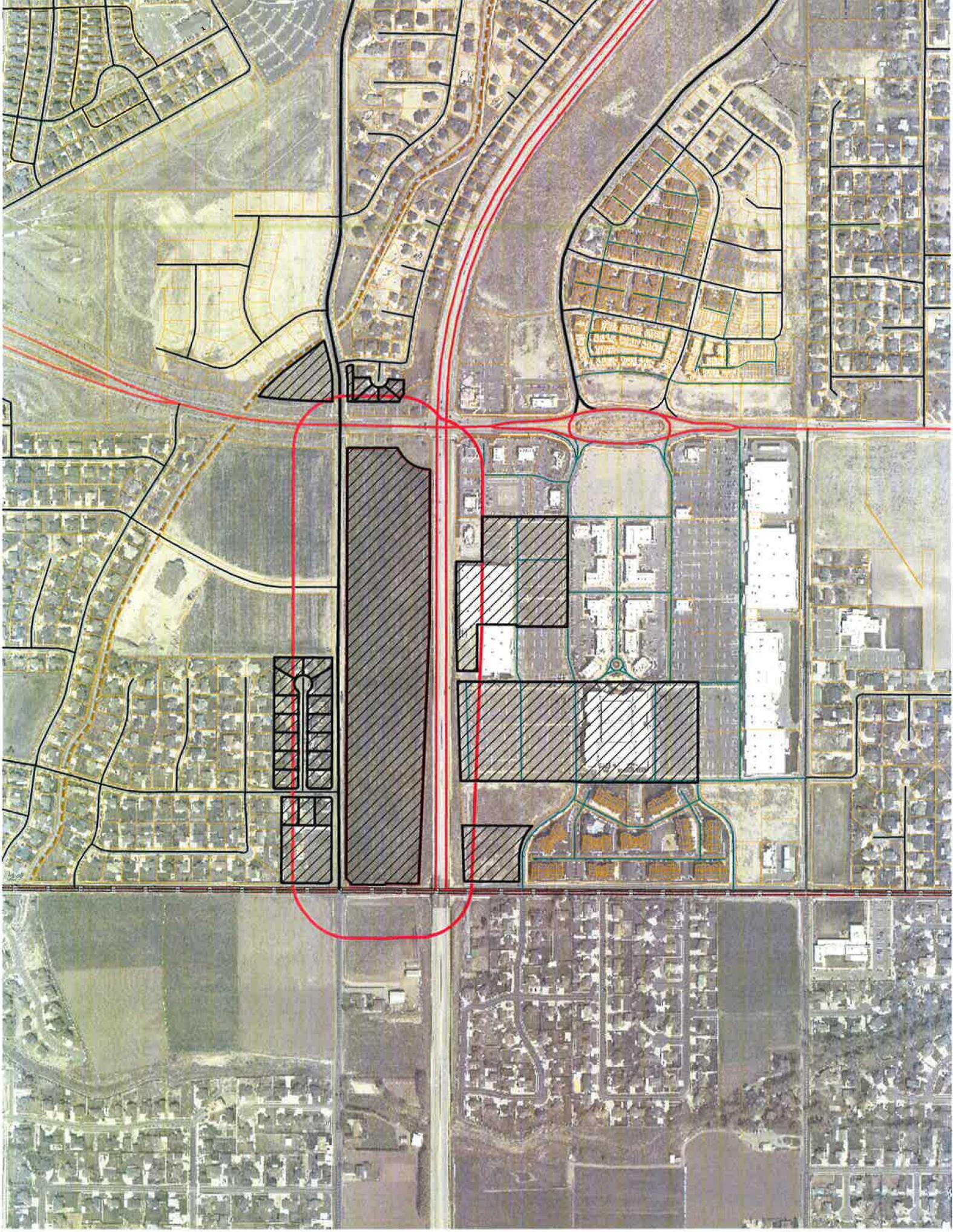
TOTAL \$ 1,677.75

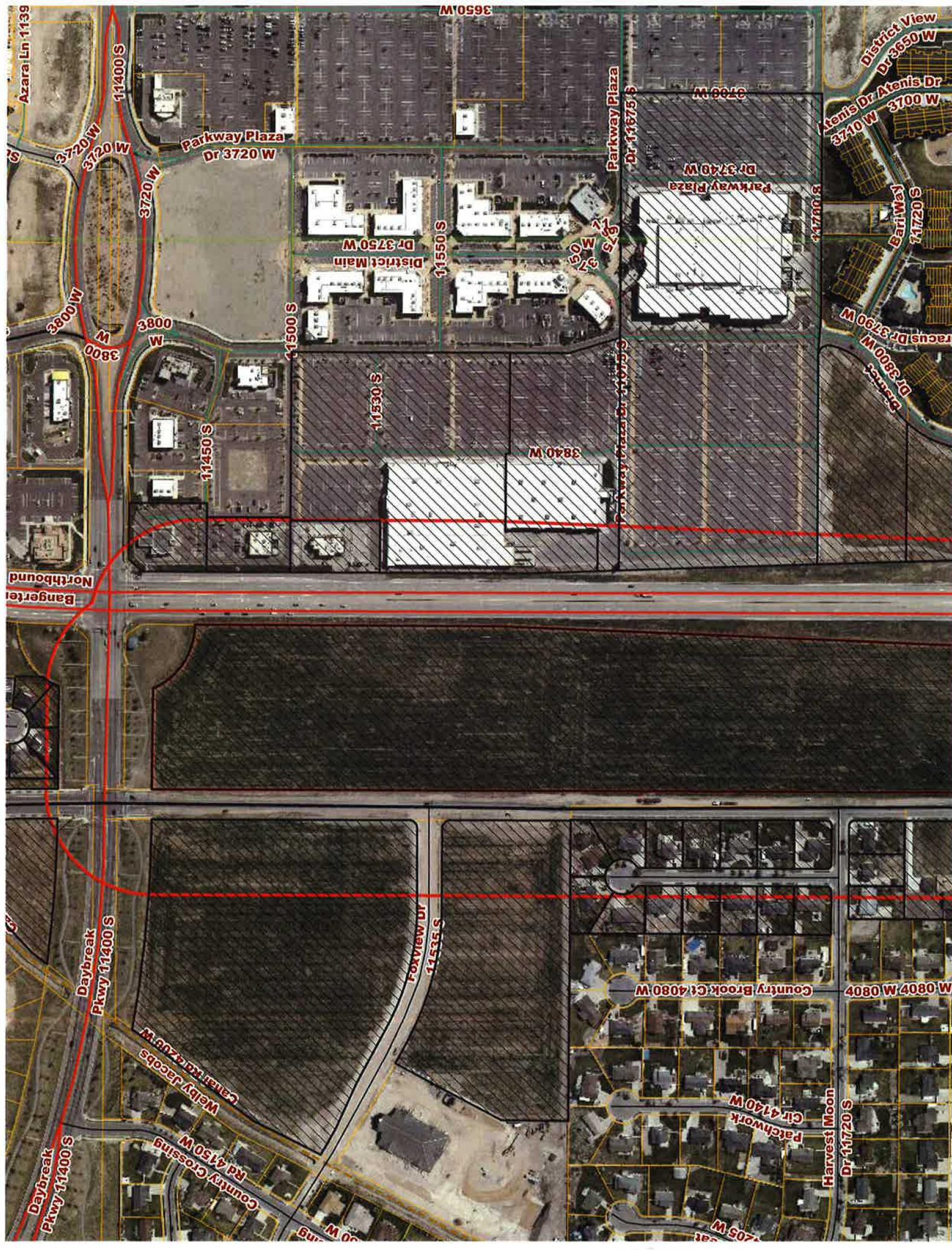
COMMENTS:

CHECK # 13448

RECEIVED BY: *[Signature]*

|          |                                     |
|----------|-------------------------------------|
| CHECK    | <input checked="" type="checkbox"/> |
| CASH     | <input type="checkbox"/>            |
| DB. CARD | <input type="checkbox"/>            |
| CR. CARD | <input type="checkbox"/>            |





Azara Ln 1139

3720 W

3800 W

3800 W

11400 S

11450 S

11500 S

11530 S

11550 S

3650 W

Parkway Plaza Dr 3720 W

District Main Dr 3750 W

3750 W

3840 W

Parkway Plaza Dr 11675 S

Parkway Plaza Dr 3740 W

3700 W

3710 W

3700 W

3700 W

Harvest Moon Dr 11720 S

Patchwork Cir 4140 W

Country Brook Ct 4080 W

W 0807 W 0807

11720 S

11720 S

11720 S

11720 S

11720 S

11720 S

Daybreak Pkwy 11400 S

Daybreak Pkwy 11400 S

Welly Jacobs Canal Rd 4150 W

Country Crossing Rd 4150 W

Foxview Dr 11535 S

District View Dr 3650 W

Atenas Dr 3700 W

Atenas Dr 3710 W

Atenas Dr 3720 W

Atenas Dr 3730 W

Atenas Dr 3740 W

Atenas Dr 3750 W

Atenas Dr 3760 W

Atenas Dr 3770 W

Atenas Dr 3780 W

Barl Way 11720 S

Tracus Dr 3790 W

Northbound



Note: The remaining elevation will be adjacent to another structure and will not require any type of relief or architectural features.

# PRELIMINARY ELEVATIONS - SPROUTS FARMERS MARKET

SCALE: 3/32" = 1'-0"

AAD:FITCH, Inc.

SWC Bangerter Hwy & W Daybreak Pkwy - Updated Elevations As per ARC  
 South Jordan, Utah



- Received prior to packet delivery 11-22-13

# FITCH

16435 North Scottsdale Rd. Suite 105  
 Scottsdale, Arizona 85254  
 T+1 480 996 4200 F+1 480 996 7223  
 www.fitch.com

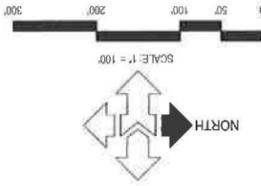
# OQUIRH MOUNTAIN MARKETPLACE

## CONSTRUCTION PLANS

11400-11800 SOUTH 4000 WEST STREET

SOUTH JORDAN, UTAH

LOCATED IN THE SE QUARTER OF SECTION 19 & SW QUARTER OF SECTION 20,  
TOWNSHIP 3 SOUTH, RANGE 1 WEST, SLB&M

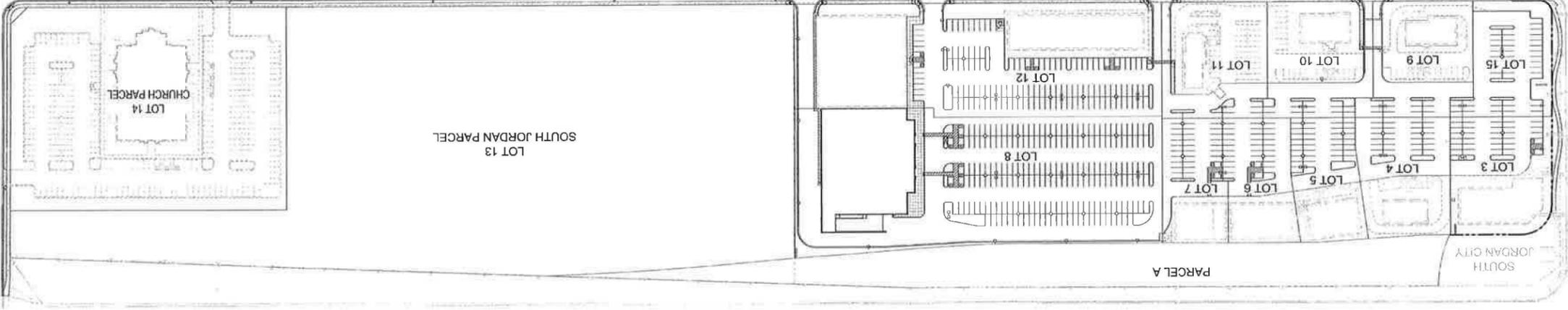


ALL WORK AND MATERIALS FOR WATER  
MUST CONFORM TO SOUTH JORDAN  
CITY STANDARDS AND SPECIFICATIONS

ALL WORK AND MATERIALS FOR SEWER  
MUST CONFORM TO SOUTH VALLEY  
SEWER DISTRICT STANDARDS AND  
SPECIFICATIONS

ALL WORK AND MATERIALS MUST  
CONFORM TO SOUTH JORDAN CITY  
STANDARDS AND SPECIFICATIONS

11800 SOUTH STREET



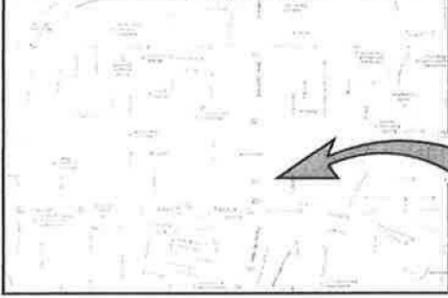
BANGERTER HIGHWAY

4000 WEST STREET

11720 SOUTH STREET

DRAWING INDEX

SITE



VICINITY MAP  
K.T.S.

APPROVED BY SOUTH JORDAN CITY ENGINEER

*Brad Wilson*  
SOUTH JORDAN CITY ENGINEER  
DATE: May 15, 2014

DEVELOPER & OWNER  
OWNER/DEVELOPER: KOGWASSER SHOPPING CENTER PROPERTIES, LLC  
CONTACT: BILL GAMBLE  
5670 WILSHIRE BOULEVARD, SUITE 1250  
LOS ANGELES, CA 90036  
PHONE: (323) 955-1510



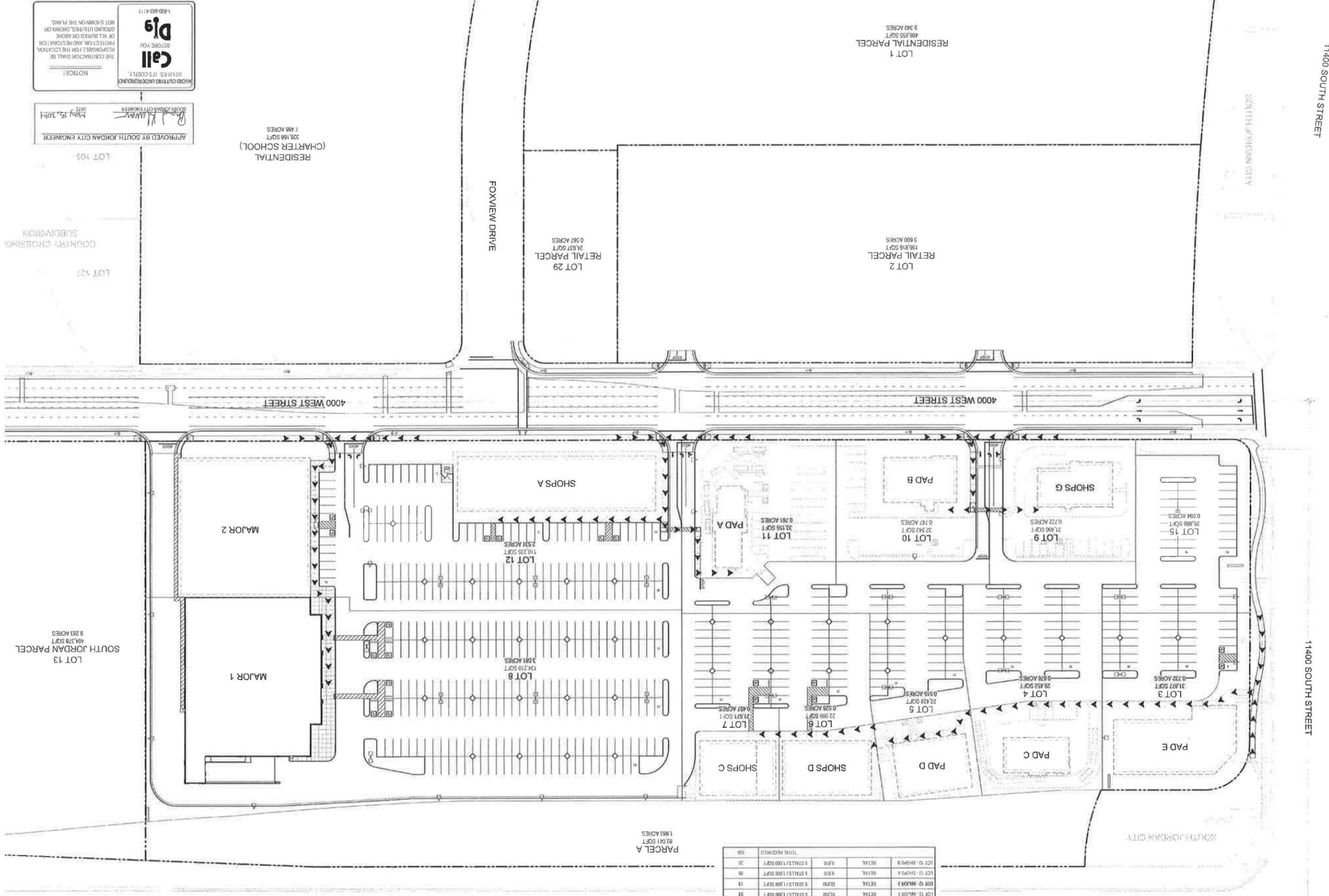
**McNEIL ENGINEERING**  
Civil Engineering • Consulting & Landscape Architecture  
Structural Engineering • Land Surveying & HDS  
8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.2700 mcneilengineering.com

Economic and Sustainable Designs, Professionals You Know and Trust

| LANDSCAPE PLANS |                           | CIVIL PLANS |   |
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| L1 217          | REGISTRATION PLAN         | C1 217      | EROSION CONTROL PLAN                    |
| L1 218          | REGISTRATION PLAN         | C1 218      | GRADING AND DRAINAGE PLAN               |
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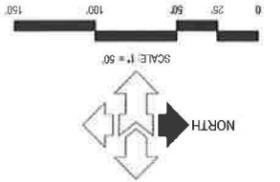
**REQUIRED PARKING TABLE**

| ID                    | TYPE OF USE | SIZE                   | REQD. PARKING | TOTAL REQD. |
|-----------------------|-------------|------------------------|---------------|-------------|
| LOT 3 - PAD E         | RETAIL      | 5 STALLS / 1,000 SQFT  | 25            | 25          |
| LOT 4 - PAD C         | RESTAURANT  | 10 STALLS / 1,000 SQFT | 30            | 30          |
| LOT 5 - PAD D         | RETAIL      | 4 STALLS / 1,000 SQFT  | 20            | 20          |
| LOT 6 - SHOPS D       | RETAIL      | 5 STALLS / 1,000 SQFT  | 25            | 25          |
| LOT 7 - SHOPS C       | RETAIL      | 5 STALLS / 1,000 SQFT  | 25            | 25          |
| LOT 8 - MAJOR 1       | RETAIL      | 28,531                 | 130           | 130         |
| LOT 9 - SHOPS G       | RESTAURANT  | 5,268                  | 53            | 53          |
| LOT 10 - PAD B        | RESTAURANT  | 2,321                  | 26            | 26          |
| LOT 11 - PAD A        | RESTAURANT  | 4,327                  | 44            | 44          |
| LOT 12 - MAJOR 2      | RETAIL      | 10,520                 | 58            | 58          |
| LOT 13 - MAJOR 3      | RETAIL      | 10,000                 | 58            | 58          |
| LOT 12 - SHOPS A      | RETAIL      | 8,810                  | 35            | 35          |
| LOT 12 - SHOPS B      | RETAIL      | 6,810                  | 35            | 35          |
| <b>TOTAL REQUIRED</b> |             |                        | <b>558</b>    | <b>558</b>  |

**PROVIDED PARKING TABLE**

| DESCRIPTION     | PHASE 1    | ESTIMATED FUTURE | TOTAL        |
|-----------------|------------|------------------|--------------|
| STANDARD STALLS | 546        | 546              | 1,092        |
| ADA STALLS      | 18         | 10               | 28           |
| <b>TOTAL</b>    | <b>564</b> | <b>556</b>       | <b>1,120</b> |

NOTE: QUANTITY DOES NOT INCLUDE PARKING PROVIDED IN DRIVE-THRU



**OVERALL SITE PLAN**  
 DATE: MAR. 04, 2014  
 CHECKED BY: TJD  
 DRAWN BY: JHF  
 PROJECT NO: 13493.A

**OQUIRRH MOUNTAIN MARKETPLACE**  
 11400-11800 SOUTH 4000 WEST STREET  
 SOUTH JORDAN, UTAH  
 LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R1W, S18&8M



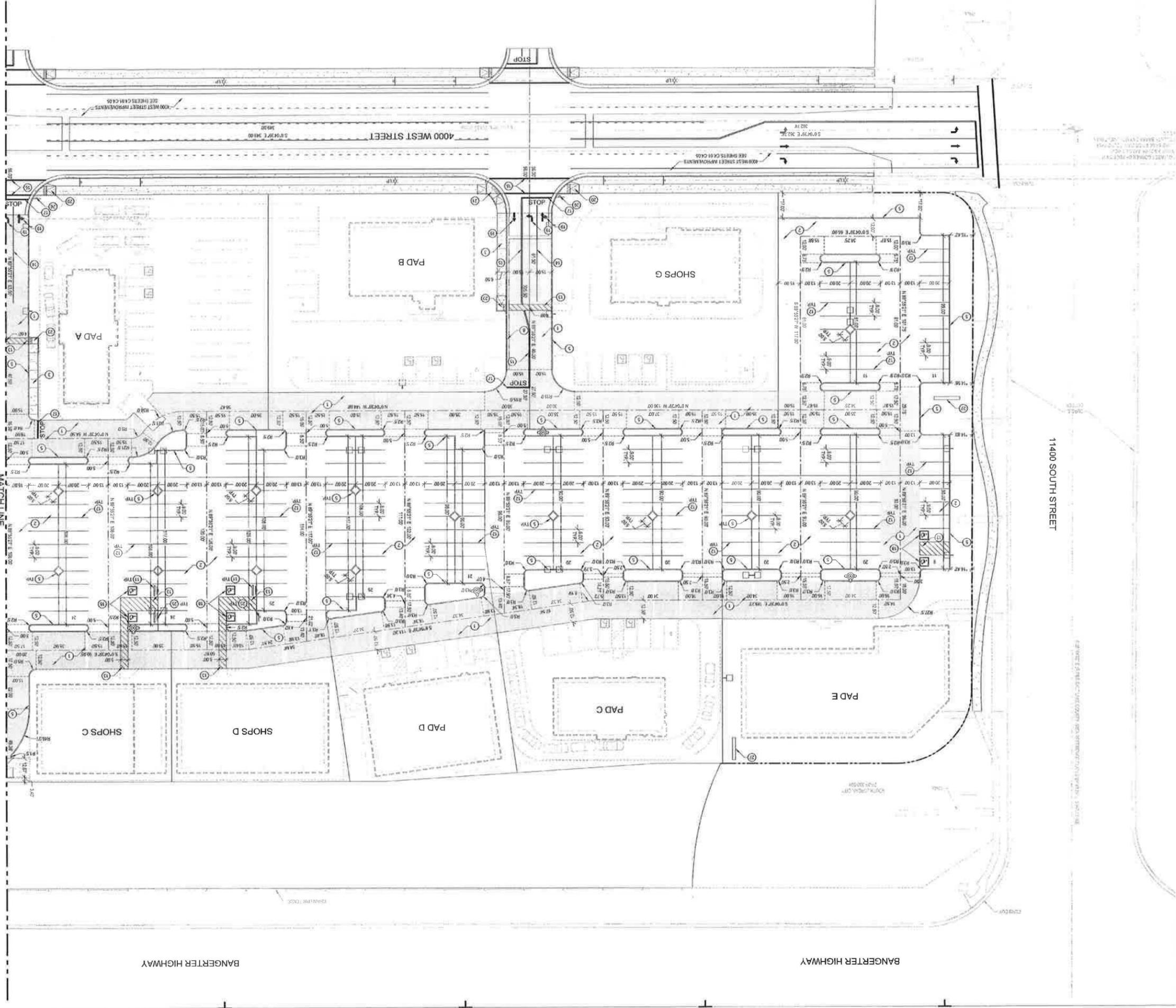
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**Call**  
 BEFORE YOU UTILIZE IT'S COSTLY!  
 APPROVED BY SOUTH JORDAN CITY ENGINEER  
 DATE: May 15, 2014

**Call**  
 BEFORE YOU UTILIZE IT'S COSTLY!  
 APPROVED BY SOUTH JORDAN CITY ENGINEER  
 DATE: May 15, 2014

**REVISIONS**

| REV | DATE     | DESCRIPTION                |
|-----|----------|----------------------------|
| 1   | 04/21/14 | SITE REVISIONS             |
| 2   | 05/09/14 | SOUTH JORDAN CITY COMMENTS |



**Call Before You Dig**  
 1-800-992-4111  
 AVOID CUTTING UNDERGROUND UTILITIES, ITS COSTLY.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.  
 NOTICE:

APPROVED BY SOUTH JORDAN CITY ENGINEER  
 DATE: May 15, 2014

- 1) HEAVY DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL D.1, SHEET C3.01.
- 2) STANDING DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL D.1, SHEET C3.01.
- 3) CONCRETE SIDEWALK SEE APMW PLAN NO. 221, SHEET C3.02.
- 4) CONCRETE PAVEMENT WITH GRANULAR BASE PER DETAIL C.1, SHEET C3.01.
- 5) CONCRETE CURB WALL SEE DETAIL C.2, SHEET C3.01.
- 6) CONCRETE ZERO CURB TOP OF ASPHALT EQUALS TOP OF CONCRETE.
- 7) TRANSITION FROM CONCRETE ZERO CURB TO STANDARD CONCRETE CURB WALL.
- 8) 2" CONCRETE CURB AND GUTTER. SEE DETAIL C.2, SHEET C3.01.
- 9) 3" WIDE CONCRETE WATERWAY. SEE DETAIL C.3, SHEET C3.01.
- 10) BLOCK WALL. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 11) CONCRETE WHEEL STOP. SEE DETAIL C.3, SHEET C3.01.
- 12) 4" WIDE SOLID YELLOW PARALLEL STRIPED LINES.
- 13) 4" WIDE SOLID YELLOW PERPENDICULAR STRIPED LINES.
- 14) 7" WIDE SOLID WHITE LANE STRIPE.
- 15) DOUBLE 4" WIDE SOLID YELLOW LANE STRIPE.
- 16) 12" WIDE SOLID WHITE PECTERNA CROSSWALK.
- 17) PAINTED 12" WIDE SOLID WHITE STOP BAR AND WOOD SIGN.
- 18) PAINTED ADA SYMBOL. SEE DETAIL C.3, SHEET C3.01.
- 19) PAINTED ADA SYMBOL. SEE DETAIL C.3, SHEET C3.01.
- 20) CONCRETE RAMP DETAIL AND APMW PLAN NO. 225, SHEET 1 OF 2, SHEET SURFACE.
- 21) CONCRETE RAMP DETAIL AND APMW PLAN NO. 226, SHEET C3.02 FOR DETECTABLE WARNING SURFACE.
- 22) ADA RAMP WITH DETECTABLE WARNING SURFACE. SEE APMW PLAN NO. 226, SHEET 1 OF 2, SHEET SURFACE.
- 23) ADA RAMP WITH DETECTABLE WARNING SURFACE. SEE APMW PLAN NO. 226, SHEET 1 OF 2, SHEET SURFACE.
- 24) PROVIDE CURB CUT FOR FUTURE ADA RAMP.
- 25) ADA PARKING SIGN. SEE DETAIL C.3, SHEET C3.01.
- 26) NEW 2" STOP SIGN. SEE MUCO DETAIL M.1.
- 27) PLASTER SIGN. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 28) BOLLARD. SEE DETAIL B.3, SHEET C3.01.
- 29) CURBSTEP ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.

**KEYED NOTES:**  
 PROVIDE INSTANT MARCH CONSTRUCTION THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR BACKSHEETS AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.

**GENERAL NOTES:**  
 ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS TO THE BACK OF SEE ARCHITECT'S SITE PLAN FOR ADDITIONAL INFORMATION.  
 SEE LANDSCAPE PLANS FOR REGULATION AND PLANTING.  
 ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.  
 ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

**REVISIONS**

| REV | DATE     | DESCRIPTION    |
|-----|----------|----------------|
| A   | 04/21/14 | SITE REVISIONS |

**NOTICE:**  
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 CALL BEFORE YOU DIG  
 1-800-992-4111

APPROVED BY SOUTH JORDAN CITY ENGINEER  
 DATE: May 15, 2014

**C1.01**  
 HORIZONTAL CONTROL PLAN  
 DATE: MAR. 04, 2014  
 CHECKED BY: TJD  
 DRAWN BY: JHF  
 PROJECT NO: 13493 A

**REVISIONS**

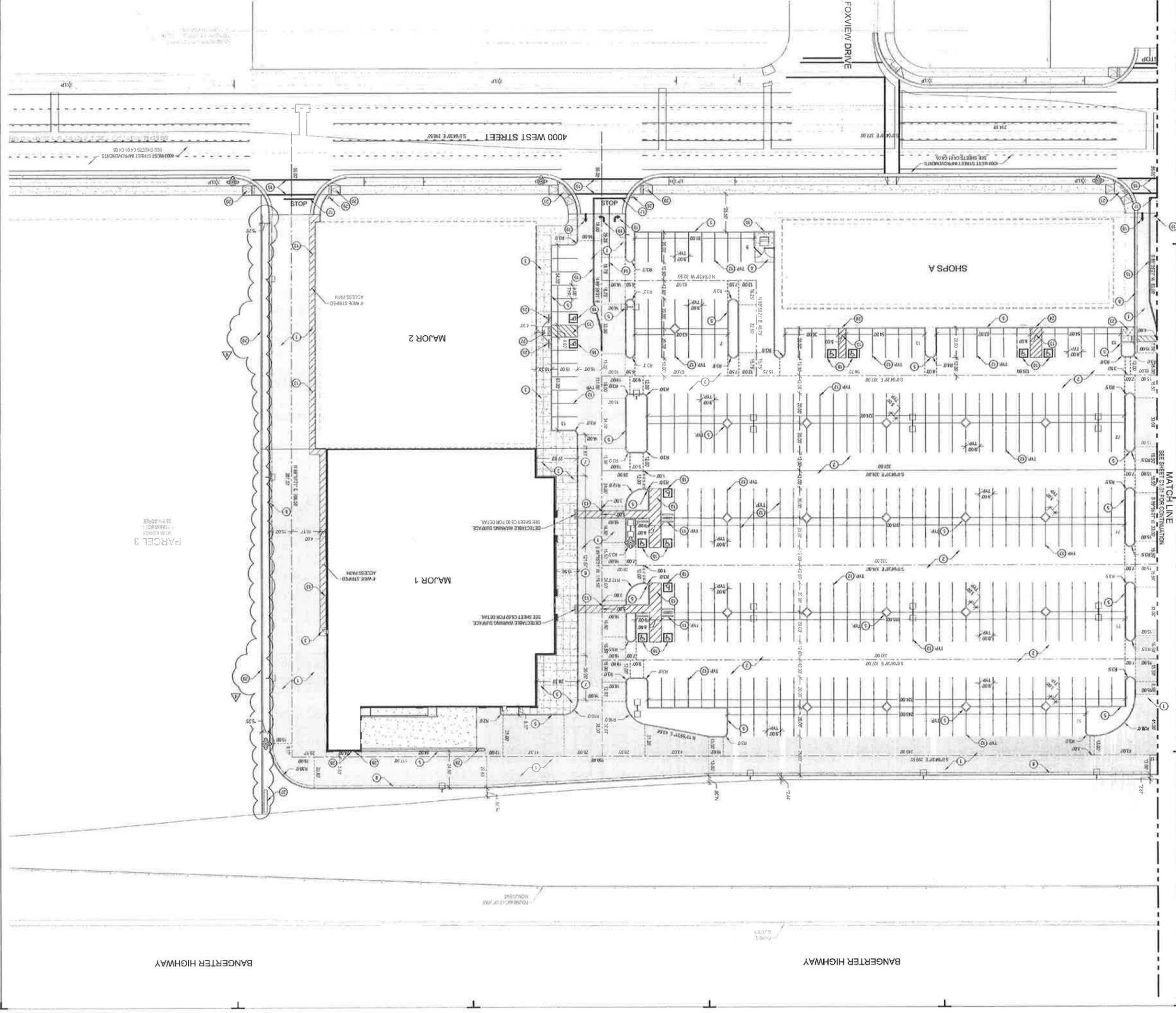
| REV | DATE     | DESCRIPTION    |
|-----|----------|----------------|
| A   | 04/21/14 | SITE REVISIONS |

**OQUIRRH MOUNTAIN MARKETPLACE**  
 11400-11800 SOUTH 4000 WEST STREET  
 SOUTH JORDAN, UTAH  
 LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R1W, S1B&M



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SCALE: 1" = 30'  
 NORTH



**Call**  
BEFORE YOU  
DUG  
WOOD CUTTING UNDERGROUND  
UTILITIES. IT'S COSTLY.  
1-800-692-4111

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL UTILITIES SHOWN OR GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

NOTICE!

APPROVED BY SOUTH JORDAN CITY ENGINEER  
*May 15, 2014*  
DATE

APPROVED BY SOUTH JORDAN CITY ENGINEER  
*May 15, 2014*  
DATE

- 1. HEAVY DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL 'D', SHEET C5.01
- 2. STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL 'D', SHEET C5.01
- 3. CONCRETE SIDEWALK, SEE APWA PLAN NO. 231, SHEET C5.02
- 4. CONCRETE PAVEMENT WITH GRANULAR BASE PER DETAIL 'C', SHEET C5.01
- 5. CONCRETE CURB WALL, SEE DETAIL 'C2', SHEET C5.01
- 6. CONCRETE CURB CURB (TOP OF ASPHALT EQUALS TOP OF CONCRETE)
- 7. TRANSITION FROM CONCRETE 2500 CURB TO STANDARD CONCRETE CURB WALL
- 8. 3" CONCRETE CURB AND GUTTER, SEE DETAIL 'C2', SHEET C5.01
- 9. 3" WIDE CONCRETE WATERWAY, SEE DETAIL 'C3', SHEET C5.01
- 10. DUMPSITE ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS
- 11. CONCRETE WHEEL STOP, SEE DETAIL 'B3', SHEET C5.01
- 12. 4" WIDE SOLID YELLOW PARKING STALL STRIPE LINES
- 13. 4" WIDE SOLID YELLOW PEDESTRIAN STRIPE LINES
- 14. 4" WIDE SOLID WHITE LAKE STRIPE
- 15. DOUBLE 4" WIDE SOLID YELLOW LAKE STRIPE
- 16. 12" WIDE SOLID WHITE PEDESTRIAN CROSSWALK
- 17. PAINTED 12" WIDE SOLID WHITE STOP BAR AND WARD STOP
- 18. PAINTED ADA SYMBOL, SEE DETAIL 'C3', SHEET C5.01
- 19. PAINTED ARROW SYMBOL
- 20. ADA RAMP WITH DETECTABLE WARNING SURFACE, SEE APWA PLAN NO. 238 (SHEET 1 OF 4) SHEET SURFACE
- 21. ADA RAMP WITH DETECTABLE WARNING SURFACE, SEE APWA PLAN NO. 238 (SHEET 3 OF 4) SHEET SURFACE
- 22. ADA RAMP WITH DETECTABLE WARNING SURFACE, SEE APWA PLAN NO. 238 (SHEET 1 OF 3) SHEET SURFACE
- 23. ADA RAMP WITH DETECTABLE WARNING SURFACE, SEE APWA PLAN NO. 238 (SHEET 3 OF 3) SHEET SURFACE
- 24. PROVIDE CURB CUT FOR FUTURE ADA RAMP
- 25. ADA PARKING SIGN, SEE DETAIL 'C3', SHEET C5.01
- 26. NEW STOP SIGN, SEE DETAIL 'B1', SHEET C5.01
- 27. PRECAST SIGN, SEE ARCHITECTURAL PLANS FOR DETAILS
- 28. ROLLERS, SEE DETAIL 'B3', SHEET C5.01
- 29. 8" HIGH WOOD TRAIL, SEE ARCHITECTURAL PLANS FOR DETAILS

**KEYED NOTES:**  
PHOTOS, EXISTING AND CONSTRUCTED THE FOLLOWING FOR THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.

**GENERAL NOTES:**  
SEE ARCHITECT'S SITE PLAN FOR ADDITIONAL INFORMATION.  
SEE LANDSCAPE PLANS FOR BRIGATION AND PLANTING.  
ALL WORK TO COMPLY WITH GOVERNING AGENCIES STANDARDS AND SPECIFICATIONS.  
ALL IMPROVEMENTS MUST COMPLY WITH AIA STANDARDS AND RECOMMENDATIONS.

SCALE: 1" = 30'

NORTH

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**OQUIRRH MOUNTAIN MARKETPLACE**  
11400-11800 SOUTH 4000 WEST STREET  
SOUTH JORDAN, UTAH  
LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R1W, S18&M

**PROFESSIONAL ENGINEER**  
THEODORE J. THEODORE J.  
No. 280090  
05/09/14

**REVISIONS**

| REV | DATE     | DESCRIPTION                      |
|-----|----------|----------------------------------|
| A   | 04/23/14 | ACCESS PATH, ADA WARNING, RAUPIS |
| B   | 04/23/14 | SITE ADJUSTMENTS                 |
| C   | 05/09/14 | SOUTH JORDAN CITY COMMENTS       |

PROJECT NO. 13493.A  
DRAWN BY: JHF  
CHECKED BY: TJD  
DATE: MAR. 04, 2014

**HORIZONTAL CONTROL PLAN**  
C1.02





11400 SOUTH STREET

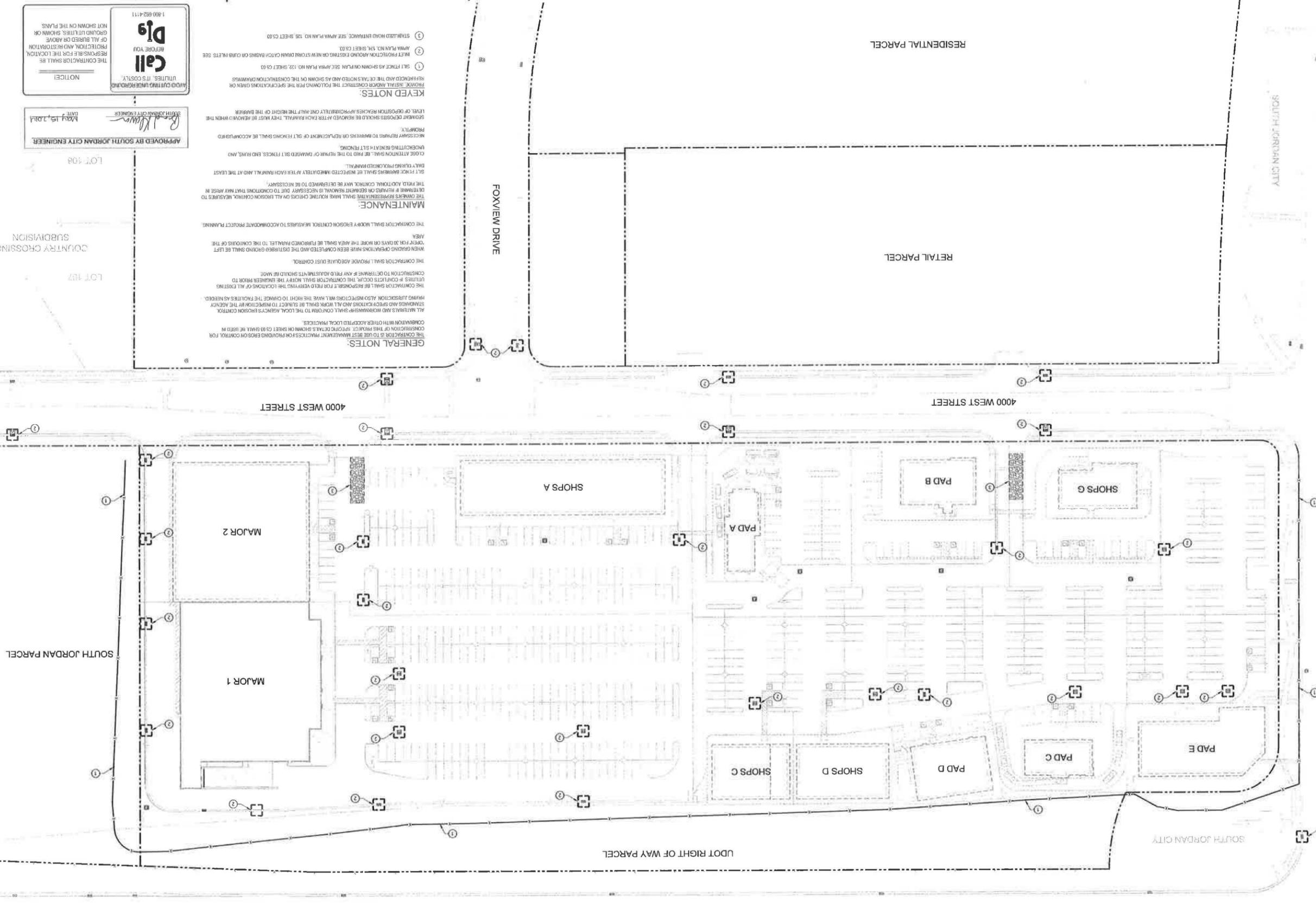
11400 SOUTH STREET

SOUTH JORDAN CITY

SOUTH JORDAN CITY

BANGERTER HIGHWAY

UDOT RIGHT OF WAY PARCEL

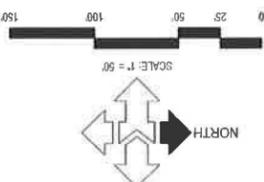


**GENERAL NOTES:**  
 THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR THE CONSTRUCTION OF THIS PROJECT. DETAILS SHOWN ON SHEET CS-03 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.  
 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LOCAL AGENCY'S EROSION CONTROL STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE AGENCY. HAVING ASSIGNMENT ALSO INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES IN CONJUNCTION WITH THE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO CONSTRUCTION OF UTILITIES. ANY FIELD ADJUSTMENTS SHOULD BE MADE.  
 THE CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL.  
 WHEN GRADING OPERATIONS HAVE BEEN COMPLETED AND THE DISTURBED AREAS SHALL BE LEFT OPEN FOR 30 DAYS OR MORE, THE AREA SHALL BE REVEGETATED PARALLEL TO THE CONTOURS OF THE AREA.  
 THE CONTRACTOR SHALL MAINTAIN MOOREY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.  
**MAINTENANCE:**  
 THE OWNER'S REPRESENTATIVE SHALL MAKE ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIRS OR REINFORCEMENT IS NECESSARY DUE TO CONDITIONS THAT MAY ARISE IN THE FIELD. ADDITIONAL CONTROL MAY BE REQUIRED TO BE NECESSARY.  
 SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT THE LEAST CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCES, END BUNS, AND UNCONSTRUCTED SLOTTED SILT FENCINGS.  
 NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCINGS SHALL BE ACCOMPLISHED PROMPTLY.  
 GEOMAT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.  
**KEYED NOTES:**  
 ① SILT FENCE AS SHOWN ON PLAN. SEE APWA PLAN NO. 122, SHEET CS-03.  
 ② NEW SILT FENCE PROTECTION AROUND EXISTING OR NEW STORM DRAIN CATCH BASINS OR CURB INLETS. SEE APWA PLAN NO. 124, SHEET CS-03.  
 ③ STABILIZED HOOD ENTRANCE. SEE APWA PLAN NO. 128, SHEET CS-03.

**Call Digs**  
 1 800 852-4111  
 AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.  
 BEFORE YOU PROTECT AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.  
 NOTICE:  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

APPROVED BY SOUTH JORDAN CITY ENGINEER  
 DATE: May 15, 2014

LOT 108  
 LOT 107  
 COUNTRY CROSSING SUBDIVISION



**REVISIONS**

| REV | DATE     | DESCRIPTION                |
|-----|----------|----------------------------|
| 1   | 05/07/14 | SITE REVISIONS             |
| 2   | 05/07/14 | SOUTH JORDAN CITY COMMENTS |

PROJECT NO.: 13493A  
 DRAWN BY: JHF  
 CHECKED BY: TJD  
 DATE: MAR. 04, 2014

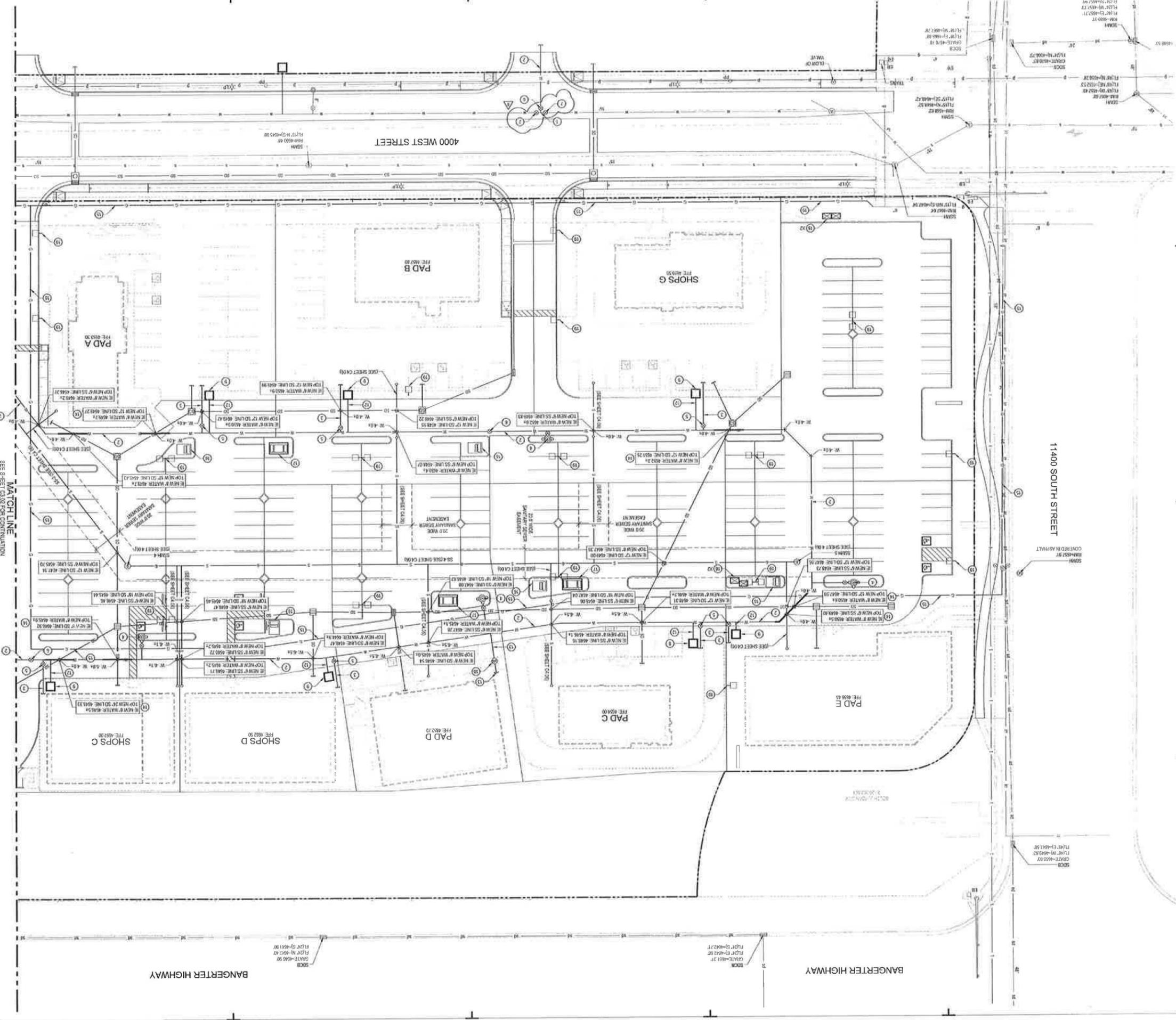
**OQUIRRH MOUNTAIN MARKETPLACE**  
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 SOUTH JORDAN, UTAH  
 LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R1W, S188M



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**C2.10**

**EROSION CONTROL PLAN**



**Call Before You Dig**  
HAND CUTTING AND REPAIRING UTILITIES IS COSTLY.  
UNLESS IT IS COSTLY.  
BEFORE YOU DIG.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.  
NOTICE!

APPROVED BY SOUTH JORDAN CITY ENGINEER  
DATE: May 15, 2014

- SEE PLANS C4 01 THRU C4 04 FOR 4000 WEST STREET IMPROVEMENTS.
- (1) CONNECT NEW 8" P.C. 800 WATER LINE TO EXISTING 14" WATER LINE. SEE SOUTH JORDAN CITY STANDARD DRAWING 3097 FOR DETAIL.
  - (2) STANDARD DRAWING 3097 FOR DETAIL.
  - (3) P.C. 800 WATER LINE, INCLUDING ALL FITTINGS AND THREAT BLOCKING. SEE SOUTH JORDAN CITY STANDARD DRAWING 3017 FOR DETAIL AND SOUTH JORDAN CITY STANDARD DRAWING 3097 FOR DETAIL.
  - (4) P.C. 800 WATER LINE WITH WYE BOX. SEE SOUTH JORDAN CITY STANDARD DRAWING 3017 FOR DETAIL.
  - (5) GATE VALVE WITH WYE BOX. SEE SOUTH JORDAN CITY STANDARD DRAWING 3097 FOR DETAIL.
  - (6) GATE VALVE WITH WYE BOX. SEE SOUTH JORDAN CITY STANDARD DRAWING 3097 FOR DETAIL.
  - (7) FIRE HYDRANT ASSEMBLY COMPLETE. SEE SOUTH JORDAN CITY STANDARD DRAWING 3097, 3098 AND 3099 FOR DETAILS.
  - (8) 1/2" WATER SERVICE METERS SET. SEE SOUTH JORDAN CITY STANDARD DRAWING 3097, 3097F AND 3098 FOR DETAILS.
  - (9) 1/2" WATER SERVICE LINE, CONNECT TO 8" WATER MAIN PER SOUTH JORDAN CITY STANDARD DRAWING 3095.
  - (10) 1/2" POLY WATER SERVICE LINE, CONNECT TO 8" WATER MAIN PER SOUTH JORDAN CITY STANDARD DRAWING 3095.
  - (11) 1/2" POLY WATER SERVICE LINE, CONNECT TO 8" WATER MAIN PER SOUTH JORDAN CITY STANDARD DRAWING 3095.
  - (12) 1/2" POLY WATER SERVICE LINE, CONNECT TO 8" WATER MAIN PER SOUTH JORDAN CITY STANDARD DRAWING 3095.
  - (13) 1/2" POLY WATER SERVICE LINE, CONNECT TO 8" WATER MAIN PER SOUTH JORDAN CITY STANDARD DRAWING 3095.
  - (14) 1/2" POLY WATER SERVICE LINE, CONNECT TO 8" WATER MAIN PER SOUTH JORDAN CITY STANDARD DRAWING 3095.
  - (15) NATURAL GAS LINE CONNECTION TO COOKWARE. SEE DETAIL AND INSTALLATION BY OTHER TRADES WITH OTHER CONSTRUCTION.
  - (16) ELECTRICAL TRANSFORMER. SEE SITE ELECTRICAL PLANS FOR DETAILS.
  - (17) ELECTRICAL SWITCH BOX. SEE SITE ELECTRICAL PLANS FOR DETAILS.
  - (18) COMMUNICATIONS BOX. SEE SITE ELECTRICAL PLANS FOR DETAILS.
  - (19) LIGHT POLE. SEE SITE ELECTRICAL PLANS FOR DETAILS.
  - (20) UNDERGROUND CABLE, TELEPHONE AND POWER LINES. CONTRACTOR TO COORDINATE WITH COMCAST, CENTURY LINK AND ROCKY MOUNTAIN POWER.

**GENERAL NOTES:**

CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS & REVISIONS.

ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH SOUTH JORDAN CITY STANDARD DRAWING 3017.

ALL NEW SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH SOUTH JORDAN CITY STANDARD DRAWING 3017.

ALL NEW GAS CONSTRUCTION TO BE DONE IN ACCORDANCE WITH SOUTH JORDAN CITY STANDARD DRAWING 3017.

CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICES TO BUILDING WITH CENTURY LINK & P.C. 800 WATER LINE. CONTRACTOR SHALL BE RESPONSIBLE FOR SERVICE THROUGH PROPERTY, COORDINATE SIZES AND LOCATION WITH CENTURY LINK.

CONTRACTOR TO SUBMIT SITE PLAN TO GAS LINE SERVICE TO BALDWIN CONTRACTOR TO COORDINATE WITH QUESTOR GAS FOR CONNECTION LIMITS ON WORK AREAS.

LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN.

UTILITY CONNECTIONS:

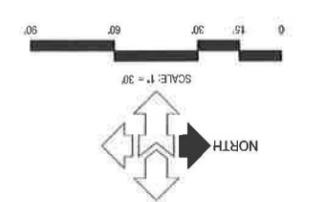
SEWER: SOUTH JORDAN DISTRICT

WATER: SOUTH JORDAN CITY

NATURAL GAS: QUESTOR GAS

ELECTRICAL: ROCKY MOUNTAIN POWER

TELEPHONE: CENTURY LINK



**C3.01**

**SITE UTILITY PLAN**

PROJECT NO: 13493 A

DRAWN BY: JHF

CHECKED BY: TJD

DATE: MAR. 04, 2014

| REV | DATE     | DESCRIPTION                |
|-----|----------|----------------------------|
| A   | 03/20/14 | REVISED ROAD WATER SERVICE |
| B   | 04/21/14 | SITE REVISIONS             |
| C   | 05/09/14 | SOUTH JORDAN CITY COMMENTS |

**REVISIONS**

**11400-11800 SOUTH 4000 WEST STREET**

**SOUTH JORDAN, UTAH**

**LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R1W, S18&M**



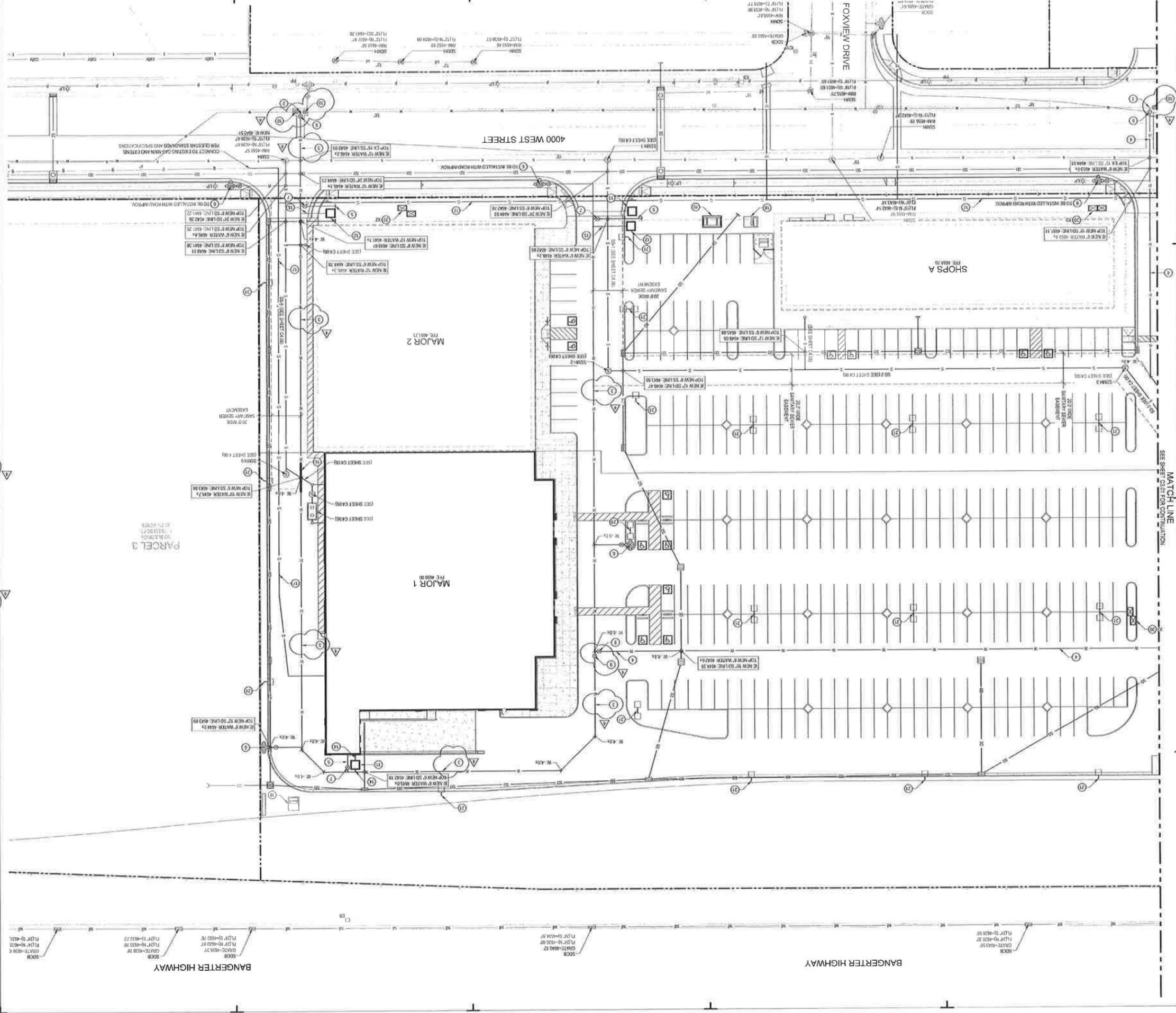
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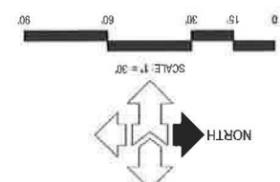
APPROVED BY SOUTH JORDAN CITY ENGINEER  
 DATE: MAY 15, 2014

SEE PLANS C41 THRU C44 FOR 4000 WEST STREET IMPROVEMENTS  
 W & D - DEPTH OF COVER OVER PROPOSED WATER LINE.

- 22 UNDERGROUND CABLE: TELEPHONE AND POWER LINES. CONTRACTOR TO COORDINATE WITH COMMUNITY CENTER LINK AND ROCKY MOUNTAIN POWER.
- 21 LIGHT POLE: SEE SITE ELECTRICAL PLANS FOR DETAILS.
- 20 COMMUNICATIONS BOX: SEE SITE ELECTRICAL PLANS FOR DETAILS.
- 19 ELECTRICAL SWITCH BOX: SEE SITE ELECTRICAL PLANS FOR DETAILS.
- 18 ELECTRICAL TRANSFORMER: SEE SITE ELECTRICAL PLANS FOR DETAILS.
- 17 NATURAL GAS: CONTRACTOR TO COORDINATE WITH DESIGN AND INSTALLATION BY OTHERS WITH OTHER CONSTRUCTION.
- 16 12" PVC WATER LINE: SEE SOUTH JORDAN CITY STANDARD DRAWING 3007 FOR DETAIL.
- 15 12" POLY WATER SERVICE LINE: CONNECT TO WATER MAIN PER SOUTH JORDAN CITY STANDARD DRAWING 3005.
- 14 24" WATER SERVICE LINE: CONNECT TO WATER MAIN PER SOUTH JORDAN CITY STANDARD DRAWING 3005 FOR DETAILS.
- 13 12" WASTE WATER SERVICE LINE: SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3007, 3007 AND 3009 FOR DETAILS.
- 12 20" WIRE: SEE SOUTH JORDAN CITY STANDARD DRAWING 3007 FOR DETAILS.
- 11 12" WATER SERVICE W/TER GET: SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3007, 3007 AND 3009 FOR DETAILS.
- 10 12" WATER SERVICE W/TER GET: SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3007 FOR DETAIL.
- 9 TO GATE VALVE WITH VALVE BOX: SEE SOUTH JORDAN CITY STANDARD DRAWING 3007 FOR DETAIL.
- 8 TO GATE VALVE WITH VALVE BOX: SEE SOUTH JORDAN CITY STANDARD DRAWING 3007 FOR DETAIL.
- 7 TO GATE VALVE WITH VALVE BOX: SEE SOUTH JORDAN CITY STANDARD DRAWING 3007 FOR DETAIL.
- 6 FIRE PUMP ASSEMBLY COMPLETE: SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3002, 3002, 3005 AND 3005 FOR DETAILS.
- 5 SOUTH JORDAN CITY STANDARD DRAWINGS 3010 FOR TECHNICAL DETAIL AND SOUTH JORDAN CITY STANDARD DRAWING 3007 FOR THREAT BLOCKED DETAIL.
- 4 6" CLASS 57 PIPE LINE WITH VALVE: INCLUDING ALL FITTINGS AND THREAT BLOCKING. SEE SOUTH JORDAN CITY STANDARD DRAWING 3010 FOR TECHNICAL DETAIL AND SOUTH JORDAN CITY STANDARD DRAWING 3007 FOR THREAT BLOCKED DETAIL.
- 3 6" CLASS 57 PIPE LINE WITH VALVE: INCLUDING ALL FITTINGS AND THREAT BLOCKING. SEE SOUTH JORDAN CITY STANDARD DRAWING 3010 FOR TECHNICAL DETAIL AND SOUTH JORDAN CITY STANDARD DRAWING 3007 FOR THREAT BLOCKED DETAIL.
- 2 CONNECT NEW 12" PVC 120 WATER LINE TO EXISTING 12" WATER LINE. SEE SOUTH JORDAN CITY STANDARD DRAWING 3005 FOR DETAIL.
- 1 CONNECT NEW 12" PVC 120 WATER LINE TO EXISTING 12" WATER LINE. SEE SOUTH JORDAN CITY STANDARD DRAWING 3005 FOR DETAIL.

**KEYED NOTES:**  
 PROVIDE INSTALL AND/OR CONSTRUCTION THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAIL NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.  
 UTAH CONTACTS:  
 WATER: SOUTH JORDAN CITY  
 SEWER: SOUTH VALLEY SEWER DISTRICT  
 NATURAL GAS: QUESTER GAS  
 TELEPHONE: CENTURY LINK  
 ELECTRICAL: ROCKY MOUNTAIN POWER

**GENERAL NOTES:**  
 CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS.  
 ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH SOUTH JORDAN CITY STANDARDS & SPECIFICATIONS.  
 ALL NEW SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH SOUTH JORDAN CITY STANDARDS & SPECIFICATIONS.  
 CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO BUILDING WITH CENTURY PROPERTY, COORDINATE SIZES AND LOCATION WITH CENTURY LINK.  
 CONTRACTOR IS TO COORDINATE WITH QUESTER GAS FOR CONNECTION LINES OR WORK VEHICLES CONNECTION TO COORDINATE WITH QUESTER GAS FOR DESIGN OF GAS LINE SERVICE TO BUILDING.  
 LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN.  
 UTAH CONTACTS:  
 WATER: SOUTH JORDAN CITY  
 SEWER: SOUTH VALLEY SEWER DISTRICT  
 NATURAL GAS: QUESTER GAS  
 TELEPHONE: CENTURY LINK  
 ELECTRICAL: ROCKY MOUNTAIN POWER



**C3.02**  
 SITE UTILITY PLAN  
 DATE: MAR. 04, 2014  
 CHECKED BY: TJD  
 DRAWN BY: JHE  
 PROJECT NO.: 11493.A

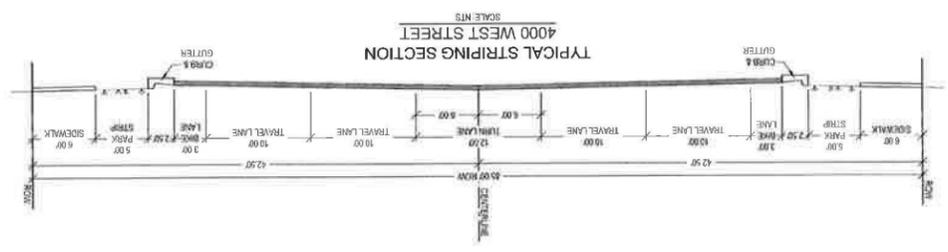
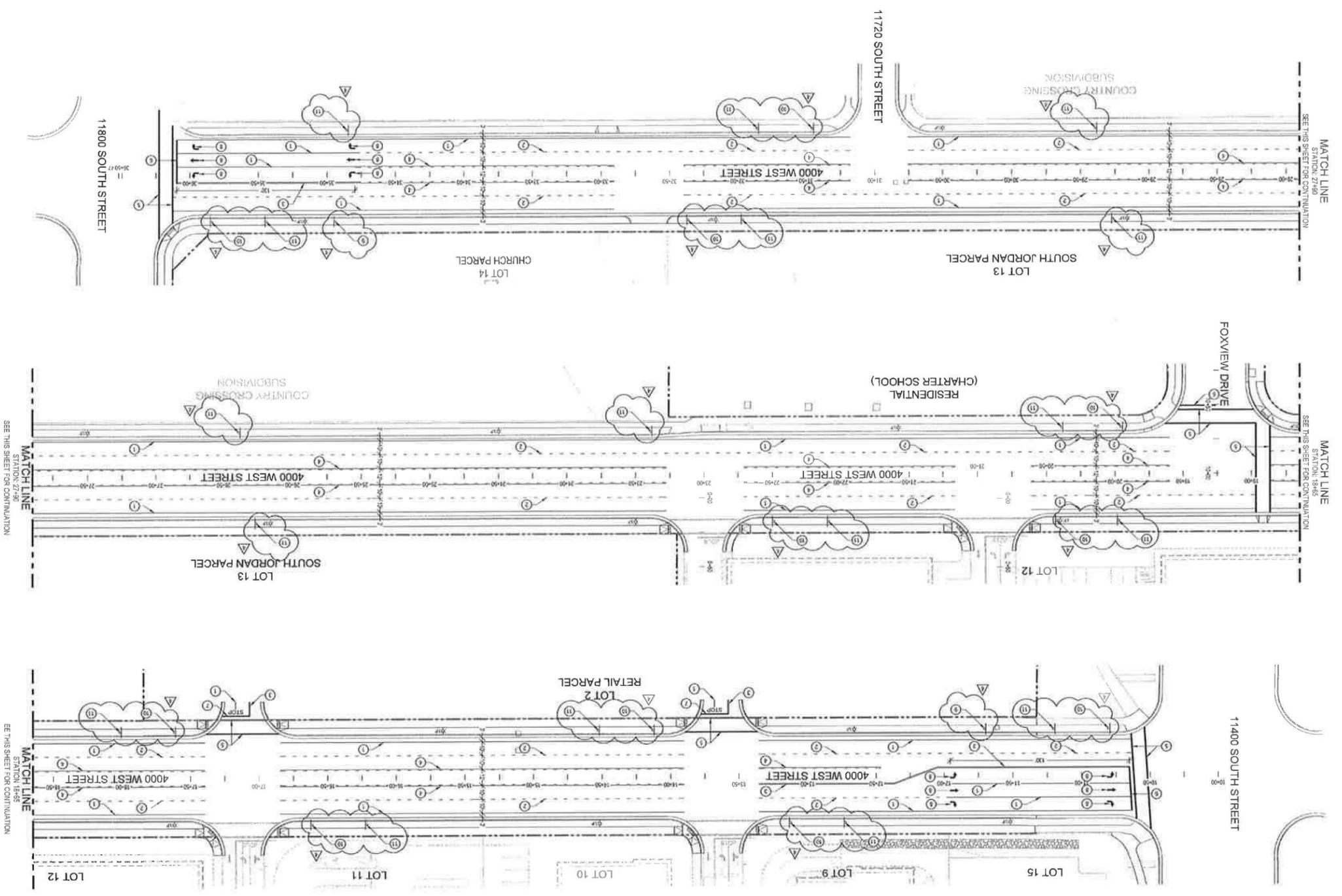
**REVISIONS**

| NO. | DATE     | DESCRIPTION                |
|-----|----------|----------------------------|
| 1   | 03/27/14 | ADD GAS LINE               |
| 2   | 04/22/14 | SITE REVISIONS             |
| 3   | 05/09/14 | SOUTH JORDAN CITY COMMENTS |

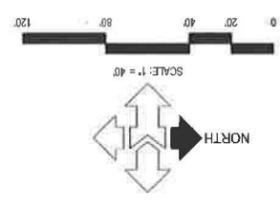
**Oquirrh Mountain Marketplace**  
 11400-11800 South 4000 West Street  
 South Jordan, Utah  
 Located in the SE Quarter of Section 19, T3S, R1W, S18&M



**McNEIL ENGINEERING**  
 Economic and Sustainable Designs, Professionals You Know and Trust.  
 8410 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcneilengineering.com  
 Civil Engineering • Consulting & Landscape Architecture  
 Structural Engineering • Land Surveying & HDS



- KEYED NOTES:**
- 7' WIDE SOLID WHITE LANE STRIPE
  - 4' WIDE DASHED WHITE LANE STRIPE
  - DOUBLE 4' WIDE SOLID YELLOW LANE STRIPE
  - 4' WIDE SOLID WHITE AND 4' WIDE DASHED WHITE TURN LANE STRIPE
  - 12' WIDE SOLID WHITE PEDESTRIAN CROSSWALK
  - PAINTED 12" WIDE SOLID WHITE STOP BAR
  - PAINTED 12" WIDE SOLID WHITE STOP OF BAR AND WORD "STOP"
  - PAINTED ARROW STRIPE
  - SPEED LIMIT SIGN SEE MUTED DETAIL B-10 COORDINATE WITH SOUTH JORDAN CITY
  - PAKE LANE SIGN AND PAINTED BLUE LANE SYMBOL FOR SOUTH JORDAN CITY STANDARDS AND SPECIFICATIONS
  - NO PARKING SIGN PER SOUTH JORDAN CITY STANDARDS AND SPECIFICATIONS
- GENERAL NOTES:**
- ALL WORK TO COMPLY WITH GOVERNING AGENCIES STANDARDS AND SPECIFICATIONS
- PROVIDE RETAIL MARKERS CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS CHECK OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION GRAYMSH.



**Call Djs**  
1 800 682 4111  
BEFORE YOU  
UTILIZE, ITS COSTLY.  
THE CONTRACTOR SHALL BE  
RESPONSIBLE FOR THE LOCATION,  
PROTECTION AND RESTORATION  
OF ALL BURRED OR ABOVE  
GROUND UTILITIES, SHOWN OR  
NOT SHOWN ON THE PLANS.  
NOTICE!

APPROVED BY SOUTH JORDAN CITY ENGINEER  
DATE: MAY 15, 2014

**C4.00**  
**STRIPING AND SIGNING PLAN**  
4000 WEST ST.  
PROJECT NO: 14931.A  
DRAWN BY: JHF  
CHECKED BY: TJD  
DATE: MAR. 04, 2014

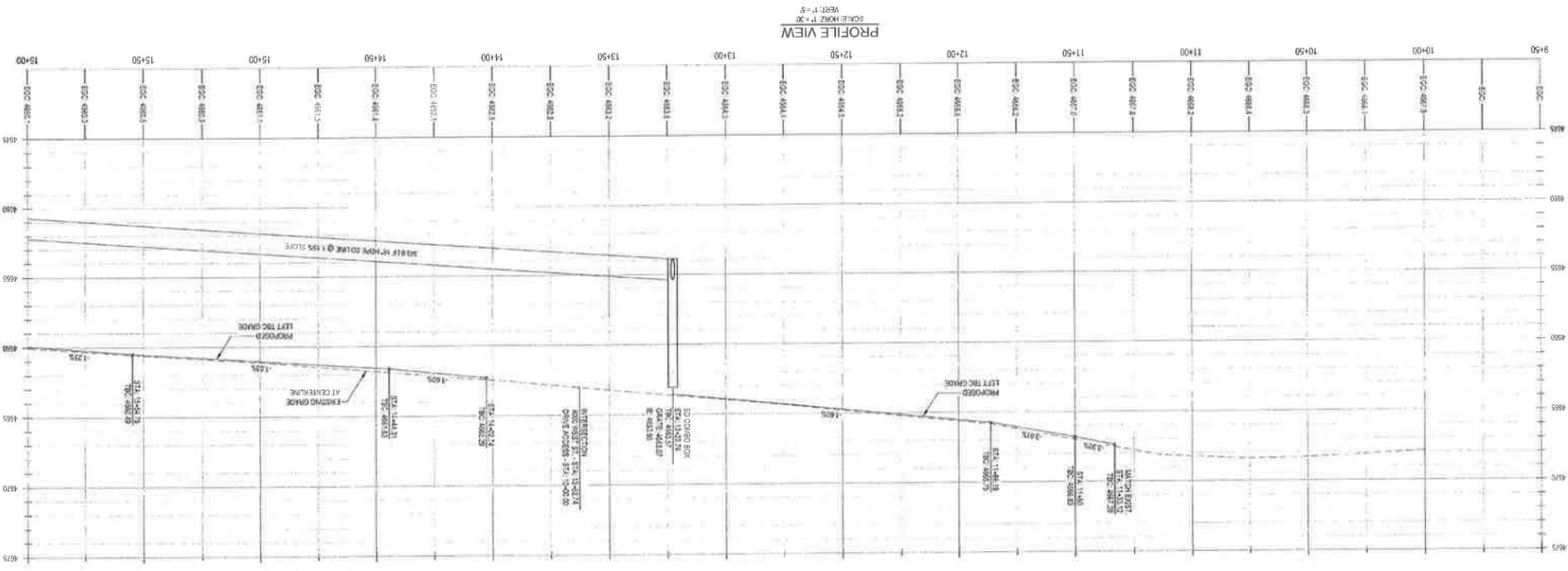
**REVISIONS**

| REV | DATE     | DESCRIPTION                |
|-----|----------|----------------------------|
| A   | 05/07/14 | SOUTH JORDAN CITY COMMENTS |
| B   | 04/22/14 | STR REVISIONS              |

**OQUIRRH MOUNTAIN MARKETPLACE**  
11400-11800 SOUTH 4000 WEST STREET  
SOUTH JORDAN, UTAH  
LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R1W, S18&M



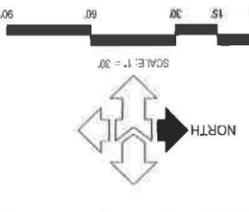
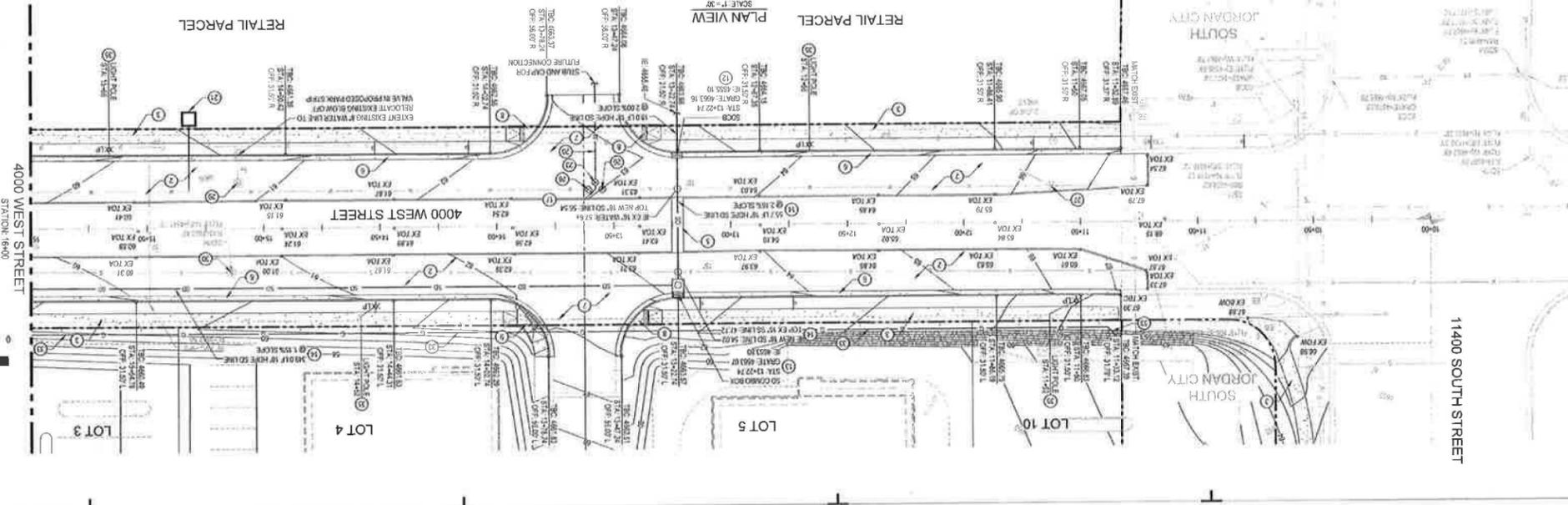
**McNEIL ENGINEERING**  
8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.353.2700 mcneilengineering.com  
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Structural Engineering • Land Surveying & HDS



NOTICE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION PROTECTION, AND RESTORATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.

GENERAL NOTES: SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT... EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS...

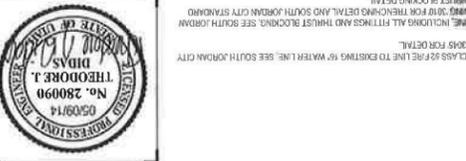
- KEYWORD NOTES: 1. GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN. 2. ROAD ASPHALT PAVEMENT WITH UNGRADED BASE COURSE PER DETAIL D1, SHEET 1 OF 2. 3. CONCRETE SIDEWALK SEE TYPICAL ROAD SECTION THIS SHEET. 4. EXHIBIT OF ASPHALT EDGE CURBS PER PLAN NO. 253 (SHEET 1 OF 2). 5. ASPHALT PATCH PER PLAN NO. 255 (SHEET 2 OF 2), SHEET C3. 6. GATE VALVE WITH VALVE BOX SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3047 FOR DETAIL. 7. GATE VALVE WITH VALVE BOX SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3047 FOR DETAIL. 8. OPEN DRIVE APPROACH PER PLAN NO. 223, SHEET C2. 9. ADJUST RAMP DETAIL AND APPROACH SURFACE SEE PLAN NO. 228, SHEET C2 FOR DETAILABLE WARNING. 10. ADJUST RAMP DETAIL AND APPROACH SURFACE SEE PLAN NO. 228, SHEET C2 FOR DETAILABLE WARNING. 11. ADJUST RAMP DETAIL AND APPROACH SURFACE SEE PLAN NO. 228, SHEET C2 FOR DETAILABLE WARNING. 12. ADJUST RAMP DETAIL AND APPROACH SURFACE SEE PLAN NO. 228, SHEET C2 FOR DETAILABLE WARNING. 13. 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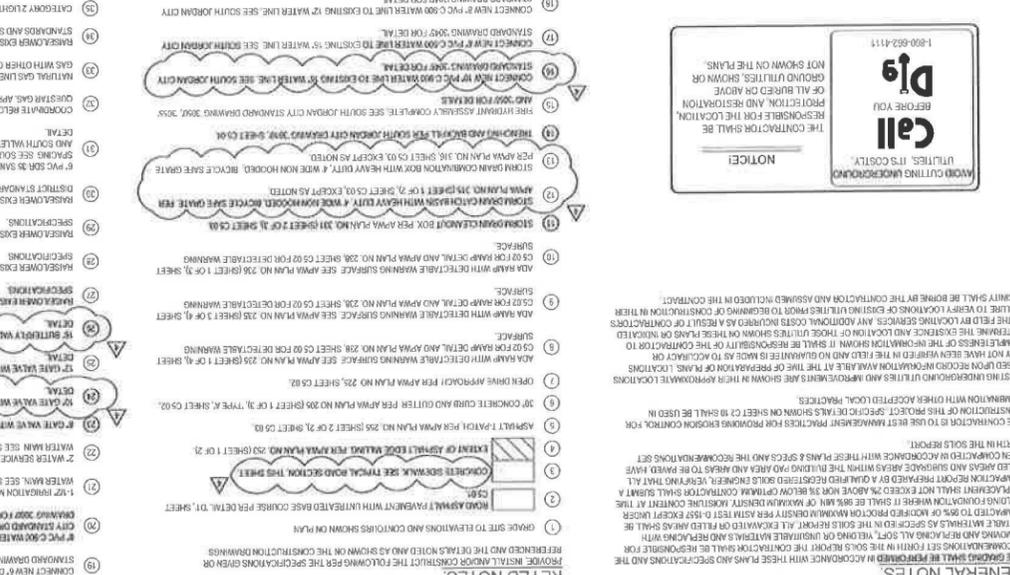
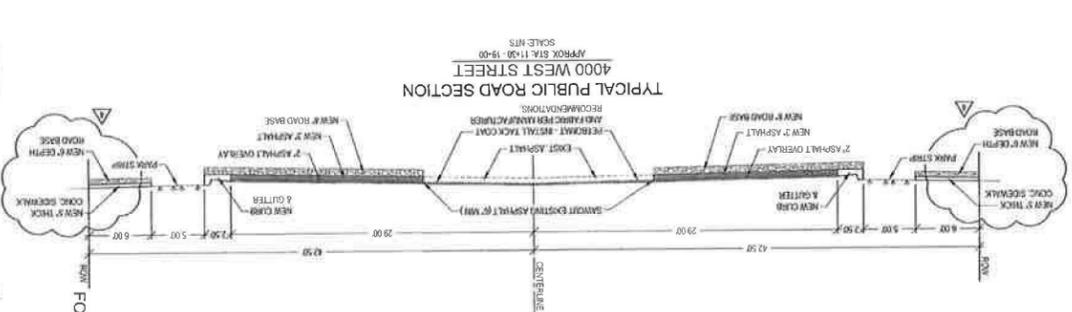
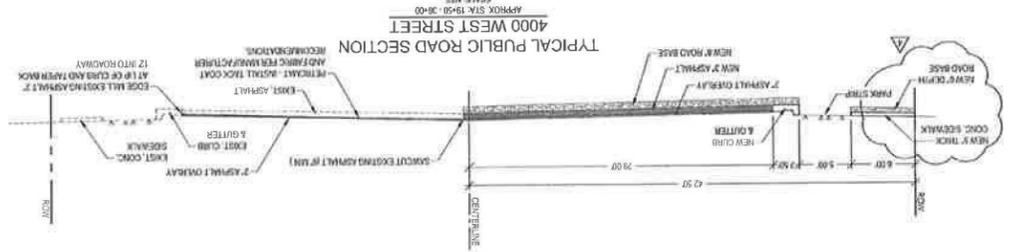
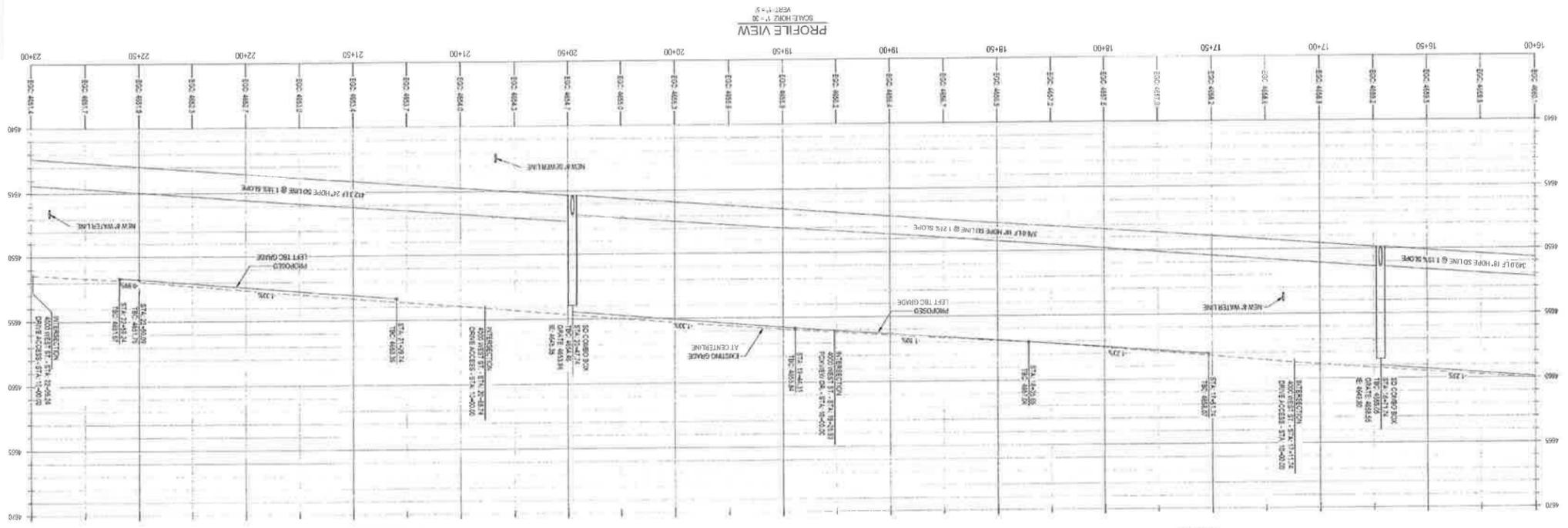
APPROVED BY SOUTH JORDAN CITY ENGINEER: [Signature] DATE: May 15, 2014

Table with columns: REV, DATE, DESCRIPTION. It lists several revisions to the plan and profile sheets.

OQUIRRH MOUNTAIN MARKETPLACE
11400-11800 SOUTH 4000 WEST STREET
SOUTH JORDAN, UTAH
LOCATED IN THE SE QUARTER OF SECTION 19, T35, R1W, S18&M



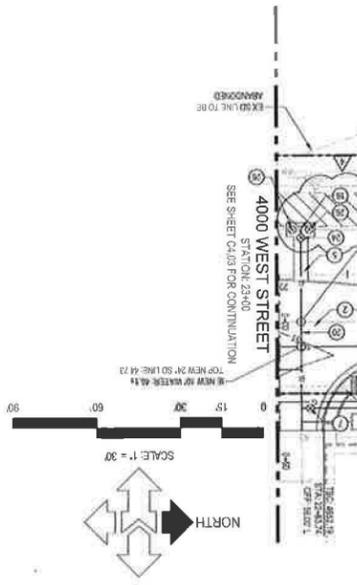
McNEIL ENGINEERING logo and contact information: 8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070. Services include Civil Engineering, Consulting & Landscape Architecture, Structural Engineering, and Land Surveying & HDS.



**Call Dgs**  
BEFORE YOU  
DIG  
THE CONTRACTOR SHALL BE  
RESPONSIBLE FOR THE LOCATION,  
PROFUNDITY AND DEPTH OF  
ALL UTILITIES SHOWN OR  
GROUND UTILITIES, SHOW OR  
NOT SHOWN ON THE PLANS.  
1-800-622-4111

**GENERAL NOTES:**  
1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. ALL EXCAVATED AREAS SHALL BE REGRADED AND REFINISHED TO THE ORIGINAL FINISH GRADE OR BETTER. ALL EXCAVATED AREAS SHALL BE REGRADED AND REFINISHED TO THE ORIGINAL FINISH GRADE OR BETTER. ALL EXCAVATED AREAS SHALL BE REGRADED AND REFINISHED TO THE ORIGINAL FINISH GRADE OR BETTER.

**KEYED NOTES:**  
1. GRADE TO ELEVATIONS AND CONTROLS SHOWN ON PLANS.  
2. ROADWAY PAVEMENT WITH UNPAVED BASE COURSE PER DETAIL 'D1', SHEET 23+00.  
3. CONCRETE SIDEWALK SEE TYPICAL ROAD SECTION THIS SHEET.  
4. EXISTING ASPHALT DRIVE PAVED PER APPLICABLE SHEET.  
5. ASPHALT PATCH PER APPLICABLE SHEET.  
6. CONCRETE CURB AND GUTTER PER APPLICABLE SHEET.  
7. DRIVE DRIVE APPROACH PER APPLICABLE SHEET.  
8. ADJUST DETECTABLE WARNING SURFACE PER APPLICABLE SHEET.  
9. ADJUST DETECTABLE WARNING SURFACE PER APPLICABLE SHEET.



APPROVED BY SOUTH JORDAN CITY ENGINEERS  
DATE: May 15, 2014

| REV | DATE     | DESCRIPTION                |
|-----|----------|----------------------------|
| 1   | 05/09/14 | SOUTH JORDAN CITY COMMENTS |

PROJECT NO. 13493A  
DRAWN BY: JHE  
CHECKED BY: TJD  
DATE: MAR. 04, 2014

4000 WEST ST.  
PLAN AND  
PROFILE SHEET  
C4.02

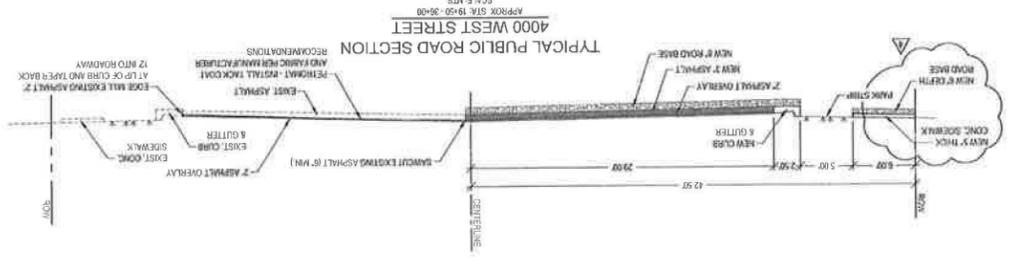
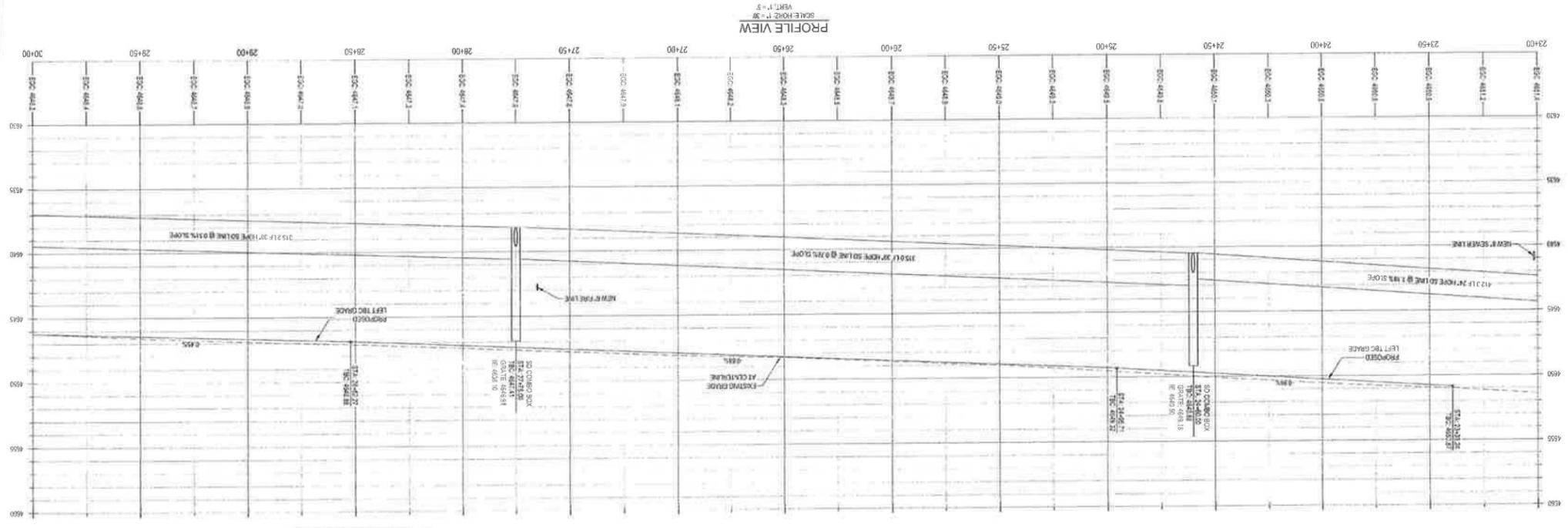
**REVISIONS**

**QOUIRRH MOUNTAIN MARKETPLACE**  
11400-11800 SOUTH 4000 WEST STREET  
SOUTH JORDAN, UTAH  
LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R1W, S18&M

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mneilengineering.com

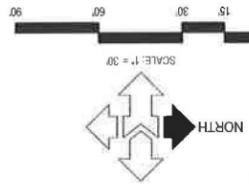
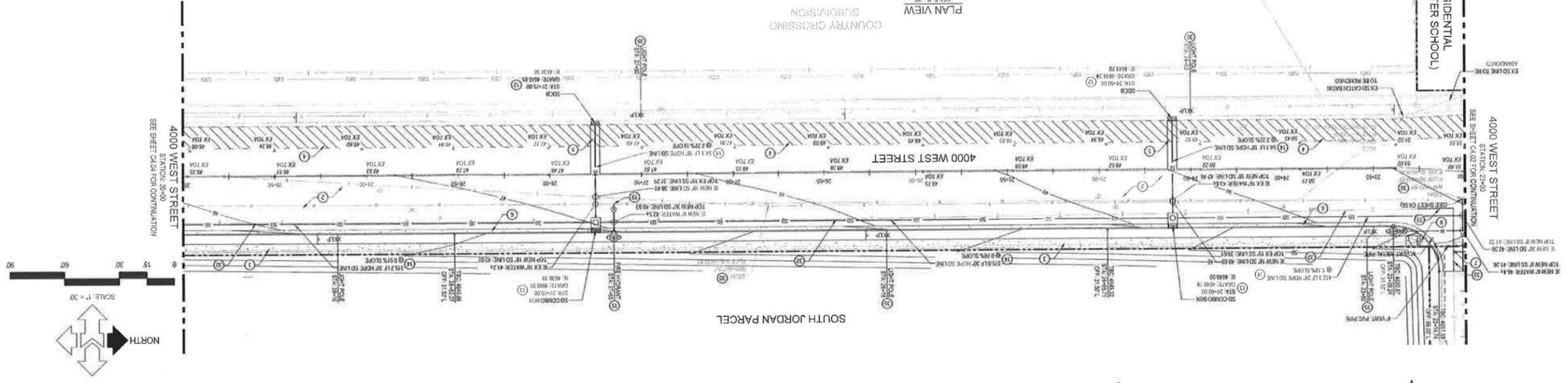
THEORETICAL ENGINEERING  
No. 280090  
05/09/14



**Call Digs**  
BEFORE YOU  
UTILIZE ITS COSTLY  
UTILITIES, IT'S COSTLY  
TO NOT SHOW ON THE PLANS  
OF ALL BURIED OR ABOVE  
GROUND UTILITIES, SHOW ON  
PROFESSIONAL AND RESTORATION  
RESPONSIBLE FOR THE LOCATION  
AND REPAIRS.

**GENERAL NOTES:**  
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND REPAIRS OF ALL UTILITIES SHOWN ON THESE PLANS OR LOCATED IN THE FIELD BY LOCATION SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR FAILING TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.  
2. EXISTING UNDERGROUND UTILITIES AND APPROPRIATE RECOMMENDATIONS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS OF UTILITIES NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTING AND LOCATION OF THESE UTILITIES SHOWN ON THESE PLANS OR LOCATED IN THE FIELD BY LOCATION SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR FAILING TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.  
3. THE CONTRACTOR TO THE BEST MANAGEMENT PRACTICES FOR PROTECTING EXISTING UTILITIES FROM DAMAGE SHALL BE RESPONSIBLE FOR THE LOCATION AND REPAIRS OF ALL UTILITIES SHOWN ON THESE PLANS OR LOCATED IN THE FIELD BY LOCATION SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR FAILING TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.  
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND REPAIRS OF ALL UTILITIES SHOWN ON THESE PLANS OR LOCATED IN THE FIELD BY LOCATION SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR FAILING TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

- KEYED NOTES:**
1. GRADE SITE TO ELEVATIONS AND CONDITIONS SHOWN ON PLAN.
  2. ROAD ASPHALT PAVEMENT WITH WATERBATCH BASE COURSE PER DETAIL DT1, SHEET 201.
  3. CONCRETE CURB AND GUTTER PER APWA PLAN NO. 205 (SHEET 1 OF 2), SHEET 032.
  4. OPEN DRIVE APPROACH PER APWA PLAN NO. 205, SHEET 032.
  5. GATE VALVE WITH VALVE BOX SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3007 FOR DETAIL.
  6. GATE VALVE WITH VALVE BOX SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3007 FOR DETAIL.
  7. GATE VALVE WITH VALVE BOX SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3007 FOR DETAIL.
  8. GATE VALVE WITH VALVE BOX SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3007 FOR DETAIL.
  9. GATE VALVE WITH VALVE BOX SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3007 FOR DETAIL.
  10. ASPHALT PAVEMENT PER APWA PLAN NO. 205 (SHEET 2 OF 2), SHEET 033.
  11. CONCRETE CURB AND GUTTER PER APWA PLAN NO. 205 (SHEET 1 OF 2), SHEET 032.
  12. OPEN DRIVE APPROACH PER APWA PLAN NO. 205, SHEET 032.
  13. GATE VALVE WITH VALVE BOX SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3007 FOR DETAIL.
  14. GATE VALVE WITH VALVE BOX SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3007 FOR DETAIL.
  15. GATE VALVE WITH VALVE BOX SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3007 FOR DETAIL.
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  46. GATE VALVE WITH VALVE BOX SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3007 FOR DETAIL.
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  49. GATE VALVE WITH VALVE BOX SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3007 FOR DETAIL.
  50. GATE VALVE WITH VALVE BOX SEE SOUTH JORDAN CITY STANDARD DRAWINGS 3007 FOR DETAIL.



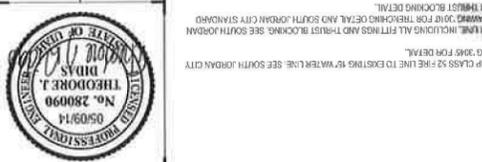
APPROVED BY SOUTH JORDAN CITY ENGINEER  
SOUTH JORDAN CITY ENGINEER  
DATE: May 18, 2014

4000 WEST ST. PLAN AND PROFILE SHEET  
C4.03

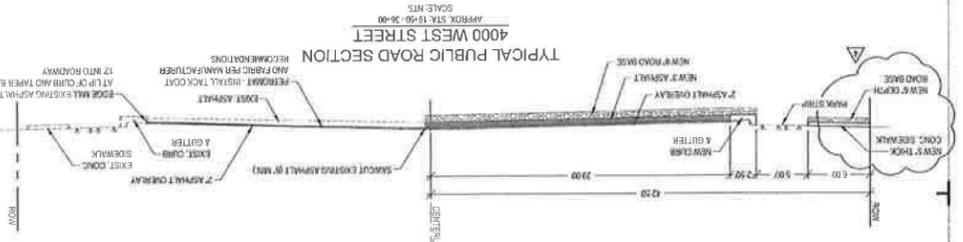
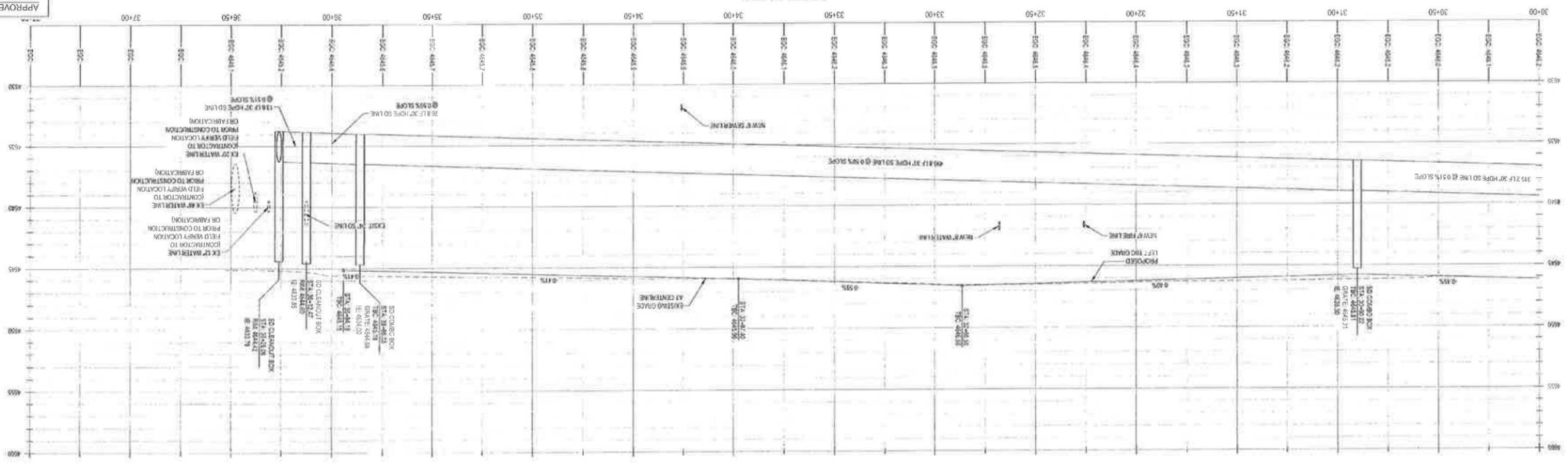
DATE: MAR. 04, 2014  
CHECKED BY: TJD  
DRAWN BY: JHF  
PROJECT NO.: 13493.A

| REV | DATE     | DESCRIPTION                |
|-----|----------|----------------------------|
| A   | 05/08/14 | SITE REVISIONS             |
| B   | 05/08/14 | SOUTH JORDAN CITY COMMENTS |

**Oquirrh Mountain Marketplace**  
11400-11800 SOUTH 4000 WEST STREET  
SOUTH JORDAN, UTAH  
LOCATED IN THE SE QUARTER OF SECTION 19, T35, R1W, S18&M



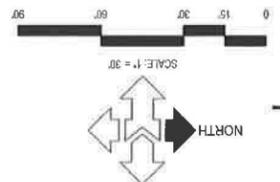
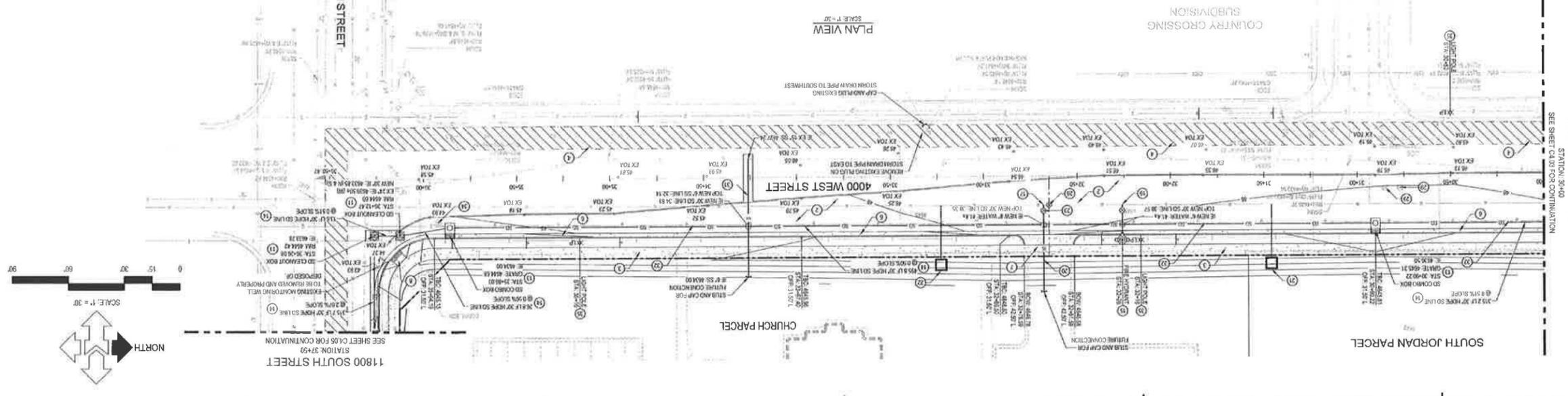
**McNEIL ENGINEERING**  
Economic and Sustainable Design. Professionals You Know and Trust.  
8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.557.7700 mcneilengineering.com  
Civil Engineering • Consulting & Landscape Architecture  
Structural Engineering • Land Surveying & HDS



GENERAL NOTES: THE DRAWING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REFERENCES FOR THE DETAILS NOTED AND SHOWN ON THE CONSTRUCTION DRAWINGS.

- KEYED NOTES: 1. GRADE SHIP TO ELEVATIONS AND CONDITIONS SHOWN ON PLAN. 2. ROAD ASPHALT PAVEMENT WITH UNGRADED BASE COURSE PER DETAIL 'D', SHEET 39.00. 3. COMPLETE FINISH SEE TYPICAL ROAD SECTION DETAIL (OR 2).

- 19. CONNECT NEW 8" CPVC 300 WATERLINE TO EXISTING 12" WATER LINE SEE SOUTH JORDAN CITY STANDARD DRAWING 3007 FOR DETAILS. 20. STANDARD DRAWING 3007 FOR DETAILS.



Call Dps before you dig! THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.

APPROVED BY SOUTH JORDAN CITY ENGINEER: [Signature] DATE: May 15, 2014

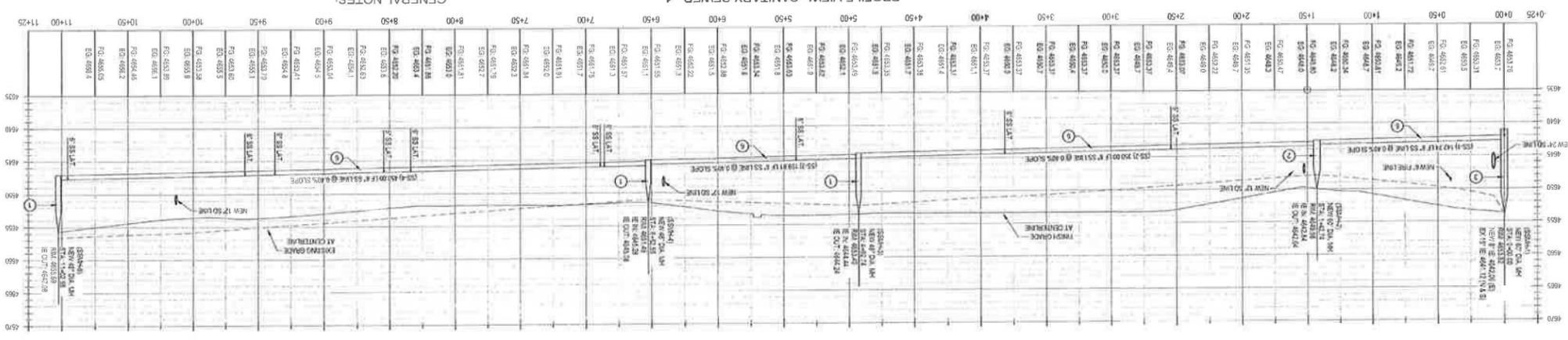
Table with columns: REV, DATE, DESCRIPTION, COMMENTS. Includes revision history for the drawing.

4000 WEST ST. PLAN AND PROFILE SHEET. PROJECT NO: 13493.A. DRAWN BY: JHF. CHECKED BY: TJD. DATE: MAR. 04, 2014.

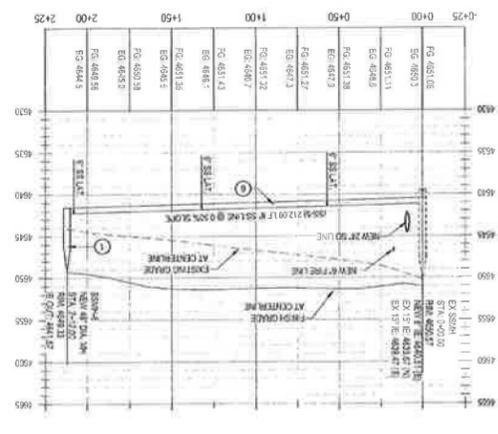


McNEIL ENGINEERING logo and contact information: 8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070. Services include Civil Engineering, Consulting & Landscape Architecture, Structural Engineering, and Land Surveying & HDS.

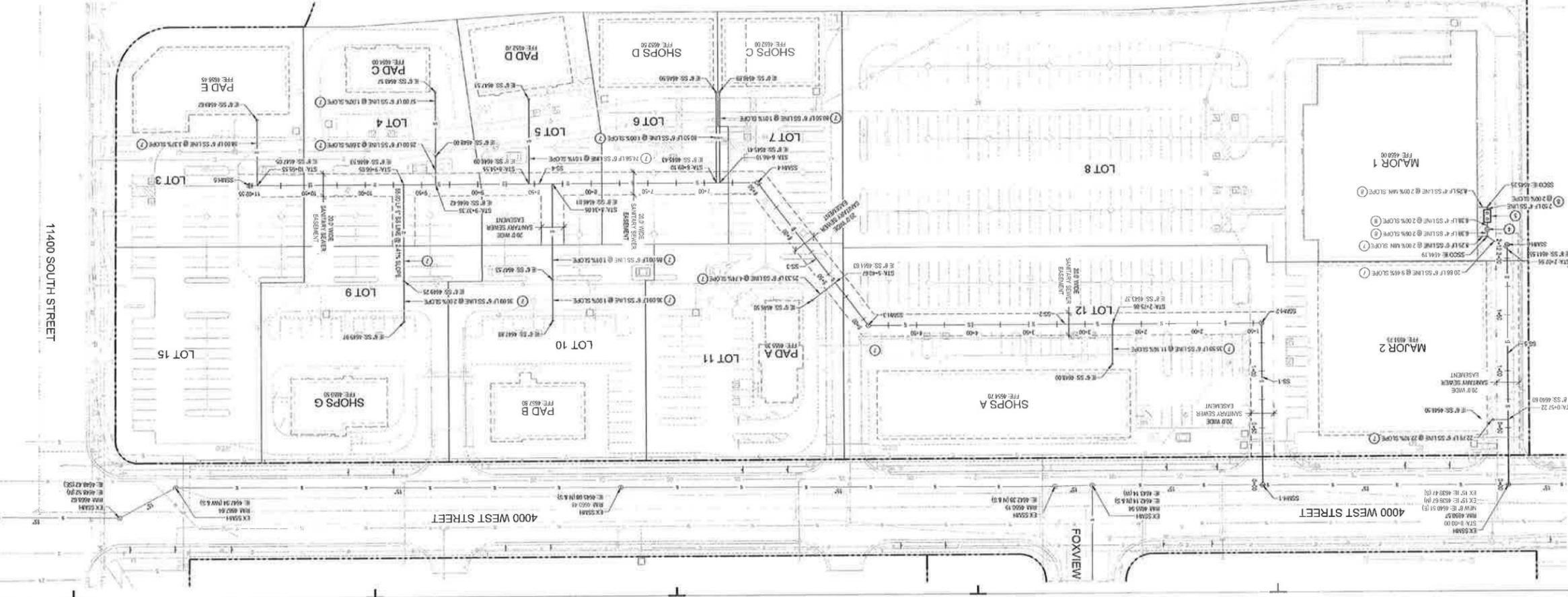




PROFILE VIEW - SANITARY SEWER - 1  
SCALE: HORIZ. 1" = 50'  
VERT. 1" = 50'



PROFILE VIEW - SANITARY SEWER - 2  
SCALE: HORIZ. 1" = 50'  
VERT. 1" = 50'



PLAN VIEW  
SCALE: 1" = 50'

**KEY NOTES:**  
 1. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STARTING OR CONSTRUCTING ANY NEW SEWER LINES.  
 2. ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH SOUTH WALLEY SEWER DISTRICT STANDARDS & SPECIFICATIONS.  
 3. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STARTING OR CONSTRUCTING ANY NEW SEWER LINES.  
 4. CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN.  
 5. LOCATION OF ALL EXISTING UTILITIES SHOWN AS APPROXIMATE LOCATIONS. CONTRACTOR IS TO VERIFY EXISTING UTILITIES WITH EXISTING UTILITIES CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.  
 6. REFERENCED, REVISIONS AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.  
 7. 2" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 8. 18" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 9. 30" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 10. 42" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 11. 54" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 12. 66" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 13. 78" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 14. 90" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 15. 102" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 16. 114" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 17. 126" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 18. 138" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 19. 150" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 20. 162" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 21. 174" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 22. 186" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 23. 198" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 24. 210" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 25. 222" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 26. 234" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 27. 246" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 28. 258" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 29. 270" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 30. 282" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 31. 294" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 32. 306" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 33. 318" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 34. 330" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 35. 342" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 36. 354" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 37. 366" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 38. 378" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 39. 390" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 40. 402" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 41. 414" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 42. 426" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 43. 438" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 44. 450" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 45. 462" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 46. 474" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 47. 486" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 48. 498" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 49. 510" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 50. 522" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 51. 534" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 52. 546" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 53. 558" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 54. 570" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 55. 582" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 56. 594" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 57. 606" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 58. 618" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 59. 630" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 60. 642" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 61. 654" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 62. 666" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 63. 678" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 64. 690" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 65. 702" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 66. 714" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 67. 726" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 68. 738" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 69. 750" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 70. 762" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 71. 774" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 72. 786" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 73. 798" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 74. 810" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 75. 822" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 76. 834" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 77. 846" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 78. 858" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 79. 870" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 80. 882" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 81. 894" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 82. 906" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 83. 918" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 84. 930" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
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 89. 990" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 90. 1002" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 91. 1014" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
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 99. 1110" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.  
 100. 1122" DIA. NEW SANITARY SEWER MANHOLE. SEE SOUTH WALLEY SEWER DISTRICT DRAWING NAME PT-2 FOR DETAIL.

**Call**  
 BEFORE YOU  
 UTILITIES IT'S COSTLY  
 AND CUTTING UNDERGROUND  
 UTILITIES IS COSTLY  
 1-800-852-4144

APPROVED BY SOUTH JORDAN CITY ENGINEER  
 DATE: May 15, 2014

**C4.06**  
 SAN. SEWER  
 PLAN AND  
 PROFILE SHEET  
 DATE: MAR. 04, 2014  
 CHECKED BY: TJD  
 DRAWN BY: JHF  
 PROJECT NO.: 13493A

**REVISIONS**

| REV | DATE     | DESCRIPTION   |
|-----|----------|---------------|
| A   | 04/23/14 | REV REVISIONS |

**Oquirrh Mountain Marketplace**  
 11400-11800 SOUTH 4000 WEST STREET  
 SOUTH JORDAN, UTAH  
 LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R1W, S18&M



**McNEIL ENGINEERING**  
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 Civil Engineering • Consulting & Landscape Architecture  
 Structural Engineering • Land Surveying & HDS





APPROVED BY SOUTH JORDAN CITY ENGINEER  
 DATE: May 15, 2014  
**3090**  
**METER SERVICE**  
**SOUTH JORDAN CITY**

NOTES:  
 1. PROTECT FROM TO PROTECTING AROUND THE METER BOX, WHICH PROTECTS OR DESTROYED BY DAMAGE.  
 2. METER BOX SHALL BE PROTECTED BY A MINIMUM 18" AT ALL SIDES BY CONCRETE OR METAL.  
 3. METER SHALL BE PROTECTED BY A MINIMUM 18" AT ALL SIDES BY CONCRETE OR METAL.  
 4. ALL METERS ARE TO BE INSTALLED IN THE PARK TRUNK OR WITHIN 4 FEET OF THE PROPERTY LINE (WHICH EVER IS GREATER).  
 5. METER SHALL BE PROTECTED BY A MINIMUM 18" AT ALL SIDES BY CONCRETE OR METAL.  
 6. METER SHALL BE PROTECTED BY A MINIMUM 18" AT ALL SIDES BY CONCRETE OR METAL.  
 7. METER SHALL BE PROTECTED BY A MINIMUM 18" AT ALL SIDES BY CONCRETE OR METAL.  
 8. METER SHALL BE PROTECTED BY A MINIMUM 18" AT ALL SIDES BY CONCRETE OR METAL.  
 9. METER SHALL BE PROTECTED BY A MINIMUM 18" AT ALL SIDES BY CONCRETE OR METAL.  
 10. METER SHALL BE PROTECTED BY A MINIMUM 18" AT ALL SIDES BY CONCRETE OR METAL.

**3050**  
**LOCATION OF FIRE HYDRANTS**  
**SOUTH JORDAN CITY**

NOTES:  
 1. ABOVE GROUND UTILITIES SHALL BE LOCATED ON PROPERTY LINES SEPARATING LOTS.  
 2. RECOMMENDED MATERIALS - 5" RIBBED STEEL TAPPING STEEL.

**3080**  
**DIRECT BEARING THURST BLOCKS**  
**SOUTH JORDAN CITY**

NOTES:  
 1. THE AREA OF BEARING PIPE SHALL BE EQUAL TO THE AREA OF THE PIPE.  
 2. THE AREA OF BEARING PIPE SHALL BE EQUAL TO THE AREA OF THE PIPE.  
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**3045**  
**MECHANICAL JOINT TAPPING SLEEVE**  
**SOUTH JORDAN CITY**

NOTES:  
 1. THE TAPPING SLEEVE SHALL BE INSTALLED IN THE PIPE.  
 2. THE TAPPING SLEEVE SHALL BE INSTALLED IN THE PIPE.  
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 10. THE TAPPING SLEEVE SHALL BE INSTALLED IN THE PIPE.

**3056**  
**FIRE HYDRANT INSTALLATION WITH MAIN OUTSIDE THE ROADWAY**  
**SOUTH JORDAN CITY**

NOTES:  
 1. THE FIRE HYDRANT SHALL BE INSTALLED IN THE ROADWAY.  
 2. THE FIRE HYDRANT SHALL BE INSTALLED IN THE ROADWAY.  
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 9. THE FIRE HYDRANT SHALL BE INSTALLED IN THE ROADWAY.  
 10. THE FIRE HYDRANT SHALL BE INSTALLED IN THE ROADWAY.

**3040**  
**VALVE BOX INSTALLATION**  
**SOUTH JORDAN CITY**

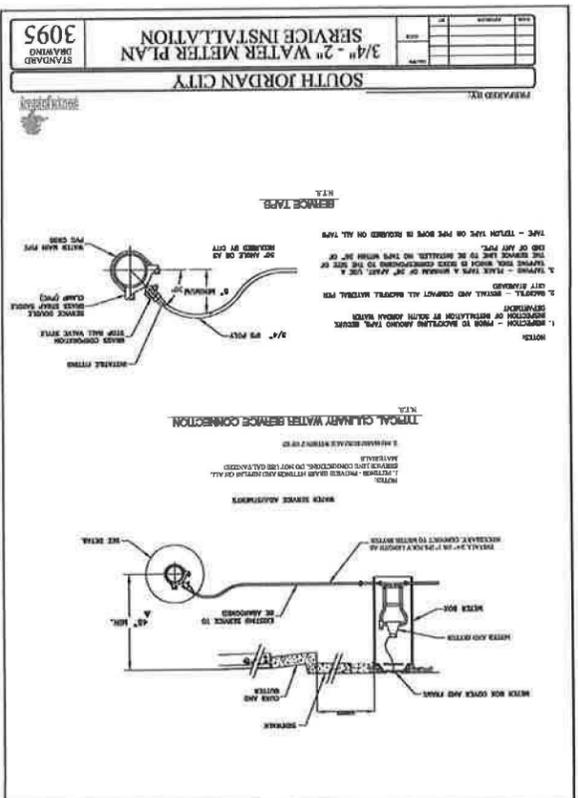
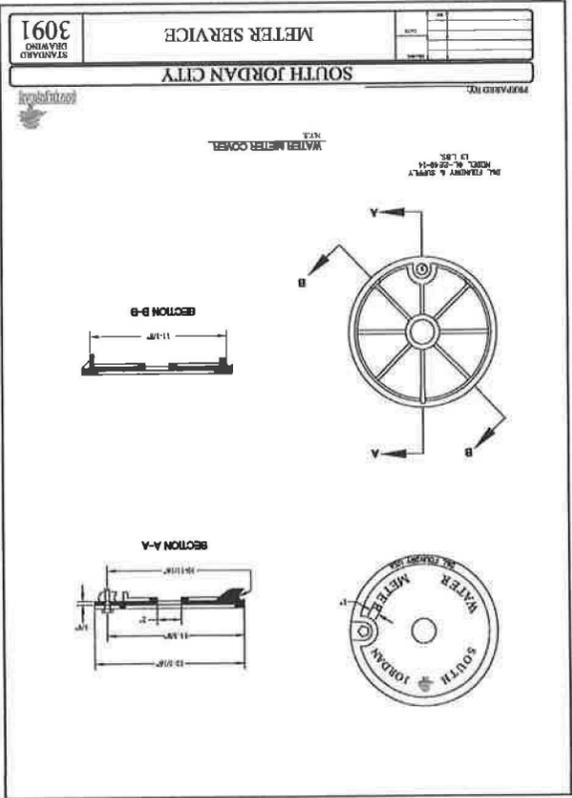
NOTES:  
 1. THE VALVE BOX SHALL BE INSTALLED IN THE ROADWAY.  
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 10. THE VALVE BOX SHALL BE INSTALLED IN THE ROADWAY.

**3055**  
**FIRE HYDRANT INSTALLATION WITH MAIN IN THE ROADWAY**  
**SOUTH JORDAN CITY**

NOTES:  
 1. THE FIRE HYDRANT SHALL BE INSTALLED IN THE ROADWAY.  
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 10. THE FIRE HYDRANT SHALL BE INSTALLED IN THE ROADWAY.

**3010**  
**TRINCH CROSS SECTION TERMINOLOGY & STANDARD SIZES**  
**SOUTH JORDAN CITY**

NOTES:  
 1. THE TRINCH SHALL BE INSTALLED IN THE ROADWAY.  
 2. THE TRINCH SHALL BE INSTALLED IN THE ROADWAY.  
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 9. THE TRINCH SHALL BE INSTALLED IN THE ROADWAY.  
 10. THE TRINCH SHALL BE INSTALLED IN THE ROADWAY.



APPROVED BY SOUTH JORDAN CITY ENGINEER  
 DATE: May 19, 2014

| REV | DATE     | DESCRIPTION    |
|-----|----------|----------------|
| 1   | 04/21/14 | SITE REVISIONS |
|     |          |                |
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|     |          |                |
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PROJECT NO: 13493A  
 DRAWN BY: JHF  
 CHECKED BY: TJD  
 DATE: MAR. 04, 2014

SOUTH JORDAN CITY STANDARD DRAWINGS  
 CS.05

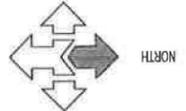
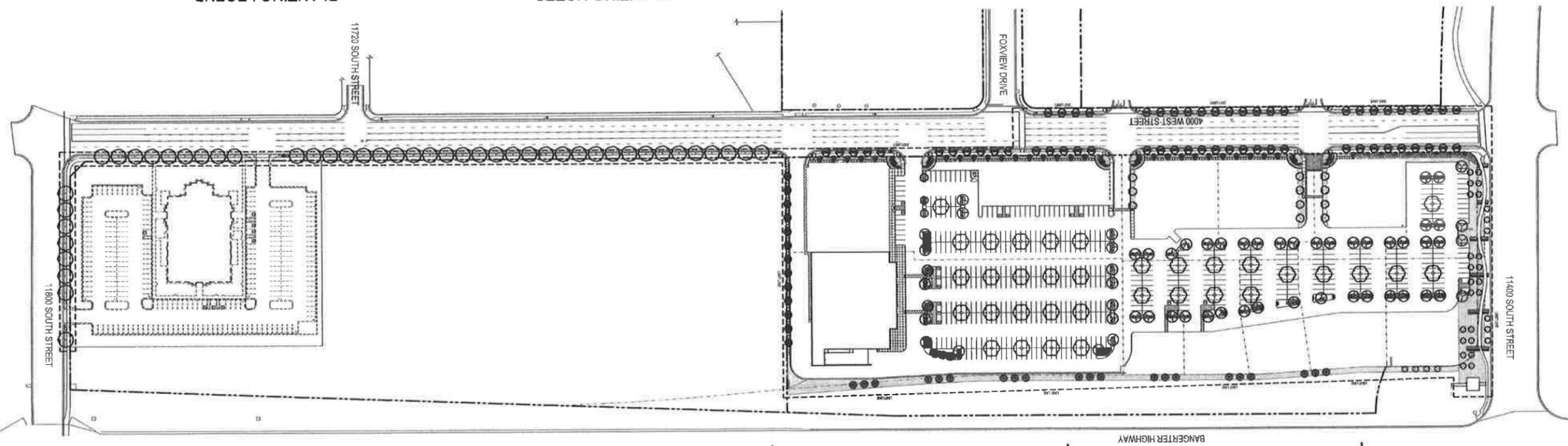
**OQUIRRH MOUNTAIN MARKETPLACE**  
 11400-11800 SOUTH 4000 WEST STREET  
 SOUTH JORDAN, UTAH  
 LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R1W, S18&M



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S:\030519\11800 SOUTH MOUNTAIN MARKETPLACE\Plan Day\11800 LND LAYOUT.dwg, sheet: Day, 14, 2014 - 4:56pm



OVERALL PLANTING PLAN  
SCALE: 1" = 100'-0"

**PLANTING NOTES**

1. ALL QUANTITIES ARE SHOWN AS AN AD ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR ALL QUANTITY CALCULATIONS BASED ON THE PLANTING PLAN.
2. PLANT COMMON NAMES ARE SHOWN AS AN REFERENCE ONLY. USE COMPLETE BOTANICAL NAMES WHEN PURCHASING ALL PLANT MATERIAL.
3. GRASSES SHALL MATCH THE NATIVE GRASSES ALONG 11800 SOUTH AND HYDRO-SEED AT A RATE OF 9 LBS PER ACRE. SUBMIT PROPOSED SEED MIX FOR APPROVAL PRIOR TO APPLICATION OF SEED.

**REFERENCE NOTES**

- 1 ALUMINUM LANDSCAPE EDGING - SEE DETAIL JL5.01
- 2 OMITTED
- 3 LOW RETAINING WALL - SEE DETAIL FA5.03
- 4 CONCRETE ACCENT BAND, 24" WIDE
- 5 DECORATIVE STAMPED COLORED CONCRETE
- 6 NEW CONCRETE SIDEWALK - SEE CIVIL PLANS
- 7 EXISTING LAWN AND IRRIGATION SYSTEM TO REMAIN
- 8 CONCRETE MONSTRIP, 6" WIDE - SEE DETAIL GL5.01
- 9 SIGHT TRIANGLE, 30' X 30'
- 10 CONCRETE MONSTRIP, 12" WIDE - SEE DETAIL HL5.01
- 11 EDGE OF NATIVE GRASS AREA
- 12 BOULDER RETAINING WALL - SEE CIVIL PLANS
- 13 EXISTING ROCK WALL TO REMAIN - CUT OPENINGS AS REQUIRED FOR NEW WALKWAY
- 14 REMOVE THE EXISTING LAWN AS REQUIRED TO INSTALL NEW PLANTING BED. EXISTING YUCCA PLANTS TO REMAIN. ADD NEW AS NEEDED. MODIFY EXISTING IRRIGATION SYSTEM AS REQUIRED.
- 15 CONCRETE PAD FOR IRRIGATION SYSTEM
- 16 CONCRETE PAD FOR IRRIGATION SYSTEM
- 17 SIGHT TRIANGLE, 60' X 60'

**LANDSCAPE DATA**

| GENERAL SITE INFORMATION           | REQUIRED               | PROVIDED  |
|------------------------------------|------------------------|-----------|
| TOTAL LANDSCAPE AREA (SQUARE FEET) | 1 TREE PER 500 SQ. FT. | 100 TREES |

City Engineer  
Approved this  
of  
30<sup>th</sup> DAY  
15<sup>th</sup> DAY

**PLANTING LEGEND**

| SYMBOL         | QUANTITY    | COMMON NAME                            | BOTANICAL NAME                                 | SIZE          | NOTE                 |
|----------------|-------------|--|--|---------------|----------------------|
| (Tree symbol)  | 46          | COMMON HAWKBERRY                       | <i>Vaccinium vitis-idaea</i>                   | 27 Caliper    | See Detail EL5.01    |
| (Tree symbol)  | 31          | SHADEMASTER HONEYLOCUST                | <i>Gleditsia triacanthos 'Shademaster'</i>     | 27 Caliper    | See Detail EL5.01    |
| (Tree symbol)  | 60          | KLEANS IMPROVED BECHTEL CRABAPPLE      | <i>Malus baccata 'Kleins Improved Bechtel'</i> | 27 Caliper    | See Detail EL5.01    |
| (Tree symbol)  | 60          | CHAMLOOPEER PEAR                       | <i>Pyrus calleryana 'Chamlooper'</i>           | 27 Caliper    | See Detail EL5.01    |
| (Tree symbol)  | 17          | MISHSHINO COLUMNAR ZELKOVA             | <i>Zelkova sericea 'Mishshino'</i>             | 27 Caliper    | See Detail EL5.01    |
| (Tree symbol)  | 34          | VANDERKWIJVER'S PYRAMID                | <i>Pinus baltica 'Vanderkwijs Pyramid'</i>     | 7 Height Min. | See Detail FL5.01    |
| (Tree symbol)  | 25          | FLOWERING CRABAPPLE                    | <i>Malus floridaensis</i>                      | 27 Caliper    | See Detail EL5.01    |
| (Tree symbol)  | 7           | EXISTING FLOWERING CRABAPPLE TO REMAIN |  |               |                      |
| (Tree symbol)  | 18          | COLUMNAR NORWAY SPRUCE                 | <i>Picea abies 'expressa'</i>                  | 7 Height Min. | See Detail FL5.01    |
| (Shrub symbol) | 35          | CHINA SNOW TREE (LILAC)                | <i>Syringa petershana 'China Snow'</i>         | 20 Caliper    | See Details AB5L5.01 |
| (Shrub symbol) | 200         | ARCTIC FIRE DOGWOOD                    | <i>Cornus sanguinea 'Arctic Fire'</i>          | 5 Galton      | See Details AB5L5.01 |
| (Shrub symbol) | 136         | RED MICHIGAN ROSE                      | <i>Rosa x 'Michigan' (Red)</i>                 | 5 Galton      | See Details AB5L5.01 |
| (Shrub symbol) | 106         | ALPINE JUNIPER                         | <i>Juniperus communis 'Alpine Carpet'</i>      | 5 Galton      | See Details AB5L5.01 |
| (Shrub symbol) | 51          | COLOR GUARD YUCCA                      | <i>Yucca filamentosa 'Color Guard'</i>         | 5 Galton      | See Details AB5L5.01 |
| (Shrub symbol) | 162         | HELMOND PLYER BARBERRY                 | <i>Berberis thunbergii atropurpurea</i>        | 5 Galton      | See Details AB5L5.01 |
| (Grass symbol) | 672         | BLUE OAT GRASS                         | <i>Lolium perenne</i>                          | 1 Galton      | See Detail CL5.01    |
| (Grass symbol) | 124         | ELIJAH BLUE FESCUE                     | <i>Festuca glauca 'Elijah Blue'</i>            | 1 Galton      | See Detail CL5.01    |
| (Grass symbol) | 304         | STELLA ORO DAYLILY                     | <i>Hemerocallis x 'Stella de Oro'</i>          | 1 Galton      | See Detail CL5.01    |
| (Grass symbol) | 281         | OVERLAIN FEATHER NEED GRASS            | <i>Calamagrostis x scabrifera 'Overlain'</i>   | 1 Galton      | See Detail CL5.01    |
| (Grass symbol) | 1           | ANGELINA SEULM                         | <i>Sedum rupestris 'Angelina'</i>              | 1 Galton      | @ 18" o.c.           |
| (Grass symbol) | 19,380 s.f. | LAWN SOD                               |  |               | See Detail RL5.01    |
| (Grass symbol) | 28,808 s.f. | NATIVE GRASSES                         |  |               | See Planting Note 3  |
| (Stone symbol) | 2,176 s.f.  | DECORATIVE STONE                       |  |               | See Detail DL5.01    |
| (Stone symbol) | 19,480 s.f. | COBBLE, 3/4" - 6" DIAMETER             |  |               | See Detail DL5.01    |

Install over Drivitis Pro 5 weed barrier fabric. Rock shall be washed and free of soil and other foreign debris.  
MINIMUM 3" DEEP.  
APPROVED EQUAL INSTALLED A COMPANIES (601) 819-9089 OR WEST FROM STAKER & PARSON (601) 819-9089 OR APPROVED EQUAL INSTALLED A MINIMUM 5" DEEP.  
SANDSTONE (601) 827-2322 OR APPROVED EQUAL INSTALLED A MINIMUM 5" DEEP.

**REVISIONS**

| REV | DATE    | DESCRIPTION    |
|-----|---------|----------------|
| A   | 4/21/14 | SITE REVISIONS |

**PROJECT NO: 13493**  
DRAWN BY: SS/SE  
CHECKED BY: SS  
DATE: JANUARY 2014

**OVERALL**

**11400-11800 SOUTH 4000 WEST STREET**  
SOUTH JORDAN, UTAH  
LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R1W, S188M

**OQUIRRH MOUNTAIN MARKETPLACE**

STATE OF UTAH  
SCOTT A. SCHONOVER  
349757  
05/14/14  
LANDSCAPE ARCHITECT

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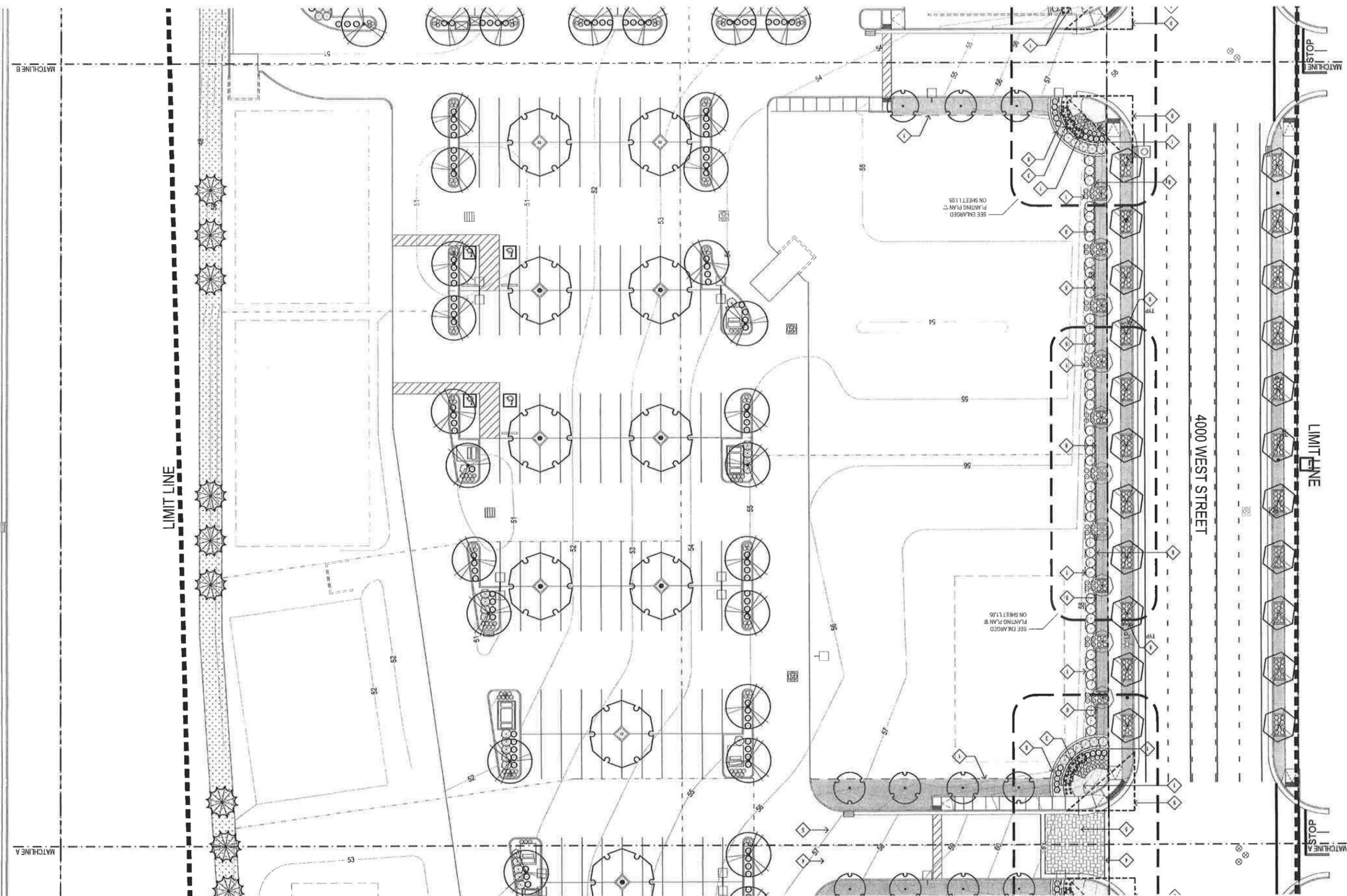




NOTICE  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



PLANTING PLAN  
SCALE: 1" = 20'-0"



Checked by: *David K. Krieger*  
Approved this: *15th Day* of *May* 2014  
City Engineer

11.02

PLANTING

DATE: JANUARY 2014

CHECKED BY: SS

DRAWN BY: SS/SE

PROJECT NO: 13493

| REV | DATE    | DESCRIPTION    |
|-----|---------|----------------|
| A   | 4/21/14 | SITE REVISIONS |

REVISIONS

**OQUIRH MOUNTAIN MARKETPLACE**  
**11400-11800 SOUTH 4000 WEST STREET**  
**SOUTH JORDAN, UTAH**  
 LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R1W, S18&M



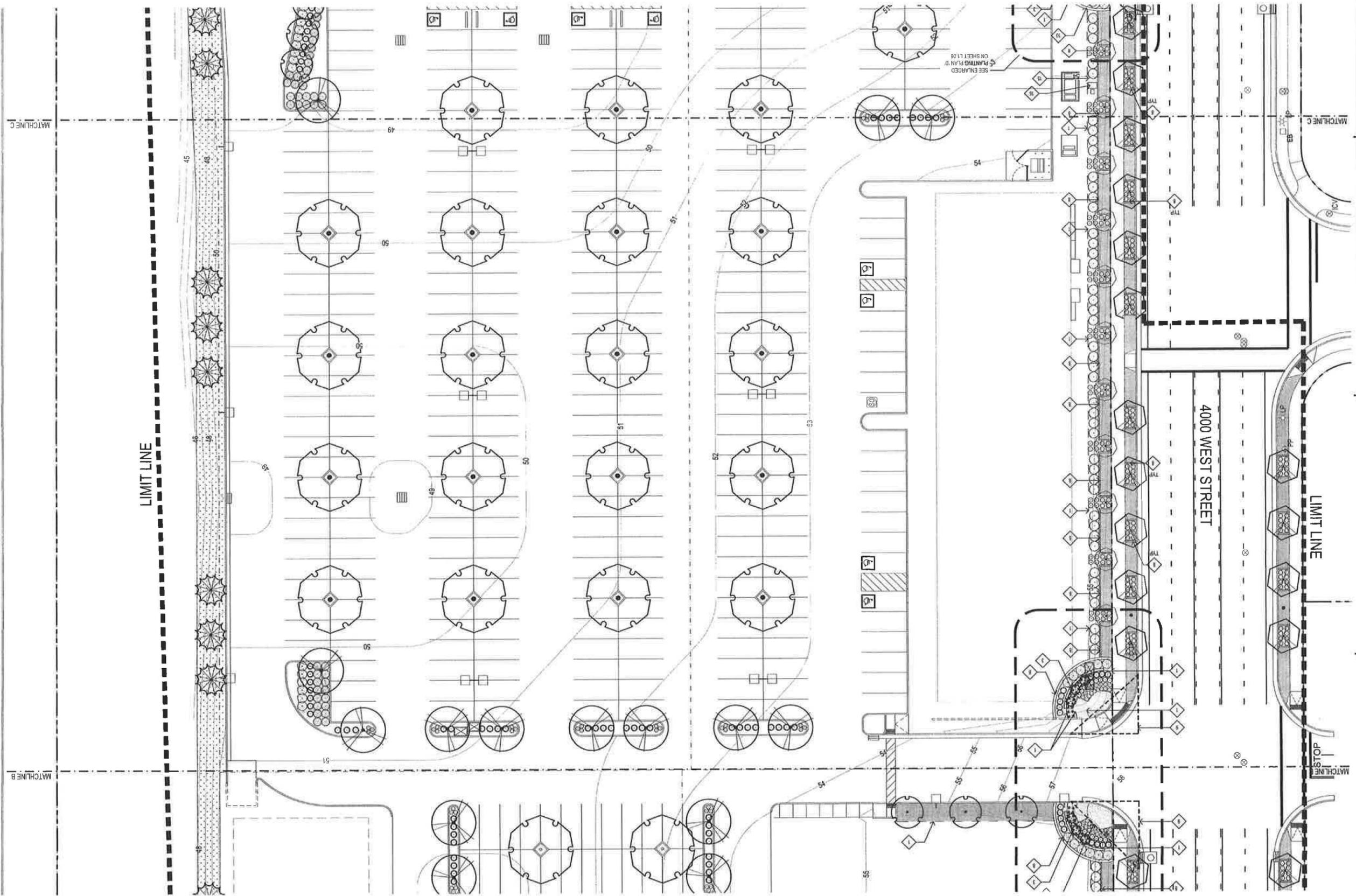
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WOOD CUTTING UNDERGROUND UTILITIES, ITS COSTLY. REPAIR YOU RESPONSIBLE FOR THE LOCATION PROTECTION AND RESTORATION OF ALL PILES OR RAISE NOT SHOWN ON THE PLANS.

**Call**  
1-800-692-4111

**Djg**

NOTICE!



PLANTING PLAN  
SCALE: 1" = 20'-0"



CITY ENGINEER  
City Engineer  
Approved this  
of  
15th Day  
15th

11.03

PLANTING

DATE: JANUARY 2014

CHECKED BY: SS

DRAWN BY: SS/SE

PROJECT NO: 11493

| REV | DATE    | DESCRIPTION   |
|-----|---------|---------------|
| 1   | 4/21/14 | 3RD REVISIONS |

**REVISIONS**

**OQUIRRH MOUNTAIN MARKETPLACE**

**11400-11800 SOUTH 4000 WEST STREET**

**SOUTH JORDAN, UTAH**

LOCATED IN THE SE QUARTER OF SECTION 19, T35, R1W, S18&M



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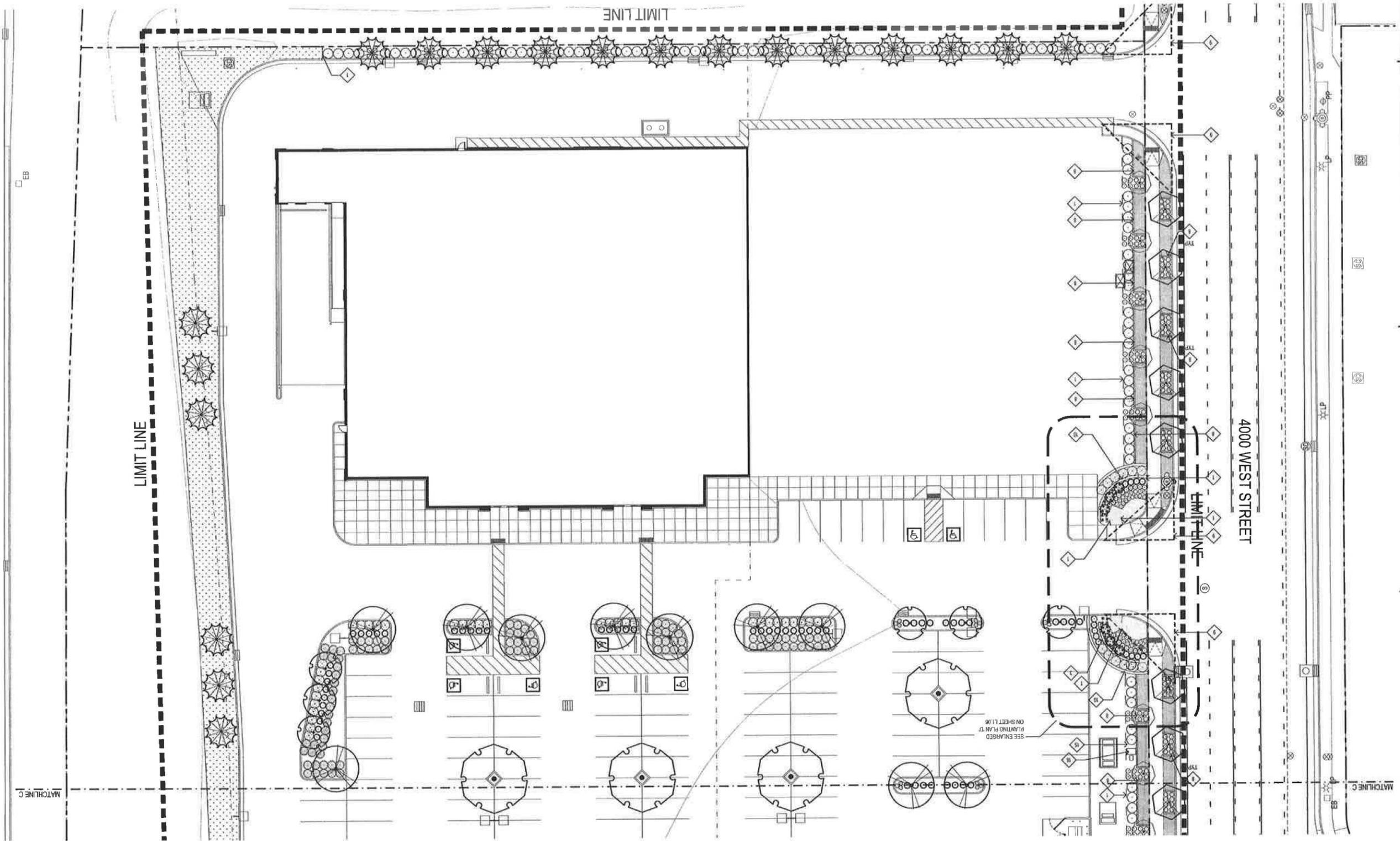
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1-800-962-4111  
**Call**  
 BEFORE YOU  
 PROTECT YOUR INVESTMENT  
 PROTECTION AND RESTORATION  
 BEFORE FOR THE LOCATION.  
 THE CONTRACTOR SHALL BE  
 RESPONSIBLE FOR THE LOCATION.  
 OF ALL BARRIERS OR ADVICE  
 GROUND UTILITIES SHOWN OR  
 NOT SHOWN ON THE PLANS.  
 AVOID CUTTING UNDERGROUND  
 UTILITIES. IT'S COSTLY.  
 NOTICE!



PLANTING PLAN  
SCALE: 1" = 20'-0"



11.04

PLANTING

PROJECT NO: 13493  
 DRAWN BY: SS/SE  
 CHECKED BY: SS  
 DATE: JANUARY 2014

| REV | DATE    | DESCRIPTION    |
|-----|---------|----------------|
| 1   | 4/21/14 | SITE REVISIONS |

**OQUIRH MOUNTAIN MARKETPLACE**  
 11400-11800 SOUTH 4000 WEST STREET  
 SOUTH JORDAN, UTAH  
 LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R1W, S18&M



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City Engineer  
 Approved this 15th Day of January 2014  
 Brent Welch

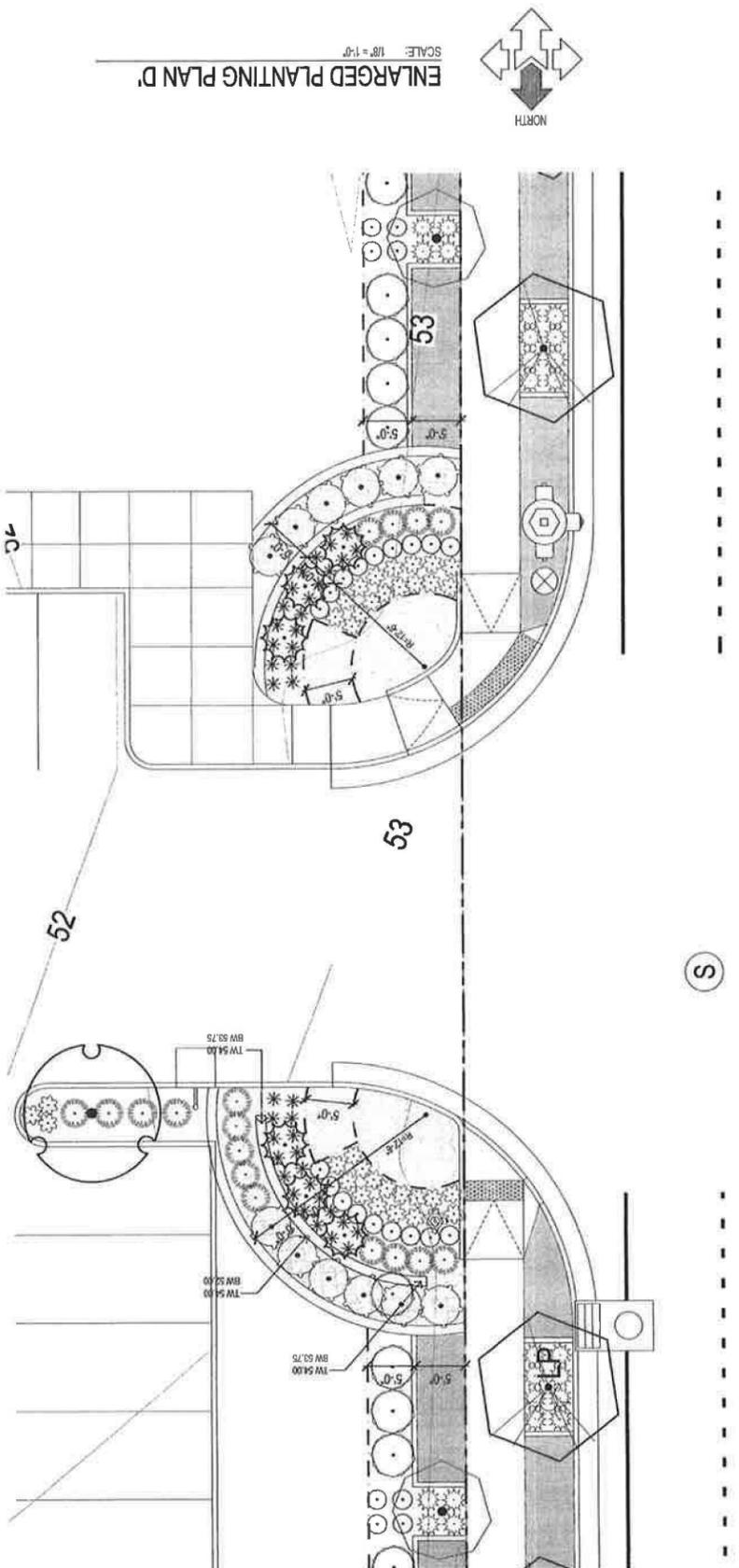
MATCHLINE C

MATCHLINE C



1-800-662-4111  
**Call**  
 BEFORE YOU  
**Dig**  
 UNLESS IT'S COSTLY.  
 THE CONTRACTOR SHALL BE  
 RESPONSIBLE FOR THE LOCATION,  
 PROTECTION AND RESTORATION  
 OF ALL UTILITIES SHOWN OR  
 GROUND UTILITIES SHOWN OR  
 NOT SHOWN ON THE PLANS.

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 NOT SHOWN ON THE PLANS.







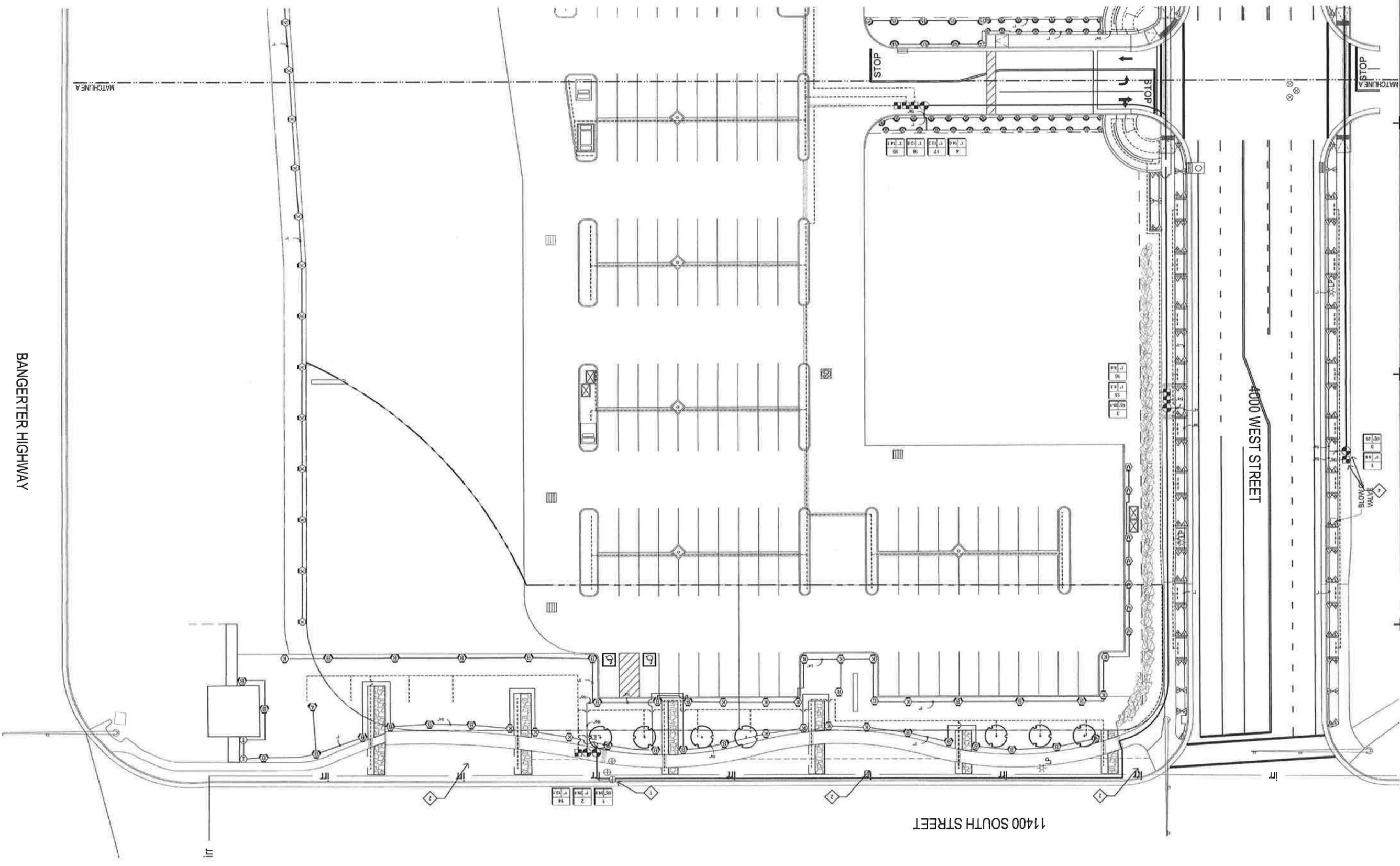


**Call**  
 Before You Dig  
 1-800-682-4111

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.  
 RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

NOTICE!

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IRRIGATION PLAN  
 SCALE: 1" = 20'-0"



**12.01**

IRRIGATION PLAN

DATE: JANUARY 2014  
 CHECKED BY: SS  
 DRAWN BY: SS/BE  
 PROJECT NO: 13493

| REV | DATE    | DESCRIPTION    |
|-----|---------|----------------|
| 1   | 4/21/14 | SITE REVISIONS |

**REVISIONS**

**OQUIRRH MOUNTAIN MARKETPLACE**  
 11400-11800 SOUTH 4000 WEST STREET  
 SOUTH JORDAN, UTAH  
 LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R11W, S18&M

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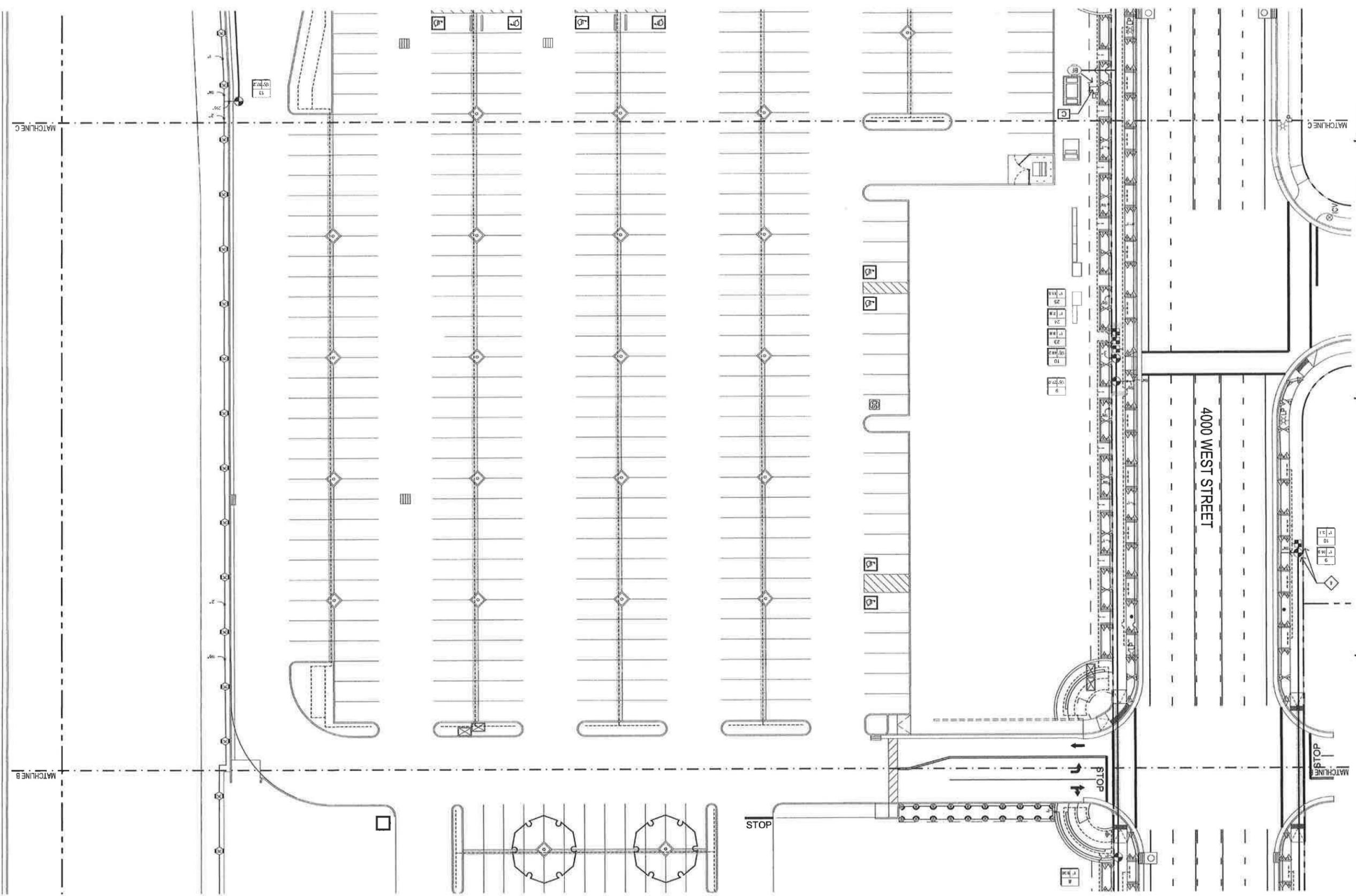
City Engineer  
 Approved this 15th Day of January 2014



**Call**  
BEFORE YOU  
DIG  
1-800-824-4111

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.  
BEFORE YOU DIG, YOU ARE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.

NOTICE!  
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IRRIGATION PLAN  
SCALE: 1" = 20'



12.03  
IRRIGATION  
PLAN

DATE: JANUARY 2014  
CHECKED BY: SS  
DRAWN BY: SS/BE  
PROJECT NO: 13493

| REV | DATE  | DESCRIPTION    |
|-----|-------|----------------|
| 1   | 02/24 | SITE REVISIONS |

**OQUIRRH MOUNTAIN MARKETPLACE**  
11400-11800 SOUTH 4000 WEST STREET  
SOUTH JORDAN, UTAH  
LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R1W, S18&M



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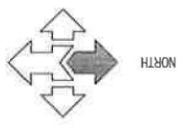
CITY ENGINEER  
Approved this 15th Day of May 2014  
City Engineer



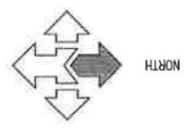
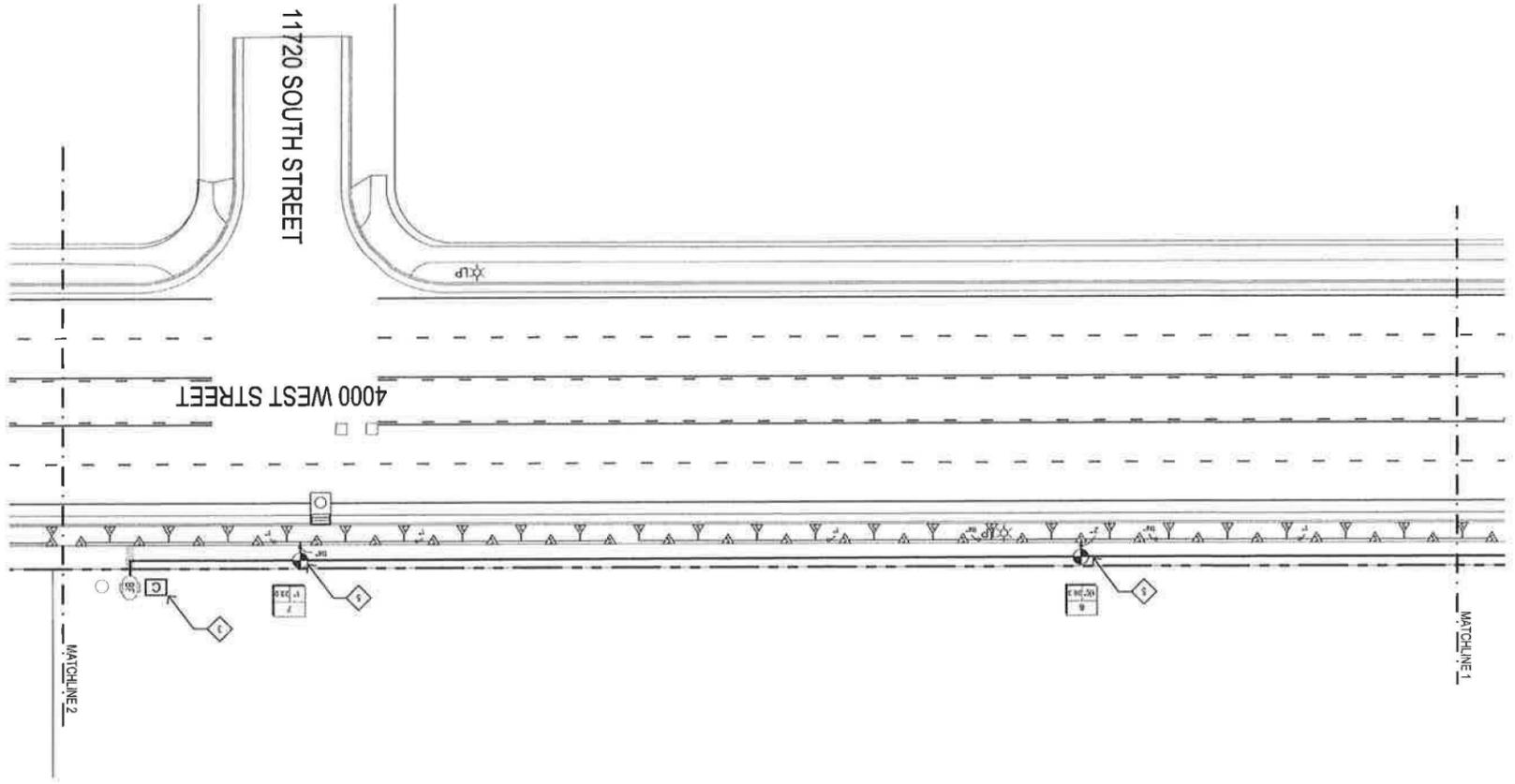
**Call**  
BEFORE YOU  
DIG  
UTILITIES IT'S COSTLY

1-800-662-4111

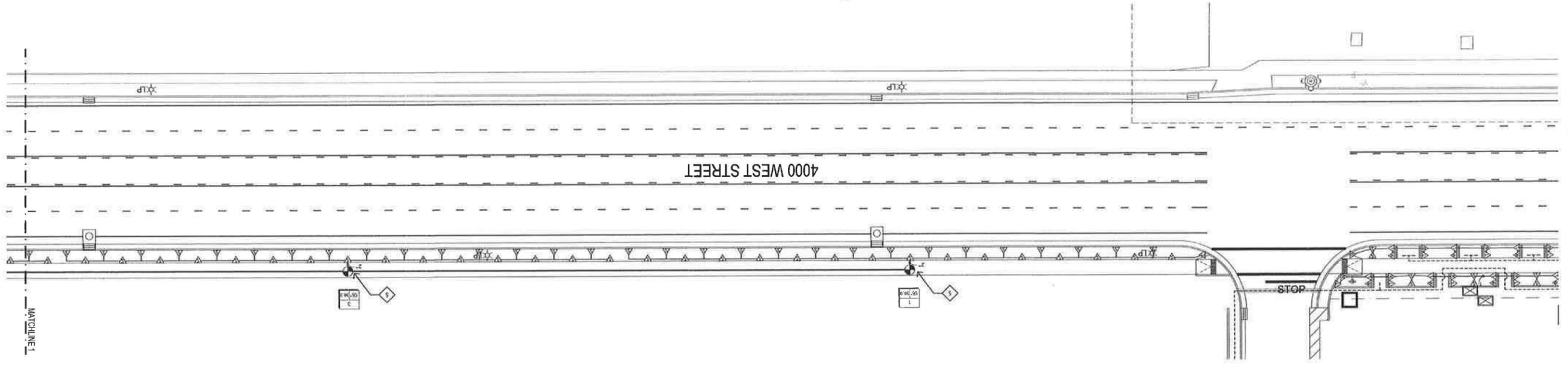
NOTICE  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.



4000 WEST IRRIGATION PLAN  
SCALE: 1" = 20'-0"



4000 WEST IRRIGATION PLAN  
SCALE: 1" = 20'-0"



City Engineer  
Approved this  
20/12/14  
City Engineer

12.05  
4000 WEST

PROJECT NO.: 13493  
DRAWN BY: SS/BE  
CHECKED BY: SS  
DATE: JANUARY 2014

| REV | DATE    | DESCRIPTION    |
|-----|---------|----------------|
| 1   | 2/21/14 | SITE REVISIONS |

**OQUIRRH MOUNTAIN MARKETPLACE**  
11400-11800 SOUTH 4000 WEST STREET  
SOUTH JORDAN, UTAH  
LOCATED IN THE SE QUARTER OF SECTION 19, T3S, R1W, S1B&M



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Civil Engineering • Consulting & Landscape Architecture  
Structural Engineering • Land Surveying & HDS







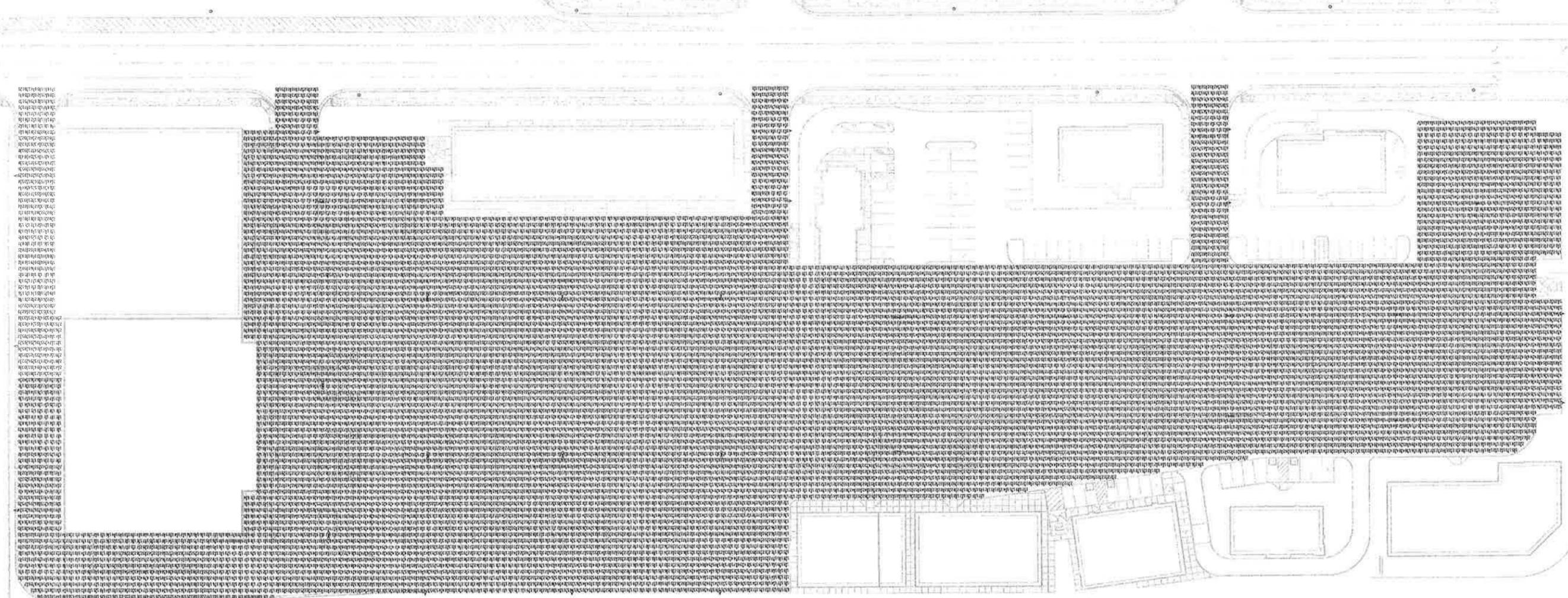






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ELECTRICAL SITE PLAN



|           |             |
|-----------|-------------|
| DATE      | DESCRIPTION |
| 4/17/2014 | PERMIT SET  |

Project Number: 1655P1  
 PERMIT SET  
 4/17/2014

COURRH MOUNTAIN MARKETPLACE  
 17400-11800 SOUTH JORDAN, UTAH 84095  
 ELECTRICAL SITE PLAN

|           |                         |
|-----------|-------------------------|
| OWNER     | SI ACQUISITION, LLC     |
| ARCHITECT | NOBLE ENGINEERING, INC. |
| CONTACT   | (801) 225-7799          |

POWERING FORWARD

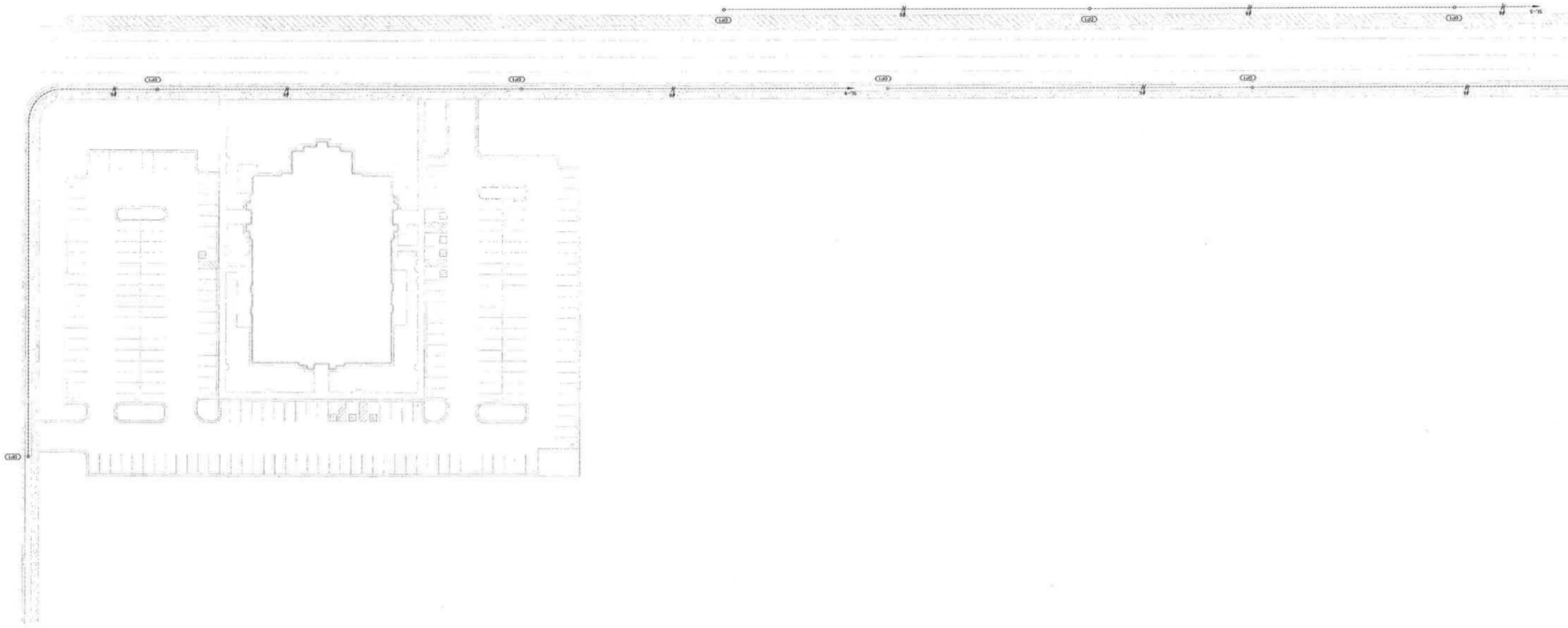
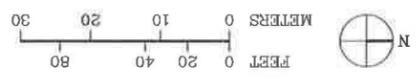


|         |                |
|---------|----------------|
| DATE    | 130760X250117  |
| PROJECT | NEW GRID / H-H |
| SCALE   | AS SHOWN       |
| DATE    | 2/34           |
| DATE    | 2/16           |
| DATE    | 1/00           |

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1 ELECTRICAL SITE PLAN



| Revised By | Date | Reason |
|------------|------|--------|
|            |      |        |
|            |      |        |
|            |      |        |
|            |      |        |

E 102

Sheet Number: 4/17/2014

Date: 4/17/2014

Project Number: 1655P1

PERMIT SET

Project Name: OQUIRH MOUNTAIN MARKETPLACE  
 11400-11800 SOUTH 4000 WEST, SOUTH JORDAN, UTAH 84095

OWNER: SU INVESTMENTS, LLC (323) 968-1910  
 BILL SANDER  
 ARCHITECT: NUGEL ENGINEERING (801) 226-7700  
 TED DOUGLAS

8540 South Sandy Parkway  
 Sandy, UT 84093  
 (801) 552-0099 (Fax)

POWERING FORWARD  
**GSL ENGINEERING**

Professional Engineer  
 Joseph W. Tall  
 License No. 66503-2702  
 State of Utah

REFERENCE NOTES:



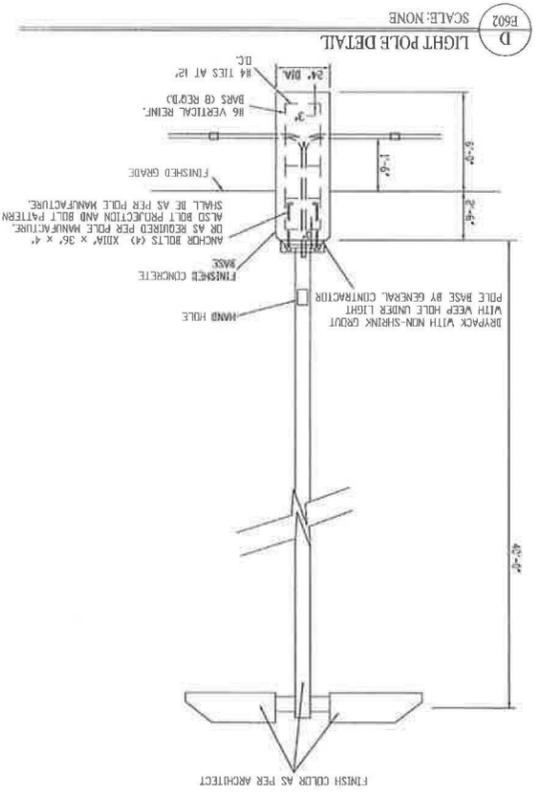
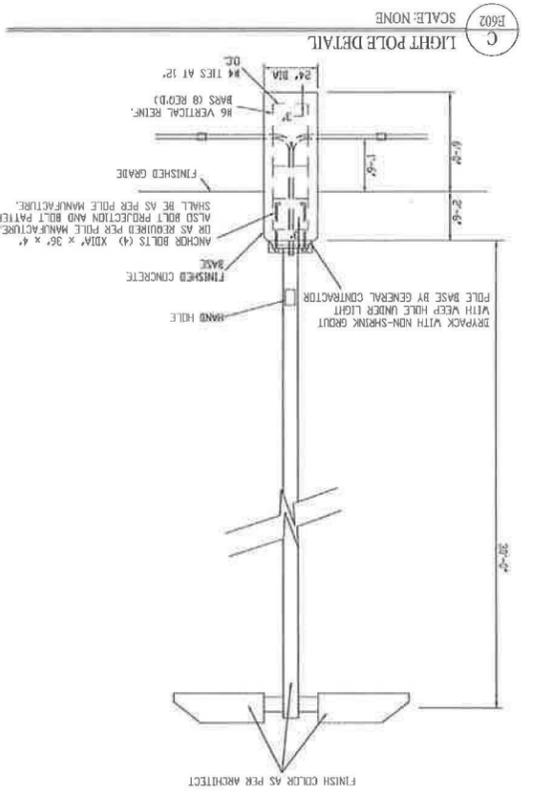
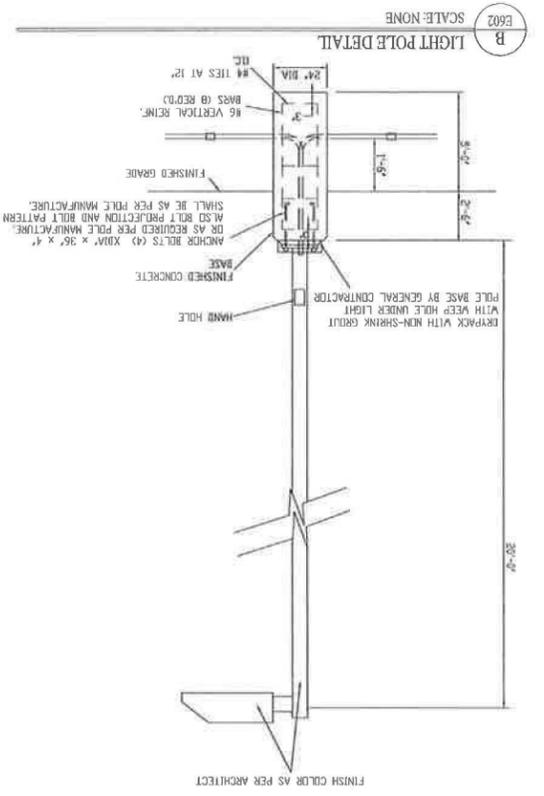
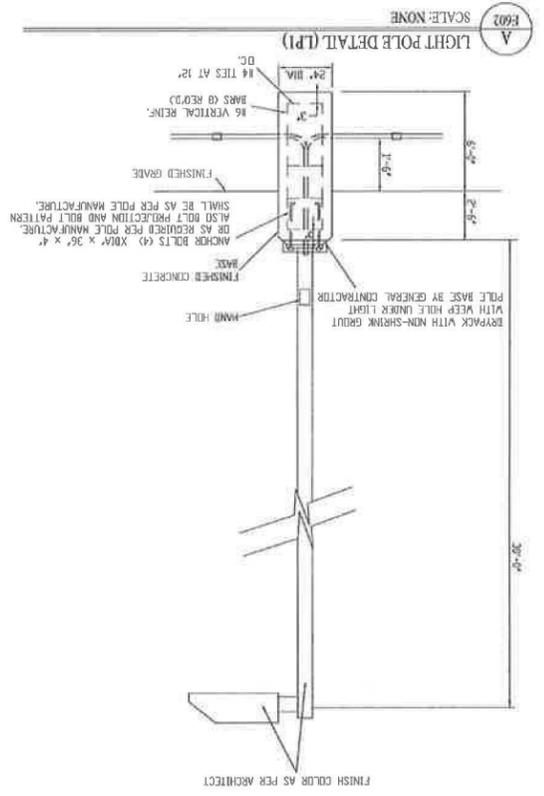
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|----------|------------|-------------|
| Drawn By | Checked By | Approved By |
|          |            |             |
| Date     | Date       | Date        |
|          |            |             |

E602

Sheet Number: 4/17/2014  
 Status: PERMIT SET  
 Project Number: 1655P1

OQUIRRIH MOUNTAIN MARKETPLACE  
 11400-11800 SOUTH 4000 WEST, SOUTH JORDAN, UTAH 84095  
 ELECTRICAL DETAILS



REFERENCE NOTES:

|            |                  |           |        |
|------------|------------------|-----------|--------|
| Owner:     | SI MOUNTAIN, LLC | Contract: | 1655P1 |
| Architect: | SI MOUNTAIN, LLC | Contract: | 1655P1 |
| Model:     | MODEL BUILDING   | Contract: | 1655P1 |
| Model:     | MODEL BUILDING   | Contract: | 1655P1 |

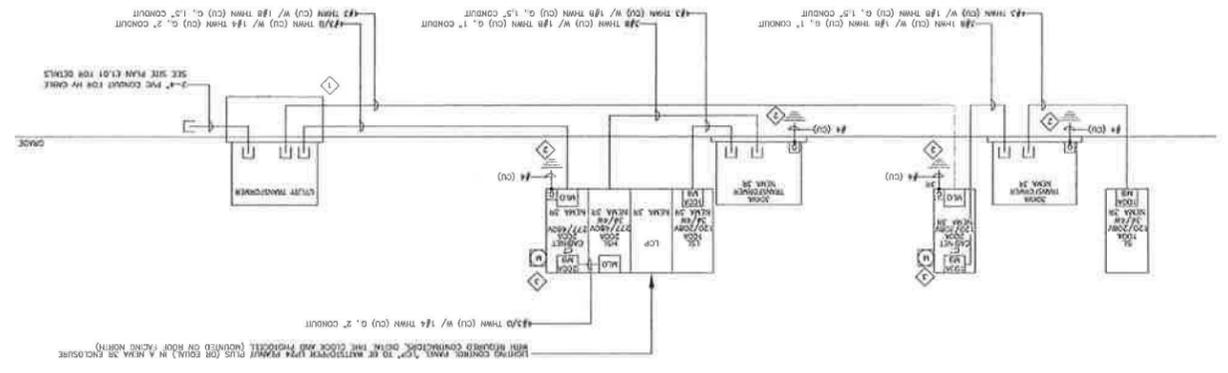
**GSL ENGINEERING**  
 POWERING FORWARD

Professional Engineer  
 State of Utah  
 License No. 6963024-2005  
 Joseph W. Tarr  
 4931 S. 2100 E.  
 Salt Lake City, UT 84119  
 (801) 552-5599 (Fax)  
 (801) 552-5599 (Cell)



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1 ELECTRICAL RISER DIAGRAM



PROJECT NUMBER: 1655P1  
 PERMIT SET  
 DATE: 4/17/2014  
 SHEET NUMBER: E701

OWNER: Oquirrh Mountain Marketplace  
 11400-11800 SOUTH 4000 WEST, SOUTH JORDAN, UTAH 84095

DESIGNER: GSI ENGINEERING, INC.  
 PROJECT MANAGER: [Name]  
 ELECTRICAL ENGINEER: [Name]



REFERENCE NOTES:  
 1. SEE ELECTRICAL SCHEDULES FOR ALL REQUIREMENTS  
 2. CONCRETE WALL PER RMP REQUIREMENTS  
 3. CT CABLET AND WETTER TO MEET THE REQUIREMENTS OF

PANEL SCHEDULE

PANEL NAME: 9L VOLTS: 120/208 TYPE: 3P/4W  
 BUS: 3 COPPER BUS  
 BUS RATING: 100 AMPS  
 PHASE: 3  
 WIRE: 4  
 MAIN BREAKER: 100 AMPS  
 MAIN LUGS ONLY (TOP)  
 MAIN LUGS ONLY (BOTTOM)  
 ISOLATED GROUND BUS  
 FEED THRU LUGS (TOP)  
 FEED THRU LUGS (BOTTOM)  
 SUB FEED LUGS (TOP)  
 SUB FEED LUGS (BOTTOM)

| BREAKER DESCRIPTION | AMP | TYPE | PHASE | WIRE | NOTES |
|---------------------|-----|------|-------|------|-------|
| 1                   | 100 | MCB  | 3     | 4    |       |
| 2                   | 100 | MCB  | 3     | 4    |       |
| 3                   | 100 | MCB  | 3     | 4    |       |
| 4                   | 100 | MCB  | 3     | 4    |       |
| 5                   | 100 | MCB  | 3     | 4    |       |
| 6                   | 100 | MCB  | 3     | 4    |       |
| 7                   | 100 | MCB  | 3     | 4    |       |
| 8                   | 100 | MCB  | 3     | 4    |       |
| 9                   | 100 | MCB  | 3     | 4    |       |
| 10                  | 100 | MCB  | 3     | 4    |       |
| 11                  | 100 | MCB  | 3     | 4    |       |
| 12                  | 100 | MCB  | 3     | 4    |       |
| 13                  | 100 | MCB  | 3     | 4    |       |
| 14                  | 100 | MCB  | 3     | 4    |       |
| 15                  | 100 | MCB  | 3     | 4    |       |
| 16                  | 100 | MCB  | 3     | 4    |       |
| 17                  | 100 | MCB  | 3     | 4    |       |
| 18                  | 100 | MCB  | 3     | 4    |       |
| 19                  | 100 | MCB  | 3     | 4    |       |
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| 22                  | 100 | MCB  | 3     | 4    |       |
| 23                  | 100 | MCB  | 3     | 4    |       |
| 24                  | 100 | MCB  | 3     | 4    |       |
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| 26                  | 100 | MCB  | 3     | 4    |       |
| 27                  | 100 | MCB  | 3     | 4    |       |
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| 33                  | 100 | MCB  | 3     | 4    |       |
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| 37                  | 100 | MCB  | 3     | 4    |       |
| 38                  | 100 | MCB  | 3     | 4    |       |
| 39                  | 100 | MCB  | 3     | 4    |       |
| 40                  | 100 | MCB  | 3     | 4    |       |
| 41                  | 100 | MCB  | 3     | 4    |       |
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| 43                  | 100 | MCB  | 3     | 4    |       |
| 44                  | 100 | MCB  | 3     | 4    |       |
| 45                  | 100 | MCB  | 3     | 4    |       |
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| 47                  | 100 | MCB  | 3     | 4    |       |
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| 49                  | 100 | MCB  | 3     | 4    |       |
| 50                  | 100 | MCB  | 3     | 4    |       |
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| 55                  | 100 | MCB  | 3     | 4    |       |
| 56                  | 100 | MCB  | 3     | 4    |       |
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| 60                  | 100 | MCB  | 3     | 4    |       |
| 61                  | 100 | MCB  | 3     | 4    |       |
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| 65                  | 100 | MCB  | 3     | 4    |       |
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| 69                  | 100 | MCB  | 3     | 4    |       |
| 70                  | 100 | MCB  | 3     | 4    |       |
| 71                  | 100 | MCB  | 3     | 4    |       |
| 72                  | 100 | MCB  | 3     | 4    |       |
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| 74                  | 100 | MCB  | 3     | 4    |       |
| 75                  | 100 | MCB  | 3     | 4    |       |
| 76                  | 100 | MCB  | 3     | 4    |       |
| 77                  | 100 | MCB  | 3     | 4    |       |
| 78                  | 100 | MCB  | 3     | 4    |       |
| 79                  | 100 | MCB  | 3     | 4    |       |
| 80                  | 100 | MCB  | 3     | 4    |       |
| 81                  | 100 | MCB  | 3     | 4    |       |
| 82                  | 100 | MCB  | 3     | 4    |       |
| 83                  | 100 | MCB  | 3     | 4    |       |
| 84                  | 100 | MCB  | 3     | 4    |       |
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| 86                  | 100 | MCB  | 3     | 4    |       |
| 87                  | 100 | MCB  | 3     | 4    |       |
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| 92                  | 100 | MCB  | 3     | 4    |       |
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| 94                  | 100 | MCB  | 3     | 4    |       |
| 95                  | 100 | MCB  | 3     | 4    |       |
| 96                  | 100 | MCB  | 3     | 4    |       |
| 97                  | 100 | MCB  | 3     | 4    |       |
| 98                  | 100 | MCB  | 3     | 4    |       |
| 99                  | 100 | MCB  | 3     | 4    |       |
| 100                 | 100 | MCB  | 3     | 4    |       |

PANEL SCHEDULE

PANEL NAME: 100 VOLTS: 120/208 TYPE: 3P/4W  
 BUS: 3 COPPER BUS  
 BUS RATING: 100 AMPS  
 PHASE: 3  
 WIRE: 4  
 MAIN BREAKER: 100 AMPS  
 MAIN LUGS ONLY (TOP)  
 MAIN LUGS ONLY (BOTTOM)  
 ISOLATED GROUND BUS  
 FEED THRU LUGS (TOP)  
 FEED THRU LUGS (BOTTOM)  
 SUB FEED LUGS (TOP)  
 SUB FEED LUGS (BOTTOM)

| BREAKER DESCRIPTION | AMP | TYPE | PHASE | WIRE | NOTES |
|---------------------|-----|------|-------|------|-------|
| 1                   | 100 | MCB  | 3     | 4    |       |
| 2                   | 100 | MCB  | 3     | 4    |       |
| 3                   | 100 | MCB  | 3     | 4    |       |
| 4                   | 100 | MCB  | 3     | 4    |       |
| 5                   | 100 | MCB  | 3     | 4    |       |
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| 7                   | 100 | MCB  | 3     | 4    |       |
| 8                   | 100 | MCB  | 3     | 4    |       |
| 9                   | 100 | MCB  | 3     | 4    |       |
| 10                  | 100 | MCB  | 3     | 4    |       |
| 11                  | 100 | MCB  | 3     | 4    |       |
| 12                  | 100 | MCB  | 3     | 4    |       |
| 13                  | 100 | MCB  | 3     | 4    |       |
| 14                  | 100 | MCB  | 3     | 4    |       |
| 15                  | 100 | MCB  | 3     | 4    |       |
| 16                  | 100 | MCB  | 3     | 4    |       |
| 17                  | 100 | MCB  | 3     | 4    |       |
| 18                  | 100 | MCB  | 3     | 4    |       |
| 19                  | 100 | MCB  | 3     | 4    |       |
| 20                  | 100 | MCB  | 3     | 4    |       |
| 21                  | 100 | MCB  | 3     | 4    |       |
| 22                  | 100 | MCB  | 3     | 4    |       |
| 23                  | 100 | MCB  | 3     | 4    |       |
| 24                  | 100 | MCB  | 3     | 4    |       |
| 25                  | 100 | MCB  | 3     | 4    |       |
| 26                  | 100 | MCB  | 3     | 4    |       |
| 27                  | 100 | MCB  | 3     | 4    |       |
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| 30                  | 100 | MCB  | 3     | 4    |       |
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| 36                  | 100 | MCB  | 3     | 4    |       |
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| 41                  | 100 | MCB  | 3     | 4    |       |
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| 68                  | 100 | MCB  | 3     | 4    |       |
| 69                  | 100 | MCB  | 3     | 4    |       |
| 70                  | 100 | MCB  | 3     | 4    |       |
| 71                  | 100 | MCB  | 3     | 4    |       |
| 72                  | 100 | MCB  | 3     | 4    |       |
| 73                  | 100 | MCB  | 3     | 4    |       |
| 74                  | 100 | MCB  | 3     | 4    |       |
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| 78                  | 100 | MCB  | 3     | 4    |       |
| 79                  | 100 | MCB  | 3     | 4    |       |
| 80                  | 100 | MCB  | 3     | 4    |       |
| 81                  | 100 | MCB  | 3     | 4    |       |
| 82                  | 100 | MCB  | 3     | 4    |       |
| 83                  | 100 | MCB  | 3     | 4    |       |
| 84                  | 100 | MCB  | 3     | 4    |       |
| 85                  | 100 | MCB  | 3     | 4    |       |
| 86                  | 100 | MCB  | 3     | 4    |       |
| 87                  | 100 | MCB  | 3     | 4    |       |
| 88                  | 100 | MCB  | 3     | 4    |       |
| 89                  | 100 | MCB  | 3     | 4    |       |
| 90                  | 100 | MCB  | 3     | 4    |       |
| 91                  | 100 | MCB  | 3     | 4    |       |
| 92                  | 100 | MCB  | 3     | 4    |       |
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| 95                  | 100 | MCB  | 3     | 4    |       |
| 96                  | 100 | MCB  | 3     | 4    |       |
| 97                  | 100 | MCB  | 3     | 4    |       |
| 98                  | 100 | MCB  | 3     | 4    |       |
| 99                  | 100 | MCB  | 3     | 4    |       |
| 100                 | 100 | MCB  | 3     | 4    |       |

PANEL SCHEDULE

PANEL NAME: 101 VOLTS: 120/208 TYPE: 3P/4W  
 BUS: 3 COPPER BUS  
 BUS RATING: 100 AMPS  
 PHASE: 3  
 WIRE: 4  
 MAIN BREAKER: 100 AMPS  
 MAIN LUGS ONLY (TOP)  
 MAIN LUGS ONLY (BOTTOM)  
 ISOLATED GROUND BUS  
 FEED THRU LUGS (TOP)  
 FEED THRU LUGS (BOTTOM)  
 SUB FEED LUGS (TOP)  
 SUB FEED LUGS (BOTTOM)

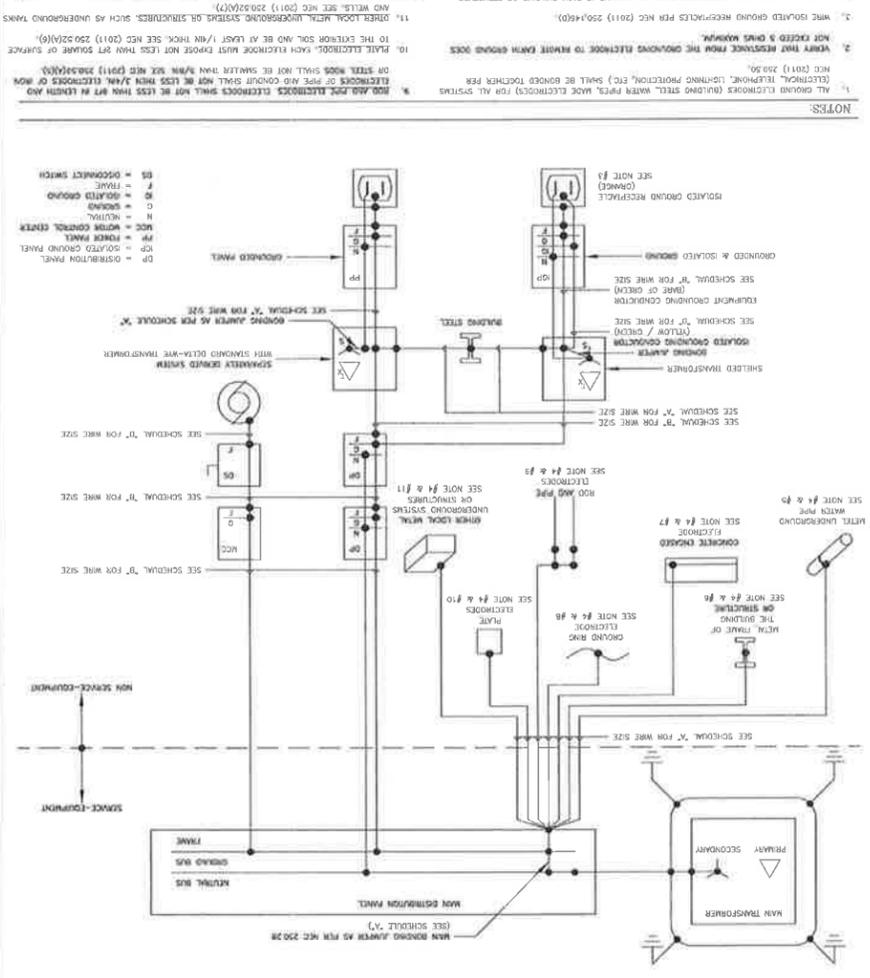
| BREAKER DESCRIPTION | AMP | TYPE | PHASE | WIRE | NOTES |
|---------------------|-----|------|-------|------|-------|
| 1                   | 100 | MCB  | 3     | 4    |       |
| 2                   | 100 | MCB  | 3     | 4    |       |
| 3                   | 100 | MCB  | 3     | 4    |       |
| 4                   | 100 | MCB  | 3     | 4    |       |
| 5                   | 100 | MCB  | 3     | 4    |       |
| 6                   | 100 | MCB  | 3     | 4    |       |
| 7                   | 100 | MCB  | 3     | 4    |       |
| 8                   | 100 | MCB  | 3     | 4    |       |
| 9                   | 100 | MCB  | 3     | 4    |       |
| 10                  | 100 | MCB  | 3     | 4    |       |
| 11                  | 100 | MCB  | 3     | 4    |       |
| 12                  | 100 | MCB  | 3     | 4    |       |
| 13                  | 100 | MCB  | 3     | 4    |       |
| 14                  | 100 | MCB  | 3     | 4    |       |
| 15                  | 100 | MCB  | 3     | 4    |       |
| 16                  | 100 | MCB  | 3     | 4    |       |
| 17                  | 100 | MCB  | 3     | 4    |       |
| 18                  | 100 | MCB  | 3     | 4    |       |
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| 40                  | 100 | MCB  | 3     | 4    |       |
| 41                  | 100 | MCB  | 3     | 4    |       |
| 42                  | 100 | MCB  | 3     | 4    |       |
| 43                  | 100 | MCB  | 3     | 4    |       |

**SCHEDULE "A"**  
GROUNDING ELECTRODE CONDUCTOR FOR ALTERNATING CURRENT SYSTEMS  
NEC (2011) TABLE 250.66

| SIZE OF LARGEST UNDERGROUND SERVICE-ENTRANCE CONDUCTOR (AWG/kcmil) | SIZE OF LARGEST SERVICE-ENTRANCE CONDUCTOR (AWG/kcmil) | SIZE OF GROUNDING ELECTRODE CONDUCTOR (AWG/kcmil) |
|--|--|---|
| 1/0 OR LARGER  | 1/0 OR SMALLER   | 6   |
| 2/0 OR 3/0   | 2/0 OR 3/0   | 4   |
| 4 OR 6   | 4  | 3   |
| 8 OR 10  | 8  | 2   |
| 12 OR 14   | 12   | 2   |
| 16 OR 18   | 16   | 2   |
| 20 OR 22   | 20   | 2   |
| 24 OR 26   | 24   | 2   |
| 30 OR 35   | 30   | 2   |
| 40 OR 45   | 40   | 2   |
| 50 OR 55   | 50   | 2   |
| 60 OR 65   | 60   | 2   |
| 75 OR 80   | 75   | 2   |
| 95 OR 105  | 95   | 2   |
| 125 OR 135   | 125  | 2   |
| 150 OR 165   | 150  | 2   |
| 200 OR 225   | 200  | 2   |
| 250 OR 285   | 250  | 2   |
| 300 OR 335   | 300  | 2   |
| 350 OR 395   | 350  | 2   |
| 400 OR 445   | 400  | 2   |
| 500 OR 555   | 500  | 2   |
| 600 OR 660   | 600  | 2   |
| 750 OR 825   | 750  | 2   |
| 900 OR 990   | 900  | 2   |
| 1100 OR 1200   | 1100   | 2   |
| 1500 OR 1650   | 1500   | 2   |

**SCHEDULE "B"**  
MINIMUM SIZE GROUNDING ELECTRODE CONDUCTORS FOR GROUNDING ELECTRICAL AND EQUIPMENT

| SIZE OF SERVICE-ENTRANCE CONDUCTOR (AWG/kcmil) | SIZE OF GROUNDING ELECTRODE CONDUCTOR (AWG/kcmil) |
|--|---|
| 1/0  | 6   |
| 2/0  | 4   |
| 3/0  | 3   |
| 4  | 2   |
| 6  | 2   |
| 8  | 2   |
| 10   | 2   |
| 12   | 2   |
| 14   | 2   |
| 16   | 2   |
| 18   | 2   |
| 20   | 2   |
| 22   | 2   |
| 24   | 2   |
| 26   | 2   |
| 28   | 2   |
| 30   | 2   |
| 35   | 2   |
| 40   | 2   |
| 45   | 2   |
| 50   | 2   |
| 55   | 2   |
| 60   | 2   |
| 65   | 2   |
| 70   | 2   |
| 75   | 2   |
| 80   | 2   |
| 85   | 2   |
| 90   | 2   |
| 95   | 2   |
| 100  | 2   |
| 110  | 2   |
| 120  | 2   |
| 130  | 2   |
| 140  | 2   |
| 150  | 2   |
| 160  | 2   |
| 170  | 2   |
| 180  | 2   |
| 190  | 2   |
| 200  | 2   |
| 225  | 2   |
| 250  | 2   |
| 285  | 2   |
| 300  | 2   |
| 335  | 2   |
| 350  | 2   |
| 395  | 2   |
| 445  | 2   |
| 450  | 2   |
| 555  | 2   |
| 660  | 2   |
| 670  | 2   |
| 765  | 2   |
| 825  | 2   |
| 840  | 2   |
| 945  | 2   |
| 1000   | 2   |
| 1100   | 2   |
| 1200   | 2   |
| 1300   | 2   |
| 1400   | 2   |
| 1500   | 2   |
| 1650   | 2   |
| 1800   | 2   |
| 1950   | 2   |
| 2100   | 2   |
| 2250   | 2   |
| 2400   | 2   |
| 2550   | 2   |
| 2700   | 2   |
| 2850   | 2   |
| 3000   | 2   |
| 3300   | 2   |
| 3600   | 2   |
| 3900   | 2   |
| 4200   | 2   |
| 4500   | 2   |
| 4800   | 2   |
| 5100   | 2   |
| 5400   | 2   |
| 5700   | 2   |
| 6000   | 2   |
| 6300   | 2   |
| 6600   | 2   |
| 6900   | 2   |
| 7200   | 2   |
| 7500   | 2   |
| 7800   | 2   |
| 8100   | 2   |
| 8400   | 2   |
| 8700   | 2   |
| 9000   | 2   |
| 9300   | 2   |
| 9600   | 2   |
| 9900   | 2   |
| 10200  | 2   |
| 10500  | 2   |
| 10800  | 2   |
| 11100  | 2   |
| 11400  | 2   |
| 11700  | 2   |
| 12000  | 2   |



**ELECTRICAL SPECIFICATIONS**

1. **GENERAL**  
A. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.  
B. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.  
C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.  
D. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.

2. **GROUNDING AND BONDING**  
A. THE ELECTRICAL SYSTEM SHALL BE GROUNDED TO A GROUNDING ELECTRODE SYSTEM (GES) IN ACCORDANCE WITH NEC 250.4.  
B. THE GROUNDING ELECTRODE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NEC 250.5.  
C. THE GROUNDING ELECTRODE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NEC 250.6.  
D. THE GROUNDING ELECTRODE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NEC 250.7.

3. **WIRING METHODS**  
A. ALL WIRING SHALL BE IN ACCORDANCE WITH NEC 300.4.  
B. ALL WIRING SHALL BE IN ACCORDANCE WITH NEC 300.5.  
C. ALL WIRING SHALL BE IN ACCORDANCE WITH NEC 300.6.  
D. ALL WIRING SHALL BE IN ACCORDANCE WITH NEC 300.7.

4. **CONDUIT**  
A. ALL CONDUIT SHALL BE IN ACCORDANCE WITH NEC 304.6.  
B. ALL CONDUIT SHALL BE IN ACCORDANCE WITH NEC 304.7.  
C. ALL CONDUIT SHALL BE IN ACCORDANCE WITH NEC 304.8.  
D. ALL CONDUIT SHALL BE IN ACCORDANCE WITH NEC 304.9.

5. **TRAY**  
A. ALL TRAY SHALL BE IN ACCORDANCE WITH NEC 318.4.  
B. ALL TRAY SHALL BE IN ACCORDANCE WITH NEC 318.5.  
C. ALL TRAY SHALL BE IN ACCORDANCE WITH NEC 318.6.  
D. ALL TRAY SHALL BE IN ACCORDANCE WITH NEC 318.7.

6. **TERMINALS**  
A. ALL TERMINALS SHALL BE IN ACCORDANCE WITH NEC 310.4.  
B. ALL TERMINALS SHALL BE IN ACCORDANCE WITH NEC 310.5.  
C. ALL TERMINALS SHALL BE IN ACCORDANCE WITH NEC 310.6.  
D. ALL TERMINALS SHALL BE IN ACCORDANCE WITH NEC 310.7.

7. **ENCLOSURES**  
A. ALL ENCLOSURES SHALL BE IN ACCORDANCE WITH NEC 312.4.  
B. ALL ENCLOSURES SHALL BE IN ACCORDANCE WITH NEC 312.5.  
C. ALL ENCLOSURES SHALL BE IN ACCORDANCE WITH NEC 312.6.  
D. ALL ENCLOSURES SHALL BE IN ACCORDANCE WITH NEC 312.7.

8. **IDENTIFICATION**  
A. ALL WIRING SHALL BE IDENTIFIED IN ACCORDANCE WITH NEC 310.10.  
B. ALL WIRING SHALL BE IDENTIFIED IN ACCORDANCE WITH NEC 310.11.  
C. ALL WIRING SHALL BE IDENTIFIED IN ACCORDANCE WITH NEC 310.12.  
D. ALL WIRING SHALL BE IDENTIFIED IN ACCORDANCE WITH NEC 310.13.

9. **TESTING**  
A. ALL WIRING SHALL BE TESTED IN ACCORDANCE WITH NEC 250.11.  
B. ALL WIRING SHALL BE TESTED IN ACCORDANCE WITH NEC 250.12.  
C. ALL WIRING SHALL BE TESTED IN ACCORDANCE WITH NEC 250.13.  
D. ALL WIRING SHALL BE TESTED IN ACCORDANCE WITH NEC 250.14.

10. **MAINTENANCE**  
A. ALL WIRING SHALL BE MAINTAINED IN ACCORDANCE WITH NEC 250.15.  
B. ALL WIRING SHALL BE MAINTAINED IN ACCORDANCE WITH NEC 250.16.  
C. ALL WIRING SHALL BE MAINTAINED IN ACCORDANCE WITH NEC 250.17.  
D. ALL WIRING SHALL BE MAINTAINED IN ACCORDANCE WITH NEC 250.18.

**PERMIT SET**

PROJECT NUMBER: 1655P1

DATE: 4/17/2014

PROJECT: OQUURRH MOUNTAIN MARKETPLACE  
11400 SOUTH MOUNTAIN, SOUTH JORDAN, UTAH 84095

**ELECTRICAL SPECIFICATIONS**

POWERING FORWARD  
ENGINEERING  
GSI

Professional Engineer  
Jordan M. Taylor  
No. 123456789  
State of Utah

ON AND OFF SITE IMPROVEMENTS  
CERTIFICATE OF OCCUPANCY AGREEMENT

THIS AGREEMENT made and entered in to this 2nd day of  
December, 2014, by and among R&O Construction Co  
933 Wall Avenue  
whose present address and phone number is Ogden, UT 84404  
801-627-1403

hereinafter referred to as the 'Applicant' the City of South Jordan, a municipal  
Corporation, sometimes hereinafter referred to as 'South Jordan'.

WITNESSETH:

WHEREAS, Applicant is desirous of obtaining from South Jordan a Certificate of  
Occupancy for the premises located within the City of South Jordan, Salt Lake County,  
State of Utah, at the following street address 11400-11800 South 4000 West St

South Jordan, UT

and

WHEREAS, the premises for which Applicant seeks a Certificate of Occupancy  
lack the necessary completion, repair and/or replacement of certain on and /or off-site  
improvements set for the in detail herein below; and

WHEREAS, South Jordan will not issue a Certificate of Occupancy for said  
premises unless adequate provisions are made for the guaranteed completion, repair  
and/or replacement of said on and /or off-site improvements in a workmanlike manner  
and in compliance with the standards of the City of South Jordan.

NOW, THEREFORE, in consideration of the mutual covenants and agreements  
herein contained, the sufficiency of which is hereby acknowledged, the parties hereto do  
hereby agree as follows:

1. South Jordan shall upon its execution of this Agreement grant Applicant a  
Certificate of Occupancy for the premises located within the City of South Jordan, Salt  
Lake County, State of Utah at the street address hereinabove given. It is expressly  
understood and agreed that South Jordan is granting Applicant said Certificate of  
Occupancy for said premises conditioned upon and subject to the promised future  
performance by Applicant to fully and timely complete, repair and/or replace all of the  
hereinbelow detailed on and/or off-site improvements abutting and or pertaining to the

property located at the above-given address in strict accordance with the specifications and rules promulgated therefor by the South Jordan city Council or its designate.

2. Applicant hereby agrees to fully complete, repair and/or replace all on and/or off-site improvements no later than May 1, 2014 and further covenants that in addition to other remedies herein set forth, South Jordan shall have the right to specifically enforce this Agreement.
3. Applicant hereby assigns, delivers and sets over to South Jordan all of its right, title and interest in and to that certain cash bond attached hereto in the amount of \$58,880.00 (which amount is estimated to be the full and total cost of the completion, repair and/or replacement of all said improvements). It is expressly understood and acknowledged by the Applicant and South Jordan that the above-stated total sum has been allocated for the completion, repair and/or replacement of the following improvements.

**Landscaping as outlined below**

|   |          |
|---|----------|
| 1) Small <u>3 foot boulder Wall at NW corner 11400 S &amp; 4000 W</u>                                     | \$20,000 |
| 2) Planting of (100) Reed Grass plants and install mulch on both <u>east &amp; west side of 4000 West</u> | \$25,000 |
| 3) Install 10,000 sf of sod in parkstrip on east side of <u>4000 West</u>                                 | \$5,000  |
| 4) Hydroseed east side of Bangerter HWY of <u>UDOT Frontage Rd Spring of 2015</u>                         | \$1,200  |

**Total cost to complete landscaping \$51,200 + 15% \$7,680 = \$58,880.00**

The entire above-given amount shall be deemed to be applicable to improvement which remains to be repaired and/or replaced as set forth hereinabove.

4. After Applicant has fully completed, repaired and/or replaced all of the above-given on and/or off-site improvements and complete with all provisions of Paragraph 5 hereinbelow and after final approval of the completion, repair and/or replacement of all said on and/or off-site improvements has been given by the South Jordan City Building Director, South Jordan shall return to Applicant said above-referred-to bond, or sum of money evidenced by said cash bond.
5. Applicant hereby expressly agrees to submit all appropriate lien waivers to South Jordan with Applicant's claim for release of said cash bond. Such lien waivers shall be in a form satisfactory to South Jordan and shall provide for the full release of all liens and claims for labor and/or materials and/or equipment usage up to the date the claim for release of the cash bond is submitted to South Jordan.
6. Applicant hereby expressly acknowledges and represents that Applicant has informed or will inform all of Applicant's contractors and subcontractors of the release of provisions of this Agreement.

7. In the event that Applicant shall fail to comply with its obligations hereunder, or to complete, repair and/or replace the improvements in a satisfactory manner according to the sole judgement of the South Jordan City Council or its designate, it is hereby expressly agreed that South Jordan may thereafter cause the improvements to be completed, repaired and/or replaced and may pay for the same with those funds received from the hereinabove-referred-to-cash bond. Any funds not expended in connection with the completion of the work, less Fifteen (15%) percent of the total cost to complete, repair and/or replace said improvements, which sum shall be retained by the City of South Jordan to cover overhead and cost expended by South Jordan staff in order to complete, repair and/or replace the subject improvements. If the funds received from the hereinabove-referred-to-cash bond are not sufficient to pay the total cost of completion, repair and/or replacement of said improvements including the Fifteen (15%) percent overhead sum to be retained by South Jordan, Applicant is hereby expressly covenants and agrees to assume and pay upon demand all deficiency amounts that may occur.
8. The parties herein each agree that if any party should default in any of the covenants or agreements contained herein, the defaulting party shall pay all costs and expenses, including a reasonable attorney's fee, which may arise or accrue from enforcing this Agreement.

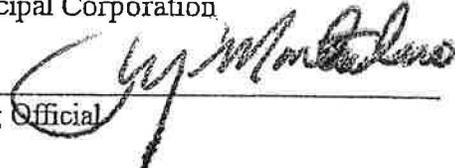
IN WITNESS WHEREOF, the parties hereto have cause agreement to be executed by their duly authorized representatives on the day and year first hereinabove written.

APPLICANT

BY:   
R&O Construction Co.

ITS: Project Manager

SOUTH JORDAN CITY,  
A Municipal Corporation

BY:   
Building Official

| DATE              | INVOICE NO | JOB                 | DESCRIPTION   | INVOICE AMOUNT    | RETAINAGE | BALANCE  |          |
|-------------------|------------|---------------------|---------------|-------------------|-----------|----------|----------|
| 12-02-14          | 120214     | 14-114              | LANDSCAPING C | 58880.00          | .00       | 58880.00 |          |
| <b>CHECK DATE</b> | 12-03-14   | <b>CHECK NUMBER</b> | 311471        | <b>TOTAL &gt;</b> | 58880.00  | .00      | 58880.00 |

PLEASE DETACH AND RETAIN FOR YOUR RECORDS

PIRACLE 800-621-5720 x357 THE FACE OF THIS DOCUMENT HAS A COLORED BACKGROUND ON WHITE PAPER



**R & O Construction**  
 933 Wall Avenue  
 Ogden, Utah 84404  
 (801)627-1403

Zions First National Bank  
 Ogden Office  
 Ogden, Utah 84402

DATE: December 3, 2014  
 CHECK NO.: 311471  
 AMOUNT: 31-5 1240 \*\*\*\*\*58,880.00

Pay: \*\*\*\*\*Fifty-eight thousand eight hundred eighty dollars and no cents

PAY TO THE ORDER OF  
 SOUTH JORDAN CITY  
 10996 SOUTH REDWOOD RD  
 SOUTH JORDAN, UT 84095

*Charles P Auger*

THE BACK OF THIS DOCUMENT CONTAINS AN ARTIFICIAL WATERMARK—HOLD AT AN ANGLE TO VIEW