

AGENDA

CITY OF SOUTH JORDAN PLANNING COMMISSION MEETING

DECEMBER 13, 2016

NOTICE IS HEREBY GIVEN THAT THE SOUTH JORDAN CITY PLANNING COMMISSION WILL HOLD ITS REGULAR MEETING ON TUESDAY, DECEMBER 13, 2016, IN THE CITY COUNCIL CHAMBERS, 1600 W. TOWNE CENTER DRIVE, SOUTH JORDAN, UTAH. PERSONS WITH DISABILITIES WHO MAY NEED ASSISTANCE SHOULD CONTACT THE PLANNING STAFF AT 254-3742 AT LEAST 24 HOURS PRIOR TO THIS MEETING. THE REGULAR MEETING WILL BEGIN AT 6:30 P.M. AND THE AGENDA WILL BE AS FOLLOWS:

6:30 P.M.

REGULAR MEETING

I. GENERAL BUSINESS

- A. Welcome and Roll Call
- B. Motion to Approve Agenda
- C. Approval of the Minutes from the Meeting held on November 22, 2016

II. INFORMATIONAL ITEMS AND OTHER BUSINESS

- A. Staff Business
- B. Comments from Planning Commission Members

III. CITIZEN COMMENT

Any person wishing to comment on any item not otherwise on the Agenda may address the Planning Commission at this point by stepping to the microphone and giving his or her name and address for the record. Comments should be limited to not more than three (3) minutes, unless additional time is authorized by the Governing Body. Citizen groups will be asked to appoint a spokesperson. This is the time and place for any person who wishes to comment on non-hearing, non-Agenda items. Items brought forward to the attention of the Planning Commission will be turned over to staff to provide a response outside of the Planning Commission meeting. Time taken on non-agenda items, interrupts the process of the noticed Agenda. In rare cases where it is determined appropriate to address items raised from Citizen Comments, these items will be noted and be brought back at the conclusion of the printed agenda.

IV. SUMMARY ACTION

None

V. ACTION

None

VI. PUBLIC HEARINGS AND POTENTIAL **ADMINISTRATIVE ACTION ITEMS

**Administrative Action = Less Discretion, Substantial Evidence (Objective Standard)

**A.1 Issue: DAYBREAK VILLAGE 4 EAST MULTIFAMILY #1
PRELIMINARY PLAT**

Address: 4600 West Serendipity Way
File No: SUB-2016.86
Applicant: Daybreak Communities

A.2 Potential Action Item – (See VI.A.1)

**B.1 Issue: DALTON COVE SUBDIVISION
PRELIMINARY PLAT**

Address: 11173 South Dalton Farm Cove
File No: SUB-2016.67
Applicant: Douglas C. Dalton

B.2 Potential Action Item – (See VI.B.1)

**C.1 Issue: ELISON MEDICAL OFFICE BUILDING
SITE PLAN**

Address: 3583 West 9800 South
File No: SP-2013.27
Applicant: NH Rather, Rather Architecture

C.2 Potential Action Item – (See VI.C.1)

**D.1 Issue: TARGET AT THE DISTRICT SUBDIVISION / JC PENNEY AT THE DISTRICT
SUBDIVISION / THE DISTRICT SUBDIVISION AMENDMENT**

Address: Approximately 11500 South Bangerter Hwy
File No: SUB-2016.77, SUB-2016.78, & SUB-AMEND-2016.76
Applicant: David Anderson

D.2 Potential Action Item – (See VI.D.1)

- E.1 Issue: SANTORINI VILLAGE TOWNHOMES PHASE 1-E
SUBDIVISION AMENDMENT**
- Address:** 9710 South Redwood Road
File No: SUB-AMEND-2016.80
Applicant: Mindy Dansie, DAI
- E.2 Potential Action Item – (See VI.E.1)**
- F.1 Issue: HUNTER PARK ESTATES
PRELIMINARY SUBDIVISION PLAT**
- Address:** 9545 South 2200 West
File No: PLPP201600816
Applicant: Mark Woolley
- F.2 Potential Action Item – (See VI.F.1)**
- G.1 Issue: LA QUINTA HOTEL SITE PLAN**
- Address:** 511 W. South Jordan Parkway
File No: SP-2016.32
Applicant: Nimesh Chaudhari
- G.2 Potential Action Item – (See VI.G.1)**
- H.1 Issue: THE FLATS AT THE DISTRICT
SITE PLAN, CONDITIONAL USE PERMIT, & DESIGN GUIDELINE BOOK**
- Address:** 11743 South 3648 West
File No: SP-2015.42
Applicant: David George
- H.2 Potential Action Item – (See VI.H.1)**
- I.1 Issue: THE FLATS AT THE DISTRICT
PRELIMINARY SUBDIVISION AND CONDITIONAL USE PERMIT**
- Address:** 11743 South 3648 West
File No: PLDP201600802
Applicant: David George
- I.2 Potential Action Item – (See VI.I.1)**

VII. PUBLIC HEARINGS AND POTENTIAL *LEGISLATIVE ACTION ITEMS

***Legislative Action = More Discretion, Reasonably Debatable (Subjective Standard)**

J.1 Issue: RUGG PROPERTY LAND USE AMENDMENT AND REZONE

Address: 11523 South 3600 West
File No: PLLUA201600757 & PLZBA201600758
Applicant: David Freiss

J.2 Potential Action Item – (See VII.J.1)

VIII. OTHER BUSINESS

None

ADJOURNMENT

CERTIFICATE OF POSTING

STATE OF UTAH)
): §
COUNTY OF SALT LAKE)

I, Anna M. West, certify that I am the duly appointed City Recorder of South Jordan City, State of Utah, and that the foregoing Planning Commission Agenda was faxed or emailed to the media at least 24 hours prior to such meeting, specifically the Desert News, Salt Lake Tribune and the South Valley Journal. The Agenda was also posted at City Hall, on the City’s website: www.sjc.utah.gov and on the Utah Public Notice Website <http://www.pmn.utah.gov>.

Dated this 9th day of December, 2016.

Anna M. West
Anna M. West, CMC
South Jordan City Recorder

CITY OF SOUTH JORDAN
PLANNING COMMISSION MEETING
COUNCIL CHAMBERS

November 22, 2016

Present: Commissioner Mark Woolley, Commissioner Sean D. Morrissey, Commissioner Julie Holbrook, Commissioner Brady Quinn, City Planner Greg Schindler, Planner Jake Warner, Assistant City Engineer Shane Greenwood, Staff Attorney Steven Schaefermeyer, City Recorder Anna West

Absent: Commissioner T. Earl Jolley, Commissioner John Ellis

Others: See Attachment A

6:30 P.M.
REGULAR MEETING

I. GENERAL BUSINESS

A. Welcome and Roll Call

Chairman Mark Woolley welcomed everyone and noted Commissioners Jolley and Commissioner Ellis are not present. Commissioner Jolley is out of town and is excused; have not heard from Commissioner Ellis.

Chairman Woolley said with regards to tonight's Agenda I would request that we take Item G.1., H.1., and I.1., and move those to the beginning of the meeting following the Summary Action Item A.1.

B. Motion to Approve Agenda

Commissioner Quinn made a motion to approve the November 22, 2016 Planning Commission agenda with the changes made by Chairman Woolley. Commissioner Holbrook seconded the motion. Vote was unanimous in favor. Commissioner Jolley and Commissioner Ellis were absent.

C. Approval of the Minutes from the Meeting held on October 25, 2016

Commissioner Morrissey motioned to approve the October 25, 2016 Planning Commission meeting minutes. Commissioner Woolley seconded the motion. Vote was unanimous in favor. Commissioner Jolley and Commissioner Ellis were absent.

II. INFORMATIONAL ITEMS AND OTHER BUSINESS

A. Staff Business

None

B. Comments from Planning Commission Members

None

III. CITIZEN COMMENT

Chairman Mark Woolley opened for Citizen Comments. No speakers. He closed the Citizen Comment.

IV. SUMMARY ACTION

A.1 Issue: LOT LINE ADJUSTMENT
Address: 1059 West 9800 South
File No: PLLC2016500767
Applicant: Clint Olsen

Commissioner Quinn said he would like to hear staff overview on this item.

City Planner Greg Schindler said this is a small piece of property that the applicant is proposing to adjust the lot lines on. No extra lots will be created. It was originally a four lot subdivision known as Kendra's Cove on 9800 South and 1059 West. The lot line adjustment is to not create a future non-conforming lot so they will take the small piece of property in.

Staff Attorney Steve Schaefermeyer said one of the parties the piece of property is being given to has the back half of their property that could eventually be developed to this and will give them access to the back part of their property.

Chairman Woolley asked if there is a pioneering agreement. Staff Attorney Schaefermeyer said I don't know.

Commissioner Quinn said my overall question is that there not be a financial impact to the City or the taxpayers on this. Staff Attorney Schaefermeyer said no.

A.2 Potential Action Item - (See VI.A.1)

Commissioner Quinn motioned to approve Summary Action Item A.1. Lot Line Adjustment File No. PLLC2016500767. Commissioner Morrissey seconded the motion. Vote was 4-0 in favor. Commissioner Jolley and Commissioner Ellis were absent.

V. ACTION

None

VII. PUBLIC HEARINGS AND POTENTIAL *LEGISLATIVE ACTION ITEMS

*Legislative Action = More Discretion, Reasonably Debatable (Subjective Standard)

G.1 Issue: WHETHER TO RECOMMEND ADOPTION OF THE 2016 SOUTH JORDAN PARKS, RECREATION, COMMUNITY ARTS, TRAILS, AND OPEN SPACE MASTER PLAN, AMENDING THE SOUTH JORDAN CITY GENERAL PLAN
Applicant: City of South Jordan

Associate Director of Parks & Recreation, Colby Hill, said we began this process in April and this is an update to our 2007 Master Plan. We are ready to Master Plan for another 5 to 10 years. We hired Landmark Design to guide us through this Master Plan process. The next step is to update our Capital Improvement Facility Plan and our Park Impact Fees. I will now turn over the time to Mark Vlastic, President of Landmark Designs.

Mark Vlastic, President and owner of Landmark Designs; we are a planning and landscape architecture firm located in Salt Lake City. I would like to give you a quick overview of the Plan. This is an update and looking 10 years into the future. We are also looking towards buildout. This is a really important tool as you go forward to make sure you are meeting future needs for Parks, Recreation, Trails, Arts and Cultural Amenities. This is a comprehensive Plan giving clear direction for the future. It includes some specific estimates of costs and budget (Attachment B).

Mr. Vlastic said this Plan is divided into six chapters:

Page 3: Plan Organization

- Chapter 1: Introduction
- Chapter 2: Parks and Open spaces
- Chapter 3: Recreation and Arts Facilities
- Chapter 4: Trails
- Chapter 5: Acquisition and Construction Costs
- Chapter 6: Goals, Policies and Implementation Actions

Page 4: Summary of Public Involvement

- South Jordan Parks & Recreation Master Plan Survey done by Y2 Analytics
- Project Webpage/Social Media
- Advisory Committee – met 4 times
- Meetings with Key Staff - =/- met 12 times
- Focus Group Interviews (8 individuals or groups)
- Public Scoping Meetings (2 evenings) weren't well attended but interesting perspective
- Public Workshop – SoJo SummerFest Booth (2 evenings)
- Draft Plan Open House (upcoming) Plan will be presented in the next coming weeks.

Page 5: Community Profile – Quick Facts

- Current population 66,600 – projected population to 120,000 at buildout.
- Current Median Household Size 3.6 – projected to decrease to 3.0 at buildout

Mr. Vlastic said for the purposes of this Plan we tried to isolate what the population of Daybreak is today vs. what it will be in the future. That is what is represented in the 66,600. Approximately 50,000 are in the non-Daybreak area and the rest is in Daybreak at present. Daybreak will have a cap of about 20,000 housing units and your current household population is 3.6. That is a decline from the peak in 1999 at 3.9. We are estimating your household size at buildout to be 3.0.

Page 6: Existing Parks & Open Space by Type & Amenities

Page 7: Seven Types of Parks & Open Space – Regional, Community, Neighborhood, Mini, Special Use, Detention Basins, and Natural Open Spaces

Page 8: S. Jordan Parks, Recreation, Community Arts, Trails, and Open Space Master Plan Map

Page 9: Existing Park Acres – Currently 742.5 acres (excludes SL County Parks, Special Use Parks, Detention Basins, and Natural open spaces).

Page 10: Level of Service for Parks – Currently 4.37 acres/1000; Future proposed 4.45 acres/1000 people

Page 11: Comparable Community Level of Service – South Jordan is 3rd for LOS at 4.4/1000 people

Page 12: Distribution Analysis – radius shows patterns of use within the City

Page 13: Filling Existing & Future Public Park Gaps – we recommend developing a 5-acre park in eastern part of city; develop 80-acres of active sports field parks within Daybreak through buildout. Welby Regional Park will be 168 acres and will take up to 10 years to develop. No additional public parks are required to be acquired to meet future needs through buildout.

Page 14: Park Standards – Existing parks should be upgraded as necessary to meet the minimum requirements for amenities and features. Future Parks should be designed and developed from the outset with amenities and features that meet the standard. No additional “mini” parks.

Page 15: Diversify the Open Space Profile of the City – continue to focus on the Jordan River Parkway and Bingham Creek. The Master Plan includes a variety of tools to preserve agricultural land and similar “heritage” open spaces for the benefit of future generations.

Page 16: Analysis of Park & Recreation Needs at Daybreak – Did a very thorough analysis on Daybreak. We were concerned that the 80 acres would not be sufficient to meet the active park needs for the future. The level of service for Daybreak is higher than the rest of the city.

Page 17: Recreation & Community Arts/Facilities/Programs – there is a need for improved and expanded indoor recreation facilities, aquatics and fitness training. We recommend the existing South Jordan Fitness and Aquatics Center be upgraded and expanded during the 10-year plan. It is also recommended that the development of a stand-alone senior center be considered and that the existing community center/senior center be transformed into a stand-alone community center in the long term.

Page 18 & 19: Existing & Future Trails – trails are highly valuable to the public. Current existing non-Daybreak trails 49.3 miles. Proposed additional non-Daybreak trails are 40.0 miles; Total of 89.3 miles. Our approach is that they all merge together to become one community with common standards. Make sure that your recreational trails are complete and that the regional trails are complete so they link with surrounding communities. Safety improvements are needed and lighting is needed on the trails.

Page 20: Acquisition & Construction Costs – there will be details included for all of the costs shown. Any new acquisition should be done as soon as possible. The longer you wait the more it will cost.

Page 21: Goals, Policies and Action Plan – The Master Plan provides specific policy direction to help ensure the future parks, recreation facilities, open spaces, trails and art facilities are implemented as required to meet future needs. We have been working closely with Lewis Young on their Impact Fee and Level of Service to make sure that the Master Plan is integrated.

Commissioner Holbrook asked for the definition that was used for Parks for this particular plan.

Mr. Vlastic said it is detailed in the Plan. In general a park is a place that is used by the public for active uses and passive uses.

Commissioner Holbrook said that is one of my considerations that you are not counting the open space for parks.

Mr. Vlastic said when we are doing the level of service for parks we are doing it for Parks specifically. While open space is for passive use it is not the same as a park because open space is not fulfilling a park need.

Commissioner Holbrook asked what the missing pieces are in the Jordan River Parkway.

Mr. Vlastic said along the east edge; they are not missing they are in private ownership. We are recommending there be an agreement so we know the future for them. They are mostly in wet areas.

Commissioner Holbrook asked why the Oquirrh Lake Park isn't listed on the sheet with all the different parks. Mr. Vlastic said it is currently a private park. We made a distinction between private parks and public parks and until we are told it is a public park that we should include in the calculation we will keep it in the private park area.

Commissioner Holbrook asked about the classification of Mulligan's. It is in the special use area but it seems more like a regional park.

Mr. Vlastic said we listed it as special use because it didn't clearly fit a public park use. To use the commercial park of Mulligan's requires a fee.

Commissioner Holbrook said our current rec center loses about \$600,000 per year and I am puzzled why we would want to put \$20+ million into a pool and then more than that to do another rec center. I have heard the pool presentation and we will never recover that money.

Mr. Vlastic said you can never expect a pool to pay for itself. We do think there is a need for a pool. What you have now is not meeting the needs currently and there will be a greater need in the future.

Commissioner Holbrook said just for the public's knowledge, what we are looking at is 50-80 million dollars in parks over the next 10 years if everything were to be built. These are just plans right now.

Commissioner Holbrook asked about the arts amphitheater.

Mr. Vlastic said it is a recommendation we are making. We identified in the survey that your arts element of the city is a victim of not getting the word out effectively about things that are happening. We are recommending it be taken to the establishment of a cultural arts district somewhere in the vicinity of Holt

Farm and it would bring in some of the historic structures, roadways and connections to the river and an amphitheater. That idea still needs to be vetted. South Jordan need to think about what will distinguish you rather than how you can keep up with others.

Commissioner Holbrook said it has been identified that the people want trails as their number one priority, yet it appears that in this Master Plan the trails are listed behind all of the other expensive items.

Mr. Vlastic said we want to stress that the two categories of trails receive the focus. There is another layer of trails called local trails that we didn't address. They will happen as they happen; once your big ticket systems get established then you can start focusing on them. We want to make sure you get your main east west connectors in. This is a reasonable approach for the next 10 years.

Commissioner Holbrook said if our population is going to double I have a real concern with no more parks being added. Our East side is lacking for parks.

Commissioner Quinn asked for some details on Bingham Creek. Mr. Vlastic said we are expecting that it will be a major open space system that will have small parks attached to it. It is interesting topography so the main focus would be as a trail corridor and for access to open land by the public. We don't have enough information right now. There are sections of it that are in public ownership and there are large parts of it that are not. We are recommending that it be open space focus for the next 10 years.

Commissioner Quinn said we are greatly lacking in sports fields. What is the solution for this?

Mr. Vlastic said the solution is to take all 80 acres of public parks for Daybreak area and focus on sports and or baseball fields. Some of the public seems to think we have enough sports fields and that the 80 acres should be used for other types of uses.

Chairman Mark Woolley opened the Public Hearing for comments.

Naomi Foreman, 11561 Cross Country Circle, SJC; I want to thank you all. I have been with the soccer organization for the past 12 years and my children plan. I have watched the growth and have watched the kids come in. As a teacher and an educator I can't think of a better way to build good students and get their energy out. I thank you for considering the extra sports fields coming in.

Jason McGuire, 4507 W. Sebago Way, SJC; I think you guys need to put this Master Plan on hold. I think the City needs to stop and evaluate the direction that it really wants to head. My wife and I have lived in Daybreak for 9 years and being residents out there has opened our eyes to how recreation impacts our lives and what gets people to leave their homes and actually talk to their neighbors. We have a unique demographic out there and with those 80 acres that are up for grabs we feel there is a need for soccer and multi-use fields, but I caution against the wording that is in the report about dedicating all 80 acres to them. The City will have a lot of different needs for things like gardens, arts, interactive playgrounds and small outdoor concert venues. If we tie up these 80 acres to just sports fields now, what does that leave us in the future for some of these other desirable amenities that we would like to have? We also need to look at providing additional parks for the east side of the city.

Kristi Collins, 10749 S. 2200 W., SJC; I want to say thank you for listening to our input on this park planning process. Our family just loves parks and especially the trails. Just make sure we cover all demographics as far as uses go. I would like equestrian trails considered.

Rulon Dutson, Daybreak Communities, 4700 W. Daybreak Parkway, SJC; I appreciate the work that has gone into the Parks & Open Space Plan. Daybreak is the largest master planned community within the city. Daybreak Community is the largest property owner within the city. Most of that is already entitled for development so there is not much bite of the apple when those things are proposed. We are also the landowner that has the largest commitment through the MBA to the city to provide certain parks and open spaces and as mentioned tonight that is required through an agreement we have with the city. We also have the largest HOA and are currently maintaining over 200 acres of land that in our opinion is not private open space; it is open to the public. Daybreak is not a gated community so we did take a little exception as we read through the document as there was a huge distinction made between private parks versus public parks. We have right now less than 5 acres if you count the community center and one small boat house that is not open to all Daybreak residents. There is not a trail or park that is not open to all of South Jordan residents; that's the way the community was designed. We are a little put off that our engagement in the process consisted of an initial meeting with the consultants and with staff to hear what our vision was regarding the plan. At a minimum I think a broader engagement with us as an entity would have provided an opportunity to correct some of inaccuracies within the documents and would have been to provide more up to date plans. At the maximum we would have looked at this document as a tremendous opportunity. I wince when I hear South Jordan described as the Tale of Two Cities. They are developing very differently but it is one city. We have an opportunity through a document like this, particularly with something that is so important to the community, to view it as a community. How that level of service is met can be realized in different ways through different parts of the community. We have learned a lot in the last 8 or 10 years since that Parks and Open Space agreement was envisioned and then formally adopted. 80 acres at that time was a mathematical equation. What we are requesting tonight is not necessarily to table the item because we think there are a lot of good things within this document, but we do have a lot of questions. First of all, the construction of the survey and how it distinguishes very deliberately between Daybreak and non-Daybreak interests. We recognize the value of that as it relates to impact fees, but there are some park needs that will not be satisfied through the agreement that the City has with Daybreak. In those circumstances we need to think of some other way collectively, as partners, on how those needs will be addressed. We are suggesting and have received a preliminary commitment from the City we will have an opportunity as Daybreak Communities to sit down with staff and with the consultants and engage the HOA and engage the Daybreak Community Council as they play a vital role in some of these other elements as well. We look forward to that opportunity if in fact that manifests itself. One of my concerns in sharing comments tonight is that we would be perceived as the 800 pound gorilla west of Bangerter Highway. I would hope that that is not misinterpreted and I think that our partnerships with the City on Parks and Open Space initiatives would reflect our commitment. Both the City and Daybreak Communities contributed several hundred thousand dollars to enhance the Bingham Creek Corridor underpass when the light rail trax line came in. The original proposal was for a culvert to handle the storm water and contributions of the City and Daybreak in terms that broader parks planning was expanded so you can drive a truck through it now. It lends itself to a future trail system that we hope goes through there. In our mind an open space corridor is not just a connector between two points. If we plan those constructively they can be wonderful to experiences for people who are seeking that type of thing. In addition to that the donation of Bingham Creek as it runs from Skye Drive down to 4800 West was a commitment from Daybreak Communities to recognize a valuable component of a regional trail system and as a partnership with the city we were able to make that happen; the Mountain View Corridor as well. That initially came to the city from UDOT and it was a road to move people from one place to another. Again through the City's commitment and through partnering with Daybreak in terms of how wide that Corridor should be, there are now two wonderful bike paths. One on each and are used a lot. Our commitment to Welby Park we have committed to have contribution for one million dollars to make those improvements within that park. Our commitment is there and we want to

make Daybreak a great place for people to live and make South Jordan a wonderful place to live. Some of the answers to the surveys questions are intriguing. We are hoping that is one thing we can discuss more closely with the consultant. It is interesting where it is distinguished between Daybreak and non-Daybreak and yet the most visited park within the City was Oquirrh Lake. Nowhere in the plan other than a small reference, in addition to the 80 acres and the 200 acres that is meant to include Oquirrh Lake. What we view as a jewel to the City, we would think that a Parks & Open Space Plan and with the amount of information that reviewed in pulling this together that that would have at least been noted more notable than it was. We think the survey is very valuable but I go back to the question, if one of the things people has identified as Parks and Trails, how much is the City going to pay for that. We hope as we have opportunity to visit with staff and the consultants that we can explore those things in more detail. We view documents like this as not only obligations but also opportunity. We think South Jordan is a wonderful place to live and we hope that we are a compliment to that and not just the orange blob that is outside of the other parts of the City with the assumption that Daybreak or Kennecott will take care of those needs. I would hope that the questions that have been raised I think have been good and we appreciate the comments and we appreciate the work that staff has done but we would also appreciate the opportunity to engage a little more fully so we can take advantage of the resources that we bring as a land developer and planned community; the keyword is planned. We can plan where things should go not where the available land is left.

Chairman Woolley closed the Public Hearing.

Commissioner Quinn said it sounds like we have not done a lot of coordinating with Daybreak Communities and that's concerning to me that we haven't worked in conjunction with them.

Staff Attorney Schaefermeyer said since Colby has been the staff member that has been mostly involved in this it might be well for us to understand some of their expectations and what the impact of tabling this would have.

Mr. Hill said you are correct it has been noticed for City Council for December 6th. This is a draft plan and I appreciate what Mr. Dutson had to share. We would love to coordinate with Daybreak Communities and incorporate their thoughts and their ideas in planning. Our intent is to schedule a meeting with our consultant with us and with them next week. We are hoping to do it early next week but it depends on scheduling between everyone. I think Mr. Dutson has some good points and I think we can share our ideas and thoughts and whether or not we agree on everything, but at least we can have a united front when it comes to the plan. We may need to push back the Council meeting and determine what the next steps would be.

Chairman Woolley said one of the concerns we raised as a Commission amongst each other on multiple issues like this is that this is a big bite to digest in the short time we have had it. While it is important to move it forward, I also think it is important to look at it comprehensively. This is one City and one community so I would like to see better coordination in including them. Our sports fields are way over used and the fact that the east side of the city may be underserved; that point needs to be addressed. I think it is important to slow it down a little bit. It is not an easy undertaking. I think it would be well for us to take a step back and do a little bit more coordinating with the key stakeholders in this and then move it forward. I think the Council would appreciate having it in more of a refined plan than it is tonight. If this were to be tabled that would mean that the Council meeting would need to be re-noticed into the first of the year.

Commissioner Holbrook said we need to take a really good look at this because there are so many big ticket items in it.

Staff Attorney Schaefermeyer said December 13th is the second largest Planning Commission Agenda we have had this year so that would not work well.

City Planner Greg Schindler said the consultant and Colby's staff may not be able to accommodate everything you want to see done in three weeks. It might be best to not make it time certain.

Commissioner Morrissey said I would like it made a little bit clearer as to what our expectations are when we do hear this again.

Chairman Woolley said what I would suggest based on Mr. Morrissey's comments is that we give direction to Mr. Hill what we would like them to address.

Commissioner Holbrook asked if we could table this item and then forward a list of items to be addressed to Mr. Hill.

Chairman Woolley said I am in favor of that. Let's entertain a motion to table and whoever makes the motion to include language that we as Commissioners then would forward to Mr. Schindler our list of items that we would like Mr. Hill to specifically address. When he has that then he can contact me and we will review it and move forward.

Commissioner Quinn asked if it is possible to get a hard copy of the Plan as soon as possible.

Mr. Hill said I can have them printed out for you tomorrow and I will give them to Greg for distribution to the Commissioners.

Staff Attorney Schaefermeyer said you need to make that whatever list you send on to Greg ends up in the record as well. It might be good to mention that in the next public meeting notice as well.

G.2 Potential Action Item – (See VII.G.1)

Commissioner Quinn motioned to table this item of adopting the 2016 South Jordan Parks, Recreation, Community Arts, Trails, and Open Space Master Plan and amending the South Jordan City General Plan until a more in-depth conversation has been had with outside parties as well as with the consultant's also that the Commissioners will compile a list of concerns that they would like reviewed by Friday, December 2nd. Commissioner Holbrook seconded the motion. Roll Call Vote was 4-0 to table. Commissioner Jolley and Commissioner Ellis were absent.

Staff Attorney Schaefermeyer asked Chairman Woolley to let the City Council and Mayor know what is happening. He said I would rather the information come from you.

**H.1 Issue: ZONE TEXT AMENDMENT – AMENDING SECTION 17.130.040
(FARM ANIMAL FLOATING ZONE) OF THE SOUTH JORDAN
CITY MUNICIPAL CODE**
File No: ZTA-2016.02
Applicant: Melvin & Eileen Luker

Planner Jake Warner reviewed the background information on this item. Currently points are awarded for farm animals on eligible properties on ½ acre increments. For every ½ acre you would be awarded 30 points. That is the current City Code. Regardless of the size of the property in-between the ½ acre increments you still would have the points awarded for amounts under the ½ acre size. Under the prorated system the number of points awarded at those ½ acre increments would not change, but it would be prorated by hundredth of the acre instead of ½ acre. The points work out to be the same at those ½ acre increments but points are awarded proportionate to the size of the property between those increments. At one acre you would have 60 points and could have two horses. According to my calculations, there about 1700 properties in the city that has farm animal rights. An eligible property is a property that is at least .5 acre and is in the R-1.8, A-1 or A-5 Zone. Currently about 1200 of those properties only qualify for less than 40 points which means they qualify for less than 2 horses. Under the prorated system, that number goes down to 767 properties; a significant increase in the number of eligible properties that would qualify automatically for 2 horses or more. That does not change who qualifies for farm animals generally, it just allows certain properties to be awarded more points proportionate to their property size. He reviewed a map to show what that would look like (see attachment C). The orange properties are the eligible properties that qualify for only one horse and the green properties are those that are eligible for farm animals and qualify for 2 or more horses. That would be if the prorated system is approved. Under the current code about half of those green properties would be orange properties, meaning half of the green properties that would have enough points for 2 or more horses currently only qualify for one horse. A summary of the applicant's intent is to have two horses on a smaller farm animal property which is less than 2/3rds of an acre. The applicants would still fall within the 767 that would only qualify for one horse. The Council was sensitive to their request and staff was given some direction on that. The recommendation is that on those 767 properties, a second horse may be allowed if certain requirements can be met. First is that their property is currently eligible for farm animals and only qualify for one horse. Second, they would need a fenced area that is at least 5,000 square feet in size provided and fenced. The third requirement is that the fenced area, if adjacent to a property that doesn't have farm animal rights would require a 10 foot setback. The fourth requirement would be that grain feed must be stored in rodent proof containers. Fifth would be that the animal waste is picked up regularly and if stored on site, that storage must be 40 feet away from any property line. The last point would be that a covered structure be provided of at least 150 square feet. He reviewed what that would look like on the Applicant's property. They have animal rights for one horse right now and the properties around them do not have farm animal rights so they would have the 40 foot setback from the dwelling units on the adjoining properties. The 5,000 foot fenced area could be configured a number of ways but in this case they would be required to have the 10 foot setback on three sides because each of those surrounding properties do not have farm animal rights. The one exception to the expansion of farm animal rights under this proposal is there was some concern that all equine have a significant impact on adjoining properties so as part of the direction we were given, we reclassified almost all equine as large animals. The one exception is a miniature horse which went from a small classification to a medium classification. Staff's concern from the original application has been a balancing of property rights on both sides of the fence. In this case we have an applicant that desires additional property rights by way of an additional horse and we have neighbors concerned about the impact of the animals on their property and the City is being asked to accommodate all concerns. A lot of consideration has been given to this proposal and staff feels that it does balance the concerns and is recommending approval.

Commissioner Holbrook asked about the mini horses. She said they are as much as 225 lbs. and as small as 50-60 lbs. are they still going to be considered a medium. Planner Warner said they would be under this proposal.

Chairman Wooley asked for a show of hands those in attendance who are in favor of the current standards being presented and that may want to speak. He then asked for a show of hands of those against the proposal and would like to speak. He said we have already heard a lot of comment on this issue but we will be limiting speakers to 3 minutes tonight during the public hearing. This has been well debated and they have sent it back with significant revisions.

The applicant asked for additional time because she has an alternative option that she wanted to propose. Chairman Woolley said you can speak now for 3 minutes or wait till the end and you may have additional time beyond the 3 minutes.

Chairman Woolley opened the Public Hearing for comments.

Debbie Mayer, 3042 W. 10400 S., SJC; I attended the Planning meeting on May 24th and I was asked to be on the Ad Hoc Committee and I have attended all of the other meetings. I have come up with three specific concerns to me. Mrs. Luker had an option 1 and an option 2 originally. Option 1 was one we looked at in the Ad Hoc Committee. Option 2 was not considered and it was to put the elk, bison and the yak into an extra-large section. In the current code we had 3 ponies and moved those up. Every meeting I have been to there is a question of how many parcels this effects. We have seen some figures tonight. I have looked over them and I don't know how many particular properties like Mrs. Luker's there are but mine is. I have grandfathered rights for two horses. I would lose that if I moved my horses off my property for one year. There is absolutely no way that if I sold my property to someone else, they would be able to meet the requirements of this new code in this proposal. It would take 6,800 square feet of my yard to have a second horse; it would take my whole yard. This is a very sensitive subject and you have heard very emotional comments at the meetings. I would hope you would consider Mrs. Luker's original Option 1 or a combination of Option 1 and Option 1. I would like you to reject this staff proposal.

Kristi Collins, 10749 S. 2200 W., SJC; I am all in favor of being able to prorate the acreage points. Right now we live on just under an acre and a half so we are restricted to that one acre and that would make a big difference for our family. If we have three horses, we have four people in our family so that means someone goes without. As far as the setbacks, they should be done on a case by case basis. As far as the re-classification goes, I have had miniatures, ponies and horses and the input and output are about the same. The re-classification of the horses should be left where they are at.

Roger Reese, 11400 S. 1790 W., SJC; in 1984 I came here at the large animal Veterinary Clinic. I have been there for 33 years. I would like to tell you that over those years we have watched, with some sadness, our agricultural land disappear. A couple points I would like to make is that horses are social beings and want to congregate and gather in herds and it makes sense to want to have more than one horse on a property. The challenges with neighbors are always there. One of the disadvantages to the proposal is setting aside a certain portion of the property, 5,000 sq. ft., makes it difficult for some owners to be able to accommodate the code. Horses that are stabled in small areas tend to have more difficulty with boredom and causes biting and kicking. The challenge is limiting the property owners to setbacks and the 5,000 sq. ft. area. Limiting owners to one horse sometimes limits their ability to be productive. I would be in favor of adjusting the size of the confined area. Good fences make good neighbors. We have had a great experience here in South Jordan and we feel badly when clients are limited in their ability to do well in their horse operations.

Julia Jensen, 11543 S. 2511 W., SJC; I have owned our property for over 30 years. I would like to point out that most of the people that purchased property in South Jordan and that have horses, bought and were

at these locations long before these subdivisions came in. We own 3 ½ acres so I am sure we are clear for the animals I have on my property. I do think that with the 1700 people that do own animals maybe you should reach out to some of them and notify them. The only reason I knew about this is because I work at the vet clinic and have been there for 28 years. A lot of your residents that own property and have horses there would be up in arms if they knew you were actually changing the code and they weren't aware of it. Back then if you owned horse property and they were going to do a subdivision it was the subdivisions developer's responsibility to put the fencing up legally obligated to put in the correct boundaries and requirements.

George Feland, 11512 S. 2950 W., SJC; I think this is moving towards the right direction. I think the re-classification is not needed and we should keep it how it was. I am an educator and teach at Copper Hills High School and am also the FFA Advisor there. It is sad to see when Bingham High School is not represented by the FFA but every neighboring school is. I think we are limiting our children on that and all the opportunities that are possible through Veterinary Science. I love the proration, I think that helps out.

Dave Mayer, 3042 W. 10400 S., SJC; it seems to me that there are rule changes in the middle of the game. I would like to ask why a new classification at all. It is very confusing to me.

Pat Lewis, 9948 S. 3265 W. Chattel Estates, SJC; I live on 1 acre horse property and all of my neighbors are the same. You are going to be seeing a lot out of me because a developer has just purchased one of the one acre lots next door to me and is putting in three 1/3 acre lots in the middle of our horse property. We have been here for 40 years and we went through all of the pioneering when we didn't even have telephone service. I feel that our feelings and our rights should be respected along with the new coming people. We have earned it. I support horses and they are all around me and I just love them. Now here we have the developers wanting to come right in and stick their three little houses there and then they are gone and the people start to complain about the animals. I want to say to them "did you look across the fence and see what was on the other side you bought it." Why do you come here and try to run other people out.

Mike Bellows, 2661 W. North Forty Way, SJC; I would like to thank the Commissioners for their diligence on this matter. It has been a divisive issue. I believe we are missing the overarching issue here and it is not NIMBY. I would ask if the Luker's looked over their fence to see what was there when they decided to buy and introduce horses into the neighborhood when there were none. One house surrounded by a 37 year old subdivision that have never had horses. They started with 3 horses for a long time and went to 2 when they we're called out on it. Now this whole thing is bubbling to the top over this one person and their one issue. It is not the number or density or the farm animals that's the issue. It is the insertion of farm animals, in this case, into an existing well established neighborhood. Every neighbor is against this. Only one person is for it and that is Ms. Luker and her family. This flies in the face of democracy in my mind. This is being promoted by a person that doesn't even live where these horses are. Where there is the lack of current landscaping are in violation of many city ordinances which concerns all of us because we have been there a long time and have spent a lot of money into our properties. The feeling is that this will degrade the value of our existing properties. This home was carved out of the middle of this subdivision and kept separate and now it is being degraded. I am speaking for the neighborhood and the residents who after 37 years feel that they are being negatively affected. I live on the perimeter of the subdivision and have two horse breeders next to me. When the horses were there they were out of compliance. One took very good care of his animals and the other did not; 9 animals on 1 ¼ acre including cattle and horses. I came to Council and came to code enforcement and got no enforcement of that and that is a concern here. If you allow two horses to be on that property in the middle of this neighborhood it is a travesty. It is affecting our quality of life. It is not a personal thing it is about respect for the existing situation. My recommendation is

that the individual circumstances for each of these exceptions for allowing two horses on a property by exception be considered in light of the existing homes, existing values and existing quality of life.

Melvin Luker, 2928 W. 10755 S., SJC; I take exception to this last guys statement. That house was built years before that North Forty Way was even subdivided and it has had animal rights since then.

Angie McClellan, 10635 S. 2700 W., SJC; the gentlemen that spoke before that lives on North Forty is correct. I am the only horse property but not because I'm the only zoned horse property. All of the property around me is zoned for horses. I am the only one that has ½ acre or more. It is not my fault that they zoned everything around it or they build their properties with less than ½ acre. I am the only person who moved in and wanted to have horses because when we bought the property we were told we could have two horses. We asked when we were at the title company about to sign the papers. After we moved in we brought two horses, not three horses. That is when my neighbor complained. We brought on a third horse because we had a special event and we thought it would be fine to have three horses for one week. She then called again that there were three horses. Code enforcement called us and we promptly moved the third horse off. My property was a nightmare before we moved on to it. The people who owned it before us did not care about it. We have vastly started to improve it. Finances are an issue. I have a before and after aerial picture of my back yard. Before it was a garbage pit and I guess she was ok with it being a garbage pit but she's just not ok with two quiet peaceful horses that my 16 year old rides. He takes care of the two horses. I made a beautiful garden out of my back yard and got rid of all the garbage. I am still getting rid of the garbage from the previous owner because we ran out of money this year. Next Year we will start on the front yard. I don't want to fight with my surrounding neighbors. We clean up after the horses and take our manure out once a week. When I move one horse away the other one goes crazy. They are social animals and they do need to be in pairs. I am sorry my neighbors are so adverse to this; there is nothing I can do about the flies. They exist without horses. I can and do take care of my horses diligently. We love our horses and everything comes down to the facts. We have the facts. It is not about feelings. I have had my horses longer than I have had my children; they are my family.

Jenny Gusteson, 2638 W. 9435 S., SJC; I wanted to ask about the 10 foot boundary around the property sides. I live on a horse property and I do not have large animals. There are all different size properties where I live and I chose to live where I do because I wanted to. Yes there are horses and cows and such but I chose to live here; if I don't like it I can move. I would take horses over the drug dealers down the street that South Jordan can't seem to get rid of.

Paul Salin, 2617 W. Settlers Bend Road, SJC; the house south of that was a meth lab. The problem isn't horses or horse property, it is size. You allow four horses on an acre. It has nothing to do with anything else. We all understand that horses are social animals. You buy property big enough to have your horses. They say that we are taking away people rights to own horses; no we are not. It is the number of animals and the acreage and that is it. Someone else could have bought that one acre lot and put horse property and a house on it. Nobody chose to keep buying horse property.

Michelle Hall, 10286 S. 2950 W., SJC; we as property owners with large animals, specifically horses, on .50 acres or greater are in agreement with the alternative Farm Animal Ordinance as has been presented by Eileen Luker. This proposal has been very carefully developed through extensive research and input by the experts contacted by the South Jordan Planning department and other experts. Dr. Reese at South Valley Clinic is an expert. Mrs. Luker's original amendment request was tabled by the City Council on August 2nd, and now appears to be replaced by this proposed new ordinance. This new proposal is very far reaching and is not an accurate representation of what is required in other cities; nor is it a fair reflection of the opinions

of experts in the care and maintenance of farm animals. As a responsible farm animal owner we want to be good neighbors and understand the importance of that responsibility. Most of us moved here to enjoy the rural lifestyle of owning large parcels and enjoying farm animals. It is very important to us that this lifestyle be preserved and that it may be passed on to future generations. We feel Mrs. Luker's alternative ordinance is an excellent compromise that addresses the impact concerns of non-farm animal properties being adjacent to farm animal properties. It also ensures the physical and emotional wellbeing of animals as well as the emotional and psychological wellbeing of their owners. It is vital that our rights as land owners and farm animal owners be preserved because the agricultural footprint in South Jordan and the Salt Lake Valley at large is diminishing at a rapid pace and will soon disappear altogether if something isn't done to preserve it. Please reject the ordinance as proposed by staff and forward a positive recommendation to the City Council in support of the Luker's alternative ordinance.

Jason Soares, 11350 S. 2865 W., SJC; I think Jake has done a great job of putting this ordinance together, however, the reclassifications are pretty strict.

Pamela Sorensen, 2617 W. Rustic Meadow Circle, SJC; I am the backyard to these animals and I have not had animals there since I have lived there for 24 years. When we moved in there was a grandfather law that said they were not allowed to have any horses and we have had neighbors move because they were not allowed to have horses on their property. Then they were allowed to have one and now it looks like we will have two. I don't see that that is fair to me. I have lived there and maintained my property and I want to be able to go into my backyard and to garden and to not have flies all over me. I just disagree with this totally. I do like that you raised the donkey and pony and the burrow into the classification because they could also be in my back yard at this point. The challenge of the 10 foot is a pathway between my fence and where her corral is. Her corral is not 10 feet away from the fence right now and 10 feet doesn't give much for me with my trees and my raspberries right there. I have lots of neighbors here that support me on this and we do not want this allowed. I do understand that it is a .50 acre and it had affected detrimentally and she moved in just a year ago and we have been there 24 years in an established neighborhood. I don't think it is fair that she can come in and propose this change.

Chairman Woolley invited the applicant to come up.

Eileen Luker, 2928 W. 10755 S., SJC (Applicant); based on comments that have been made I can make this briefer than what I would have originally; as you may recall I did submit a text amendment to the South Jordan Municipal Code to reduce the number of points for large animals from 20 to 15 in order to allow two large animals, specifically horses, on a .50 acre of property. This request was based on research I did where I determined that South Jordan was the only city in the southwest area of Salt Lake County that did not allow two horses on a 1/2 acre property. My submittal also included information that included portions of the City's General Plan, the support of my request as well as the need for companionship for the physical and emotional wellbeing of horses. On May 24th the Planning Commission held a public hearing and you tabled the issue with the request that I hold a citizen committee meeting to review and make other recommendations regarding this current ordinance; which I did. One July 12th the Planning Commission forwarded a positive recommendation to the City Council to approve my request with a four to one vote. On August 2nd the City Council held their public hearing but did not accept or support your recommendation. They tabled the issue with direction to staff to consult with horse experts, specifically regarding the amount of space a horse needs to exist comfortably. I am here tonight to respond to a new proposed ordinance regulating farm animals; however, I want to make it clear that I would still like the City Council to simply change the points from 20 to 15 per my original request and your recommendations. To me that seems like the easiest way to resolve this. Since that does not seem to be the direction in which they

are willing to go it has become necessary for me to respond to this proposed ordinance and I have written a substitute ordinance to present for your consideration (Attachment D). I can provide supportive documentation for everything I have said as far as researching other cities, the experts we have talked with, the measurements of our own property and I can show you proof of everything that I have said here today. I do appreciate your time. I know this is a difficult and emotional issue. We have put a tremendous investment into this under the assumption that we could have two horses there.

Chairman Woolley closed the Public Hearing.

Commissioner Quinn asked how the 150 feet was determined for the structure and how were the setbacks determined.

Planner Jake Warner said these are not my recommendations. These were directions given to staff by Council Members and Senior Staff that were working on this and ultimately I received direction from the City Manager. In my opinion, I believe they were trying to be sensitive to the applicants desire to have two horses on her property which she could with these requirements. Building requires a permit for a building of 200 sq. ft. or larger so I think it was determined that we wanted to stay under that to be accommodating to horse owners and that two horses could huddle under a structure that was at least 150 sq. ft. On the 10 foot setbacks, we talked about different requirements from different cities and from my research it is hard to pick apart one component from the other components of the zoning ordinance. One city may not have a setback requirement but may have a larger minimum lot size. Setbacks are a common zoning tool. The idea behind a setback is to minimize impacts. Horses have impacts. One thing I didn't originally take into consideration is the leeching that occurs. James Bennett was brought up and I did talk to Mr. Bennett at the Health Department. While they do not regulate the zoning of horses, he had great concerns for leeching crossing property lines and the accumulation of waste killing plants across property lines. That was something they dealt with quite a bit. I think the setback is just as much for the leeching potential as for some of the other impacts. From my research a horse produces around 50 lbs. of feces per day and nearly 3 gallons of urine per day. The smaller the space that is confined to the greater the potential for impact to neighboring properties. We talked about the dedicated fenced area and I would have loved to have found consistencies amongst the experts of what that area should be. A lot of the information I found dealt with the wellbeing of the horse and did not consider the zoning application of that; what is sufficient in a suburbanized area that is growing rapidly. The 5,000 square feet was not my number, had I proposed a number it would have been higher than that. It is common in cities to have a dedicated area and the mode number I found was 10,000 square feet to start with and sometimes that was per horse. I researched 20 different cities and it was part of the comprehensive approach to dealing with potential impact and balancing property rights for both those with farm animals and those that don't.

Commissioner Morrissey said with regards to the 5,000 sq. ft. requirement, would you break down your analysis a little more like in comparison cities like Mrs. Luker brought up like Draper, West Jordan and so forth and why they chose those lower limits as well as the higher limits.

Planner Warner said it is my assumption that most of the cities in this part of the valley adopted zoning ordinances at the same time. In 1978 when the city adopted its zoning ordinance, the code did allow for two horses per half acre, which is what West Jordan, Sandy, and Riverton still allow. The cities in this area of the valley typically don't have dedicated area requirements. I talked to a Planner in Sandy and they do have one subdivision that didn't have farm animal rights that wanted it so they applied the dedicated area requirement. They actually require that of every property owner regardless of whether they have horses on the property. Other than that it is not common in this part of the valley. I found that it was more common

outside of Utah from the research that I did. There was a lot of research as well into the different guidelines and best management practices; again there wasn't consistency. I have seen the BLM requirements and here is a quote from one that I found "*a horse may be kept on less than an acre of land if adjacent to a park or public riding facility; in a high density urban area that has no exercise facilities or manure removal less than an acre may not be adequate.*" It would have made my job and Council's job easier if we could have found a solution but each city is given legislative authority to make policy decisions for their residents and what is in front of you is the direction that I was given to implement that policy for South Jordan residents.

Commissioner Morrissey said was there any consideration as far as reaching out to the community and to the group that was actually put together and was there any conversation with that group after the City Council had their meeting and tabled this.

Planner Warner said I do consider a lot of people here experts. City Council did give direction to find an expert to answer questions. There was disagreement on which expert that should be. What was determined was that once staff was given direction, that a new draft would be written and that that draft would be taken to multiple people to determine if it was feasible. That is what was done. There are some changes that were made based on their input. Mrs. Luker is correct in that I did receive an email from Vernon Parent saying that he thought the 5,000 square foot was too much and he is the one that provided to me the BLM standards of 400 square feet per animal. Based on some of the comment we have received today I wonder if it is in the social wellbeing of the animal to take a wild donkey or a wild horse and put them in a 400 square foot area. I think the BLM has different objectives than ours as a city. A committee was formed and they provided their input and we were trying to determine what direction to go and that direction was provided and we followed the instruction we were given.

Chairman Woolley said when we talked about the new draft and the setbacks you heard a little bit from staff regarding that and the intent from having listened to and looked at the minutes from the City Council meeting, my impression of what I heard was that the setback was specifically being recommended to come back before this Public Hearing so that any adjoining properties that did not have horse rights, that there would be a setback just like there are setbacks with houses and outbuildings and other structures. That was the purpose of that being put into the mix.

Commissioner Quinn said I have listened to a lot of comments tonight and I appreciate everybody taking the time to provide their input from both sides. It is a heated and emotional issue on both sides on this issue. I have to say staff has done a phenomenal job of researching of this issue and coming up with a fair compromise. My personal opinion is what staff has presented and what we are seeing is a pretty decent compromise from where we started earlier this year. Although I am personally a large animal advocate and if it were up to me I would simplify the point system but I understand where it came from and that it simplifies Code Enforcements job and how we determine how many animals are allowed per property and there is an issue regarding lot sizes and being able to accommodate the amount of animals that people would like in a fair and reasonable manner without negatively impacting neighbors and animals. I think it is important to adequately provide enough space for the animals and that we have some sort of setback for our neighbors. I like the proposal from staff and I like the grandfather plan. I am okay with moving this forward as outlined.

Commissioner Morrissey said I agree with staffs in depth review and presentation and appreciate the hard work and efforts that has been done by both sides and the communities involvement and would like to recognize them for being so adamant as far as wanting and making change and being involved in the

community. As far as the standards here that have been presented tonight I think it is a good compromise. It is not what everyone feels is ideal but it is a good compromise. I feel good about it.

Chairman Woolley said several things came to mind as we heard the citizen's discussion and input. This is unprecedented; there has only been a number of times that I am aware of where a requested change of an ordinance comes forth to the Planning Commission, gets debated, gets tabled and comes back and gets debated again and discussed with citizen input and then a recommendation sent forth for the City Council and then have the same thing repeated. A lot of time and energies from everybody on both sides of the fence have gone into this. As I have listened and as I studied last night looking at this again and reflecting on what we proposed originally to the Council and where we are now I think we still missed the boat. We should be trying to make our ordinances simpler not more complex. I fear based on what I see and what I have read and my involvement is that we have created something a lot more complex than it needs to be in my opinion. By being more complex it is a lot more difficult for both the citizens who are affected to being in compliance as well as our Code Enforcement to cause there to be compliance; and that concerns me. I am also concerned that the discussion that the people who were noticed were within 300 feet from this specific parcel. In talking to a couple of the City Council members about it, I expressed to them and I will express tonight for the record that we missed the boat on this. This is a major ordinance change from the ordinance change in 2011. I moved to this city and bought a half acre that the entire subdivision where large animals were allowed. That change took place and we don't do as good a job as we should in notifying our community and engaging our community. I cringe when we don't get all the players that will be affected by this and I fear we will go forward tonight and do the exact same thing. We will arbitrarily say this or that is good or not good and yet we only have a small segment of our community who's affected by this here tonight. In my opinion it should change when it is something that is as far reaching as this is. We know how many homes will be affected based on the research our staff has done. It is a pretty significant number and that is an issue for me. When I look at the actual core issues it is several things. The animal classification sizes are one. Having grown up on a ranch and having animals my entire life, and being around animals still, the reality is I am not comfortable with the re-classification. We have had some document presented as well as some testimony that it doesn't make sense to me. I didn't agree with the point system, but after discussion with staff in our previous meeting, that will make it easier for everybody involved; but I still struggle with what I see tonight and what I see as part of this recommendation. I can't concur with the way the point system has changed. I appreciated Mrs. Luker's comment of being in the industry 150 feet is less than 200, which I appreciate but she brings up a great point that 144 sq. feet is a great dimension to build. It is less cost when you get into the even four foot increments. I would like that be a change to recommend with if we go forward. The big issue is the regulated lot size. My impression is the reason they come up with the 5,000 sq. ft. wasn't because of this particular property. It was specifically to address the potential properties in the community where there is a 1/2 acre lot and a very large home. Their fear was that you could have large homes on these lots and trying to introduce larger animals on those lots. We have heard tonight that the 5,000 is larger than it needs to be. I think it will impose some significant problems. We could forward this new text amendment as it is and recognize that a lot of work and effort has gone into it but does it really meet the need; I don't believe it does. We could modify it and send it forward to the City Council with some text changes and the third option would be to go back to the original recommendation that we forwarded to the City Council or make amendments to that recommendation. For me we have overshot what we were trying to accomplish. I can't support it as is.

Commissioner Holbrook said no matter what we do someone will not be happy. You can see that we have all tried. We have listened to everybody but someone is still not going to be happy. These new regulations for the 1/2 acre would be for those who already have animal rights and want to put on an additional horse, correct? Planner Warner said correct.

Commissioner Holbrook said as far as the 300 foot noticing. That is by law. Planner Warner said I would like to correct that. It wasn't 300 feet. This text amendment affects the entire City and so it has been noticed in the newspaper and on the Utah Public Notice Website so the 300 feet only applies to site specific applications and doesn't apply to this application. We have considered how we notice more people and there was concern that any attempt on our part to notice more people may appear biased.

Commissioner Holbrook said I agree with you about the re-classification; we have heard a lot of testimony tonight on that. I agree that 144 square feet would make more sense for the dimension. What I am wondering is this will impact so many people and it could be a concern. Council gave us direction to do something and I believe I was the one that didn't vote for that in the beginning. I have not yet seen a real pressing need to change what we had for one application. I agree a lot of it doesn't make sense and there are a lot of inconsistencies but no matter what we do people are not going to be happy.

Chairman Woolley asked if we could talk about the animal re-classification. There seems to be a question amongst all of us on this. Ideally for me, I would love to be able to move this forward. This has gone on a long time and has affected a lot of people. I don't want to postpone it again. If we are going to forward it to the City Council perhaps we could do so with the appropriate recommendations that could meet the intent that we are trying accomplish here tonight. I think we can agree on the shelter size being 144 square feet. The regulated size allotment and the animal re-classification are the two outstanding items. I would say 5,000 square feet on a footprint of a lot could be changed to 3,000 sq. ft. and would meet the intent of what Council directed staff to do. With regards to re-classification I think we should go back to the original animal classification with our original proposal. Also, the prorated system is too complex and doesn't make sense to me.

Planner Warner said the resident group that got together did recommend that the donkeys be re-classified from medium to large and that was in the recommendation that the Planning Commission forwarded to the City Council. On the prorated point system I agree that it is a bit complex and that is something the resident group looked at as well. Once they looked at it they said the complexity allows for flexibility. Some cities allow one large animal, two medium animals and 5 small animals. We don't designate how many of which size, you get to pick and choose with the points that you have. The proration does further complicate it but it is more equitable. A .99 acre would get the same number of points as a half-acre; so from staff's perspective it was more equitable. You take 60 points and multiply it by the size of your acreage and that is the number of points you would have. The formula as it is written is a bit wordy and Ryan made sure we covered ourselves. The calculation in my mind is simpler than the way it is written. The resident committee had proposed a 10% exception to the ½ acre increments and this was building on that and staff thought this was more equitable across the board.

Commissioner Quinn said I agree with Mr. Warner and Staff. I think the prorated system does work and in my mind it is logical. I think a lot of people here feel good about the prorated system. The biggest complication comes into play with your neighbors. Do the neighbors understand the size of your parcel of property and will Code Enforcement get calls not knowing what is actually allowed on the property. I would like to further understand what the complaints are for size categories. I think a lot of it makes sense just based on classification of animals. For me personally it feels fairly logical and makes sense.

Chairman Woolley said what I am hearing from the majority of us could live with leaving the animal classification as it has been changed, changing the size of the shelter to 144 sq. ft., changing the dedicated

area to 3,000 square feet and leaving the setback and leaving the grain storage requirement, leaving the waste requirement and leaving the prorated system.

Commissioner Morrissey said as a quick follow-up on the 3,000 square feet; do you think that meets the intent? Please explain that more for me.

Chairman Woolley said the intent was that there needed to be a confined area such that if you got into a situation where there was a half-acre lot and a very large home on it that there wouldn't be a lot of room left for the animals with the setbacks and all things considered given what may or may not be surrounding them with other properties. That would keep large animals from being in an area that there wasn't enough room. 5,000 feet on a normal lot is a lot of space and it sounds like it is substantially more than what it needs to be. I think with 3,000 as a compromise works to meet the intent.

Planner Warner said I would have recommended 10,000 sq. ft. and we are supporting the 5,000 sq. ft. I would have loved to find a consistent number across the board. Where I did find consistency was with other cities that do have dedicated area requirements. I think Planners have a concern that bigger may be better to accommodate the needs of the neighbors to ensure that the impact of the horses is not concentrated to a small area.

Note: Handouts given the Recorder from people that did not speak: Attachments E, F, and G

H.2 Potential Action Item - (See VII.H.1)

Commissioner Holbrook made a motion to forward to the City Council a recommendation to approve Ordinance 2016-14 with changes that the covered shelter be 144 sq. ft., leaving the prorated in, the re-classification in, and changing the dedicated area to 3,000 square feet. Commissioner Quinn seconded the motion. Roll Call Vote was 4-0 in favor. Commissioner Jolley and Commissioner Ellis were absent.

Chairman Woolley said this is scheduled to go to City Council on December 6th.

Commissioners called for a break at 10:10 p.m. The meeting was called back to order at 10:30 pm.

I.1 Issue: ZONE TEXT AMENDMENT - AMENDING SECTIONS 5.68.050, 16.04.010, 16.04.180, 16.10.040, 16.10.080, 16.14.060, 16.24.040, 16.36.070, 17.04.010, 17.08.010, 17.18.030, 17.18.040, 17.20.020, 17.90.020, AND 17.130.020 OF THE SOUTH JORDAN CITY MUNICIPAL CODE
File No: ZTA-2016.07 & ZTA-2016.08
Applicant: City of South Jordan

Planner Jake Warner reviewed the background information on this item.

Chairman Woolley said as I look at the fire code regarding cul-de-sacs, you are stating that there will be no cul-de-sacs longer than 600 feet; is that correct? Assistant City Engineer Shane Greenwood said that is correct.

Chairman Woolley said wouldn't we be better leaving language such that they are no longer than 600 feet unless approved by the City Engineer, the Fire Code Official and the Planning Commission leaving that door open? There are some infill properties in our city that I can guarantee you will not have connections and are going to go beyond the 600 feet. That would easily be resolved if the developer could come to the Engineering staff and say this is the situation and you would deal with it accordingly. I am curious as to why you are taking this off the table when it could be a tool that you would need later.

Staff Attorney Steven Schaefermeyer said this issue came up with West River Estates. On the plat it was required to have, according to our ordinance, fire sprinklers. At the end of the cul-de-sac there was a gentleman that was concerned about moving that access easement to the Jordan River. He also was concerned about the cost of installing fire sprinklers in his house. He had several people contacting us making us aware of some amendments. Tricky thing is, the building code is the building code, but then the state makes a bunch of amendments to it and apparently that one had been missed over the years. We are actually going to amend the plat to show that the requirement for fire sprinklers no longer existed. My understanding in talking to the City Engineer, Brad Klavano, is 750 always felt like a stretch anyway so if we don't have the option to require fire sprinklers then we are just going to set the limit at 600. That is why I made the change to this part. As to your suggestion to leaving in some flexibility, I would suggest that if we do that, that there be some objective criteria that the City Engineer and the Fire Code Official could point to giving the Planning Commission direction as to why they are recommending what they are recommending. We try to avoid putting too much subjectivity into it on Administrative items. Obviously there could be situations that you point to that might warrant that.

Chairman Woolley said you're right our state has made that part of their amendments because in parts of the country it is required that fire sprinklers go into every residential unit. About 35 % of the country has opted not to require fire sprinklers. I think that by taking out a cul-de-sac longer than 600 as an exception is going to be an issue. I am not saying let's make it the norm I am just saying let's leave it open by having the language on number one un-striking saying it shall be no longer than 600 feet in length unless approved by the Planning Commission upon recommendation.

Staff Attorney Schaefermeyer said I think we struck that language because we thought that the fire sprinklers is what mitigated that issue. If you want to leave in that flexibility, I suggest you adding that that you said at the end to at least give some guidance to the City Engineer and the Fire Code Official that they can look more objectively at the land and say there is no other way to develop this property.

Staff Attorney Schaefermeyer said my follow-up question would be, do you want to set an upper limit for that exception. Chairman Woolley said I don't know what the magic number would be. Do we need an upper limit or do we leave that up to the discretion of the Engineering Department.

Chairman Mark Woolley opened the Public Hearing. No speakers. He closed the Public Hearing.

I.2 Potential Action Item – (See VII.I.1)

Commissioner Quinn made a motion to forward to the City Council a recommendation to approve Ordinance 2016-29 and Ordinance 2017-01 with the exception that the language be changed as advised in section 16.04.180 line I, and the only strikeout we are removing is the “in length unless approved by the Planning Commission upon recommendations of the City Engineer and Fire Code

Official.” Commissioner Woolley seconded the motion. Roll Call Vote was 3-1 in favor. Commissioner Holbrook abstained from Vote. Commissioner Jolley and Commissioner Ellis were absent.

VI. PUBLIC HEARINGS AND POTENTIAL **ADMINISTRATIVE ACTION ITEMS

****Administrative Action = Less Discretion, Substantial Evidence (Objective Standard)**

**B.1 Issue: DAYBREAK LAKE ISLAND PLAT 1
PRELIMINARY PLAT**
Address: Approximately 4650 West 10950 South
File No: SUB-2016.65
Applicant: Daybreak Communities

City Planner Greg Schindler reviewed the background information on this item.

Rulon Dutson, Daybreak Communities, 4700 Daybreak Parkway, South Jordan, Utah 84095; said he had nothing to add on this.

Chairman Mark Woolley opened the Public Hearing. No speakers. He closed the Public Hearing.

Commissioner Holbrook said I know everyone refers to this as a lake but isn't it basically a storm water detention pond for Daybreak.

City Planner Greg Schindler said I am not sure it is because the water is not necessarily storm water. It comes in from other sources.

Chairman Woolley said my understanding is that it is a holding lake for irrigation water and yes it does go down and filter and then it does come back.

Mr. White, Perigee Consulting, said I was asked by the applicant to represent them tonight. The lake is fed by canal water. It maintains its level by canal water and it does operate as an irrigation source for the lake shore and a few other areas in Daybreak. It does accept some flows from the development of storms greater than the 10 year storm.

B.2 Potential Action Item – (See VI.B.1)

Commissioner Quinn motioned to approve File No. SUB-2016.65 with the requirement that all South Jordan City requirements are met prior to recording the plat. Commissioner Holbrook seconded the motion. Roll Call Vote was 4-0 in favor. Commissioner Jolley and Commissioner Ellis were absent.

**C.1 Issue: DAYBREAK VLLAGE 7 PLAT 2
PRELIMINARY PLAT**
Address: Approximately 6100 West 11500 South
File No: SUB-2016.68
Applicant: Daybreak Communities

City Planner Greg Schindler reviewed the background information on this item.

Commissioner Quinn asked if this is accessible off of Daybreak Parkway. City Planner Schindler said no. He said it will be accessible at Lake Avenue. The subdivision isn't directly accessible from there. Eventually the whole area is considered Village 7 and parts of it will have direct access.

Rulon Dutson, Daybreak Communities, 4700 Daybreak Parkway, South Jordan, Utah 84095; had nothing to add on this.

Chairman Mark Woolley opened the Public Hearing. No speakers. He closed the Public Hearing.

C.2 Potential Action Item - (See VI.C.1)

Commissioner Quinn motioned to approve File No. SUB-2016.68 with the requirement that all South Jordan City requirements are met prior to recording the plat. Commissioner Morrissey seconded the motion. Roll Call Vote was 4-0 in favor. Commissioner Jolley and Commissioner Ellis were absent.

**D.1 Issue: DAYBREAK SOUTH STATION PLAT 1
PRELIMINARY PLAT**
Address: Generally North and East of Daybreak Parkway/Grandville Ave.
File No: SUB-2016.69
Applicant: Daybreak Communities

City Planner Greg Schindler reviewed the background information on this item.

Commissioner Quinn asked if this is the area adjacent to the neighborhood where we had concerns regarding height of structures. City Planner Schindler said yes, Lake Run Road is the west boundary of the Garden Park area that we talked about before. The height of the structures will probably be higher here even though along the east side of Lake Avenue is where the four story condominiums were at. These may be four story or taller. The hospital is three stories and these would be higher than that. In future plans you may see a full-fledged hospital there which will have a greater height than the health center.

Chairman Mark Woolley opened the Public Hearing for comments.

Nicholas Houle, 11459 S. Lake Run Road, SJC; I am a bit concerned about the M lots that were designed here and the uncertainty behind them; will they be condo's, town homes or apartments. Most of the C lots will eventually become M lots down the road. I also have concerns of traffic in the area. We recently had someone hit at the hospital and hopefully better lighting will come with that. It is really about to become a huge entrance to Daybreak and traffic is a big concern there.

Chairman Woolley closed the Public Hearing.

City Planner Schindler said I don't know if the M lots are going to be Condo's or town homes. Either one would have to come back to Planning Commission for subdivision or condo platting.

Mr. White said the plans that I have seen do have multi-family in the M lots and commercial in the C Lots. That could change depending on the needs and desires of the developer. This isn't something that I think is long term. Those kinds of things happen on lots that sit for a long period. We do extensive traffic analysis and we have done it in this area. We do have stop lights at Grandville and the control at Daybreak Parkway

but at each intersection going up Grandville there are lights and traffic control and they don't allow trucks because the roads are too narrow.

Rulon Dutson, Daybreak Communities, said in terms of the land use, keep in mind that this is the town center portion as referred to by both staff and Perigee. It is meant to be a buffer. The reason why this is before you now is so we can actually start to market those commercial parcels.

Commissioner Quinn asked if it is planned to be mixed use commercial. Mr. Dutson said yes. It is meant to capture the vibrancy of the rail line.

D.2 Potential Action Item – (See VI.D.1)

Commissioner Morrissey motioned to approve File No. SUB-2016.69 with the requirement that all South Jordan City requirements are met prior to recording the plat. Commissioner Holbrook seconded the motion. Roll Call Vote was 4-0 in favor. Commissioner Jolley and Commissioner Ellis were absent.

**E.1 Issue: SPRATLING SUBDIVISION AMENDED
SUBDIVISION AMENDMENT**
Address: 9663 South Spratling Elm Court
File No: SUB-AMEND-2016.75
Applicant: Bill Whitney, RT Engineers

City Planner Greg Schindler reviewed the background information on this item.

Chairman Mark Woolley opened the Public Hearing. No speakers. He closed the Public Hearing.

E.2 Potential Action Item – (See VI.E.1)

Commissioner Holbrook motioned to approve File No. SUB-AMEND-2016.75 amending lots 104 through 108 of the Spratling Subdivision. Commissioner Quinn seconded the motion. Roll Call Vote was 4-0 in favor. Commissioner Jolley and Commissioner Ellis were absent.

**F.1 Issue: DEL ANDRAE COMMERCIAL SUBDIVISION
PRELIMINARY SAUBDIVISION**
Address: 11197 South Redwood Road
File No: SUB-2016.81
Applicant: Brian Adams / Jerry Salt

City Planner reviewed the background information on this item.

Chairman Mark Woolley opened the Public Hearing. No speakers. He closed the Public Hearing.

Commissioner Quinn said it is great to see how far our city has come. This is right next door to where the old City Hall was located and it is cool to see the progression over the years.

F.2 Potential Action Item – (See VII.F.1)

Commissioner Quinn motioned to approve the Del Andrae Commercial Subdivision. Commissioner Holbrook seconded the motion. Roll Call Vote was 4-0 in favor. Commissioner Jolley and Commissioner Ellis were absent.

VIII. OTHER BUSINESS

None

Commissioner Quinn said there was a discussion regarding a potential joint City Council meeting. Do we have an update on that?

Chairman Woolley said we do not. As I reach out tomorrow morning based on the other item that we tabled the Parks and Recreation Master Plan, I will follow up on that. I will contact the Mayor directly.

Commissioner Holbrook said the reason I abstained on the one item is because I haven't had internet and I didn't get it till 3 o'clock today and I haven't read all of the text amendments. I also wanted to tell Brady Quinn happy birthday. He has tickets for tonight and he actually stayed for this.

Chairman Woolley said it is a pleasure to have Mr. Quinn on the Commission and it is good to have you on the Board.

ADJOURNMENT

Commissioner Holbrook motioned to adjourn. Commissioner Quinn seconded the motion. Motion was unanimous. The November 22, 2016 Planning Commission meeting adjourned at 11:13 p.m.

These meeting minutes were prepared by City Recorder Anna West.

Attachment A



NOVEMBER 22, 2016

PLANNING COMMISSION MEETING SIGN IN SHEET

PRINT NAME

ADDRESS

✓ Angie McClellan	10635 S 2700 W.
✓ Jason & Angela McGuire	4507 Sebago Way
Randy Peterson	10534 Clementine Circle
✓ Naomi Foreman	11561 Cross Country Cir.
✓ Mel & Eileen Lukan	2928 W. 10755 So.
✓ Julia Jensen	11543 S. 2514 W.
Brad & Karen Perry	2634 W. North Forty Way
✓ Jason & Jennifer Soares	11350 South 2865 West
✓ George & Christine Felard	11512 S. 2950 west
✓ Nicholas Houle	11459 S Lake Run Rd.
Melinda Greenwood	Harrisville, UT
✓ Pamela Sorenson	2617 W. Rustic Meadow Cir
Kaurie Bellas	2661 W. North Forty Way
✓ Mike Bellas	2661 W. North forty way

NOVEMBER 22, 2016

PLANNING COMMISSION MEETING SIGN IN SHEET

<u>PRINT NAME</u>	<u>ADDRESS</u>
Kenyon Strang	3108 W 10755 th
Dayle Sant	10500 S. 3010 W.
Jay Sant	" "
S. WHITNEY	5829 S. MEADOWCREST. 84107
✓ Kristi Collins	10749 S 2200 W 84095
✓ Maehelle Hall	10286 th S. 2950 th W. 841095
✓ Rulon Outson	4700 Daybird Pl
Rusty Johnson	11065 S. 1055 W.
Mark Atkinson	11220 S 2700 W.
Catherine Loukford	3214 W 10000 S
✓ Debbie Maffei	3042 W. 10400 S.
✓ Roger Reese	11400 S. 1790 W.
✓ Dave Mayer	3042 W. 10400 S.
✓ Jenny Gustafson	2638 W. 9435 S.
✓ Paul Salini	2617 W. Settlers Bend Rd

DRAFT

South Jordan Parks, Recreation, Community Arts, Trails, and Open Space Master Plan




SOUTH JORDAN
UTAH
October 3, 2016



***SOUTH JORDAN
PARKS, RECREATION, COMMUNITY ARTS,
TRAILS AND OPEN SPACE MASTER PLAN (2016-2026)***

PURPOSE

- It is an **important tool** in addressing the City's strategic priorities as related to "Desirable Amenities and Open Space"
- It **addresses both existing and future needs**
- It is **comprehensive**, addressing parks, recreation, community arts, open space and trails
- It **provides specific policy and budgetary direction** during the next ten-years (20126) and through buildout (2045+)
- Includes specific, phased **implementation actions and strategies**

PLAN ORGANIZATION

The *Master Plan* is organized into six chapters, as follow:

Chapter 1 – Introduction provides background and baseline data, summarizes the plan process and correlation with interprets results of the public survey and public input process

Chapter 2 – Parks and Open Spaces addresses existing and future park and open space needs, including existing and future level of service (LOS) and distribution requirements

Chapter 3 – Recreation & Arts Facilities addresses *non-park* Recreation Facilities and Cultural Facilities, including approaches for enhancing major recreational and arts/cultural amenities and facilities

Chapter 4 – Trails addresses existing and proposed trails and bike lanes/routes, focusing on recreational facilities

Chapter 5 – Acquisition and Construction Costs outlines probable costs for implementing the plan during the 10 year planning horizon and beyond

Chapter 6 – Goals, Policies and Implementation Actions

SUMMARY OF PUBLIC INVOLVEMENT

- **South Jordan Parks and Recreation Master Plan Survey (2016)**
- **Project Webpage/Social Media**
- **Advisory Committee – 4 times**
- **Meetings with Key Staff - +/- 12 times**
- **Focus group Interviews (8 individuals or groups)**
- **Public Scoping Meetings (2 evenings)**
- **Public workshop – SoJo SummerFest Booth (2 evenings)**
- **Draft Plan Open House (upcoming)**

COMMUNITY PROFILE

QUICK FACTS

Population (5/2016)	66,600
Projected Population (2026)	93,600
Projected Population (2045+)	120,000
TOTAL INCREASE	+ 53,400

2016 Estimated Non-Daybreak Population	50,000
2016 Daybreak Population	16,600

Dwelling Units(1/2016)	19,347
Median Household Size	3.6 in 2016, decreasing to 3.0 at buildout

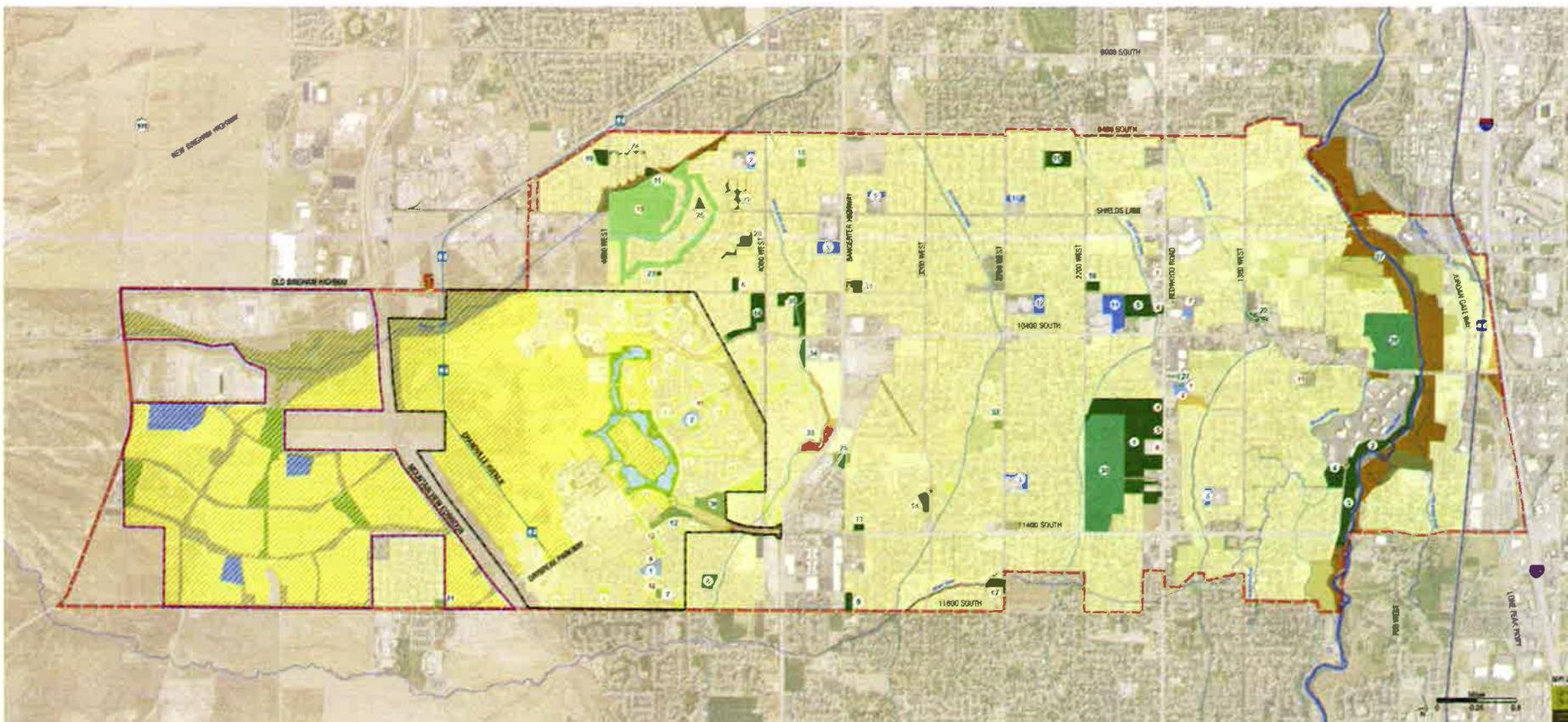
EXISTING PARKS & OPEN SPACE BY TYPE & AMENITIES

MAP CODE	PARK NAME	ACRES	LARGE PAVILION	MED. SMALL PAVILION	RESTROOMS	OPEN LAWN AREA	PICNIC TABLES	PLAY STRUCTURES	WALKING PATHS	HAND VOLLEYBALL COURTS	TENNIS COURTS	BASKETBALL COURTS	BASKETBALL SOFTBALL FIELDS	MULTIPURPOSE FIELDS	POND/WATER ELEMENT	NOTES		
1 - REGIONAL PARKS																		
30	Salt Lake County Equestrian Park & Events Center	122.2	-	-	1	-	-	-	-	-	-	-	-	-	-	-	Racing, Training, and Show Facility, Indoor Arena for 3,000, 1/4-Mile Track, Stalls for Year-Round and Show Boarding, 5 Outdoor Arenas, Polo Field	
2	Jordan River Parkway	102.6	2	19	3	3	48	2	3	1	-	1	-	2	3	-	Jordan River, 3 Fishing Ponds and a Variety of Unique Park and Recreation Facilities, all Linked Together by the Jordan River Trail	
3	Wilby Regional Park	168.1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Destination Park site that is owned by SLCO but not yet developed	
Subtotal Regional Parks			392.9	2	19	3	48	2	3	1	-	1	-	2	3	-		
2 - COMMUNITY PARKS																		
1	City Park	67.2	1	6	6	1	24	2	1	1	6	-	9	10	-	-	Slate Park, Horseshoe Pile, Founding Families Statue, Bus Accident Memorial, Loop Pathways	
11	Glenmoor Baseball Field	1.6	-	-	1	1	-	-	-	-	-	-	-	-	-	-	Trailhead, Connection to Bingham Creek Trail	
15	Jordan Ridge Park	11.0	1	4	1	1	14	1	1	1	2	1	-	2	-	-	Baseball Softball, Detention Basin Field Area, Loop Pathways, Volleyball Court is Grass (not sand)	
16	Oquirrh Shadows Park	15.2	-	5	2	1	9	1	1	-	-	-	-	4	1	-	Splash Pad, Adjacent to Fire Station, Loop Pathways	
Subtotal Community Parks			107.0	7	12	10	47	4	2	2	8	1	10	16	1	-		
3 - NEIGHBORHOOD PARKS																		
6	Ascot Downs Park	2.1	1	-	-	1	4	1	-	-	-	-	-	-	-	-	Detention Basin on North Half of Park	
7	Callender Squares	1.4	-	-	-	1	-	-	1	-	-	-	-	-	-	-	In Daybreak	
8	Country Crossing Park	5.0	-	1	-	-	4	1	1	-	-	-	-	-	-	1	Detention Basin East Half of Park, Loop Pathways	
9	District Park	3.0	-	-	-	1	-	-	1	-	-	-	-	-	-	-	Sidewalks on 3 Sides, Includes a Detention Basin	
10	Dunsmuir Park	2.0	-	-	-	1	-	-	-	-	-	-	-	-	-	-	Fenced with Short White Vinyl Rail Fence, One Opening for People to Enter, Includes a Detention Basin	
12	Hillsdale Park	8.9	-	1	-	1	4	1	1	-	-	-	-	-	2	1	In Daybreak, Stream through Park (secondary water)	
13	Lucas Dell Park	1.6	1	-	1	1	1	1	1	-	-	-	-	-	-	-	Sidewalks on 3 Side	
14	Ivory Crossing Park	4.0	-	1	-	1	16	1	1	-	-	-	-	-	-	-	Perimeter Sidewalks, Water Treatment Tank Below Ground w/ Utility Structures Above, Detention South End	
21	JWCD Park	2.0	-	1	-	1	2	1	1	-	-	-	-	-	-	-	In Design - Target for Construction 2017	
25	Oquirrh East Park	12.7	-	3	1	1	20	1	1	-	-	-	-	-	-	-	In Design - Target for Construction 2016, Canal will have Pathway	
32	McKee Park	2.0	-	1	-	1	4	1	-	-	-	-	-	-	-	-	Under Construction	
17	Midas Creek Park	2.8	-	1	-	1	4	1	1	-	-	-	-	-	-	-	Sidewalks on 2 Sides, Creek Runs on Northwest Side	
19	Prospector Park	3.1	1	1	1	1	11	1	1	-	-	-	1	-	-	-	North of Bingham High School, Loop Pathways	
25	River Heights Park	2.8	-	1	-	1	16	1	1	-	-	-	-	-	-	17	Detention Basin on Each Side of the Road, Large Sloped Lawn, Sidewalk Along Each Side of the Road, Reconstructing Spring 2017, may add MP field	
34	Rushion Meadows Park	3.1	-	1	-	1	6	1	1	-	-	-	-	-	-	-	Under Construction, Canal Adjacent to Trail	
29	Samuel Holt Historic Farm	3.0	1	-	1	1	4	1	1	-	-	-	-	-	-	-	Aunt Mema's Place at Historic Holt Farm, Interpretive Signage for Historic Elements	
19	Stye Park	4.9	1	-	1	1	4	1	1	-	-	1	-	-	-	-	Detention Basin Eastern 2/3 of Park, Loop Pathways	
20	Stonehaven Park	5.3	1	-	-	1	4	1	1	1	1	-	-	-	-	-	Glenmoor Neighborhood, Horseshoes	
21	Sunstone Park	2.0	-	1	-	1	2	1	1	-	-	-	-	-	-	-	Detention Basin Majority of Park	
36	Sunrise Mountain Park	13.9	-	1	-	1	5	-	1	-	-	-	-	-	-	-	In Daybreak, Mostly Native Grasses, Amphitheater, Overlook, Sunrise Art Markings	
Subtotal Neighborhood Parks			83.6	9	15	9	20	17	15	3	4	3	0	3	8	-		
4 - MINI PARKS																		
23	Bolton Park	0.5	-	-	-	1	-	1	-	-	-	-	-	-	-	-	-	Detention Basin w/ Playground in Bottom, Sidewalk on 2 Sides
25	High Pointe Park	0.5	-	-	-	1	4	1	1	-	-	-	-	-	-	-	-	City taking over private park at request of HOA
24	Kilmur North Park	1.7	-	-	-	1	1	1	1	-	-	-	-	-	-	-	-	Glenmoor Neighborhood, Sidewalks Entering Park
26	Triangle Park	1.8	-	-	-	1	1	1	1	-	-	-	1	-	-	-	-	Sidewalk on South Perimeter, Sidewalk Entering Park in North Corner
22	Yorksire Park	3.5	-	-	-	1	-	1	1	-	-	-	-	-	-	-	-	Located in the Glenmoor Neighborhood
Subtotal Mini Parks			8.0	0	1	0	4	4	4	0	0	1	0	0	0	0	0	
5 - SPECIAL USE PARKS																		
4	9400 South Entry Park	0.5	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Small Entry Park
37	Gateway Park	0.6	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Small Entry Park
27	Main Street Park & The Plaza at Towne Center	1.2	-	-	-	1	8	1	-	-	-	-	-	-	-	-	1	West of Town Hall, Urban Plaza w/ Small Lawn Area, Ice Rink Plaza North of Library
5	Mary Jensen Park	17.3	-	-	-	1	-	-	-	-	-	-	-	-	-	-	7	Includes Mary Jensen Rac Center
26	Mulligan's Golf Course	65.4	-	-	-	8	-	-	-	-	-	-	-	-	-	-	-	Battling Cages, Miniature Golf, Golf Course and Driving Range
36	Shields Entry Park	0.6	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Small, Undeveloped Entry Park
Subtotal Special Use Parks			85.7	0	0	0	10	10	1	0	0	0	0	0	0	0	0	7
6 - DETENTION BASINS																		
Beckstead Detention Basins		6.0	-	-	-	1	-	-	-	-	-	-	-	-	-	-	-	Detention Basins w/ Sidewalks on 2 Sides
Jackson Downs Detention Basin		0.4	-	-	-	1	-	-	-	-	-	-	-	-	-	-	-	Detention Basin, Sidewalk on 1 side
Teabox Detention Basin Park		0.5	-	-	-	1	-	-	-	-	-	-	-	-	-	-	-	Small Detention Basin Park
Subtotal Detention Basins			6.9	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0
7 - NATURAL OPEN SPACE																		
Jordan River Open Space		47.9	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	North Side of the River, no/limited public access
Bingham Creek Trail and Open Space		20.6	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Detention Basin, Sidewalk on 1 side
Subtotal Natural Open Space			68.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Public Parks and Open Space Used to Calculate LOS			791.2	9	36	17	33	210	26	29	8	5	5	16	22	9	-	Includes Equestrian Park (owned by SLCO/limited trail/water provided), Wilby Regional Park (owned by SLCO/not yet developed), Special Use Parks, Detention Basins and Natural Open Space
Total Public Parks and Open Space			747.5	9	31	17	38	242	21	23	8	5	5	16	21	10	-	Includes all existing public parks and open spaces listed above

SEVEN TYPES OF PARKS & OPEN SPACE

- 1. REGIONAL PARKS**
- 2. COMMUNITY PARKS**
- 3. NEIGHBORHOOD PARKS**
- 4. MINI PARKS**
- 5. SPECIAL-USE PARKS**
- 6. DETENTION BASINS**
- 7. NATURAL OPEN SPACES**

South Jordan Parks, Recreation, Community Arts, Trails, and Open Space Master Plan



<p>LAND USE</p> <ul style="list-style-type: none"> Public Park Private Park Public Open Space Private Open Space Special Use Park Golf Course Civic School <p>Existing & Proposed Residential Land Use</p> <ul style="list-style-type: none"> Use Land Use - Daybreak Proposed Park - Daybreak Proposed Open Space - Daybreak Proposed Civic - Daybreak <p>SOUTH JORDAN CITY BOUNDARY</p> <ul style="list-style-type: none"> South Jordan City Boundary Daybreak Phase I Daybreak Phase II 	<p>PUBLIC TRANSIT</p> <ul style="list-style-type: none"> Light Rail Stations Commuter Rail Stations Light Rail Route Commuter Rail Route <p>WATER</p> <ul style="list-style-type: none"> River Canal Creek Intermittent Stream Spring Ditch Waterbodies 	<p>PUBLIC PARK & RECREATION AREAS</p> <ul style="list-style-type: none"> 1 City Park 2 East Riverfront Park 3 Sweetwater Parkway/Fishing Ponds 4 West Riverfront Park 5 Maria Jackson Park 6 Avedon Square Park 7 Columbus Square 8 Country Crossing Park 9 District Recreation Basin Park 10 Dunescape Detention Park 11 Gammox Baseball Field 12 Hillside Park 13 Lucas Dell Park 14 Ivory Park 15 Jordan Ridge Park 16 Ogden Meadow Park 17 Moss Creek Park 18 Prospect Park 19 Deer Park 20 Stonecreek Park 21 Sunstone Park 22 Yorkville Park 23 Quinn Park 24 Alvarado South Park 25 Water Heights Park 26 Shiloh Park 27 Main Street Park & Plaza at Transit Center 28 Muligan's Golf 29 Sawyer Hill Historic Farm 30 Salt Lake County Equestrian Center 31 New Park 1 32 McKee Park 33 High Prairie Park 34 Rainbow Meadows Park 35 New Park 2 36 Summit Mountain Park 37 Mystic Springs 	<p>PRIVATE DAYBREAK PARKS</p> <ul style="list-style-type: none"> 1 Boulder Park 2 Bowery Park 3 Brookside Park 4 Clarendon Park 5 Dignitas Promenade 6 Fairlane Commons 7 Finch Park 8 Fountain Park 9 Garden Corner 10 Orchard Park 11 Park in the Park 12 Parkview Park 13 Parkside Park 14 Parkside Park 15 Parkside Park 16 Parkside Park 17 Parkside Park 18 Parkside Park 19 Parkside Park 20 Parkside Park 21 Parkside Park 22 Parkside Park 23 Parkside Park 24 Parkside Park 25 Parkside Park 26 Parkside Park 27 Parkside Park 28 Parkside Park 29 Parkside Park 30 Parkside Park 31 Parkside Park 32 Parkside Park 33 Parkside Park 34 Parkside Park 35 Parkside Park 36 Parkside Park 37 Parkside Park 38 Parkside Park 39 Parkside Park 40 Parkside Park 41 Parkside Park 42 Parkside Park 43 Parkside Park 44 Parkside Park 45 Parkside Park 46 Parkside Park 47 Parkside Park 48 Parkside Park 49 Parkside Park 50 Parkside Park 51 Parkside Park 52 Parkside Park 53 Parkside Park 54 Parkside Park 55 Parkside Park 56 Parkside Park 57 Parkside Park 58 Parkside Park 59 Parkside Park 60 Parkside Park 61 Parkside Park 62 Parkside Park 63 Parkside Park 64 Parkside Park 65 Parkside Park 66 Parkside Park 67 Parkside Park 68 Parkside Park 69 Parkside Park 70 Parkside Park 71 Parkside Park 72 Parkside Park 73 Parkside Park 74 Parkside Park 75 Parkside Park 76 Parkside Park 77 Parkside Park 78 Parkside Park 79 Parkside Park 80 Parkside Park 81 Parkside Park 82 Parkside Park 83 Parkside Park 84 Parkside Park 85 Parkside Park 86 Parkside Park 87 Parkside Park 88 Parkside Park 89 Parkside Park 90 Parkside Park 91 Parkside Park 92 Parkside Park 93 Parkside Park 94 Parkside Park 95 Parkside Park 96 Parkside Park 97 Parkside Park 98 Parkside Park 99 Parkside Park 100 Parkside Park 	<p>SCHOOLS</p> <ul style="list-style-type: none"> 1 Daybreak Elementary School 2 Valley Elementary School 3 Main Vista Elementary School 4 South Jordan Elementary School 5 South Jordan Elementary School 6 South Jordan Elementary School 7 South Jordan Elementary School 8 South Jordan Elementary School 9 South Jordan Elementary School 10 South Jordan Elementary School 11 South Jordan Elementary School 12 South Jordan Elementary School 13 South Jordan Elementary School 14 South Jordan Elementary School 15 South Jordan Elementary School 16 South Jordan Elementary School 17 South Jordan Elementary School 18 South Jordan Elementary School 19 South Jordan Elementary School 20 South Jordan Elementary School 21 South Jordan Elementary School 22 South Jordan Elementary School 23 South Jordan Elementary School 24 South Jordan Elementary School 25 South Jordan Elementary School 26 South Jordan Elementary School 27 South Jordan Elementary School 28 South Jordan Elementary School 29 South Jordan Elementary School 30 South Jordan Elementary School 31 South Jordan Elementary School 32 South Jordan Elementary School 33 South Jordan Elementary School 34 South Jordan Elementary School 35 South Jordan Elementary School 36 South Jordan Elementary School 37 South Jordan Elementary School 38 South Jordan Elementary School 39 South Jordan Elementary School 40 South Jordan Elementary School 41 South Jordan Elementary School 42 South Jordan Elementary School 43 South Jordan Elementary School 44 South Jordan Elementary School 45 South Jordan Elementary School 46 South Jordan Elementary School 47 South Jordan Elementary School 48 South Jordan Elementary School 49 South Jordan Elementary School 50 South Jordan Elementary School 51 South Jordan Elementary School 52 South Jordan Elementary School 53 South Jordan Elementary School 54 South Jordan Elementary School 55 South Jordan Elementary School 56 South Jordan Elementary School 57 South Jordan Elementary School 58 South Jordan Elementary School 59 South Jordan Elementary School 60 South Jordan Elementary School 61 South Jordan Elementary School 62 South Jordan Elementary School 63 South Jordan Elementary School 64 South Jordan Elementary School 65 South Jordan Elementary School 66 South Jordan Elementary School 67 South Jordan Elementary School 68 South Jordan Elementary School 69 South Jordan Elementary School 70 South Jordan Elementary School 71 South Jordan Elementary School 72 South Jordan Elementary School 73 South Jordan Elementary School 74 South Jordan Elementary School 75 South Jordan Elementary School 76 South Jordan Elementary School 77 South Jordan Elementary School 78 South Jordan Elementary School 79 South Jordan Elementary School 80 South Jordan Elementary School 81 South Jordan Elementary School 82 South Jordan Elementary School 83 South Jordan Elementary School 84 South Jordan Elementary School 85 South Jordan Elementary School 86 South Jordan Elementary School 87 South Jordan Elementary School 88 South Jordan Elementary School 89 South Jordan Elementary School 90 South Jordan Elementary School 91 South Jordan Elementary School 92 South Jordan Elementary School 93 South Jordan Elementary School 94 South Jordan Elementary School 95 South Jordan Elementary School 96 South Jordan Elementary School 97 South Jordan Elementary School 98 South Jordan Elementary School 99 South Jordan Elementary School 100 South Jordan Elementary School 	<p>POINTS OF INTEREST</p> <ul style="list-style-type: none"> 1 South Jordan City Hall 2 South Jordan Library 3 South Jordan Public Office 4 South Jordan Community Center 5 South Jordan Fire Station 6 South Jordan Police Station 7 South Jordan Fire Station 8 South Jordan Fire Station 9 South Jordan Fire Station 10 South Jordan Fire Station 11 South Jordan Fire Station 12 South Jordan Fire Station 13 South Jordan Fire Station 14 South Jordan Fire Station 15 South Jordan Fire Station 16 South Jordan Fire Station 17 South Jordan Fire Station 18 South Jordan Fire Station 19 South Jordan Fire Station 20 South Jordan Fire Station 21 South Jordan Fire Station 22 South Jordan Fire Station 23 South Jordan Fire Station 24 South Jordan Fire Station 25 South Jordan Fire Station 26 South Jordan Fire Station 27 South Jordan Fire Station 28 South Jordan Fire Station 29 South Jordan Fire Station 30 South Jordan Fire Station 31 South Jordan Fire Station 32 South Jordan Fire Station 33 South Jordan Fire Station 34 South Jordan Fire Station 35 South Jordan Fire Station 36 South Jordan Fire Station 37 South Jordan Fire Station 38 South Jordan Fire Station 39 South Jordan Fire Station 40 South Jordan Fire Station 41 South Jordan Fire Station 42 South Jordan Fire Station 43 South Jordan Fire Station 44 South Jordan Fire Station 45 South Jordan Fire Station 46 South Jordan Fire Station 47 South Jordan Fire Station 48 South Jordan Fire Station 49 South Jordan Fire Station 50 South Jordan Fire Station 51 South Jordan Fire Station 52 South Jordan Fire Station 53 South Jordan Fire Station 54 South Jordan Fire Station 55 South Jordan Fire Station 56 South Jordan Fire Station 57 South Jordan Fire Station 58 South Jordan Fire Station 59 South Jordan Fire Station 60 South Jordan Fire Station 61 South Jordan Fire Station 62 South Jordan Fire Station 63 South Jordan Fire Station 64 South Jordan Fire Station 65 South Jordan Fire Station 66 South Jordan Fire Station 67 South Jordan Fire Station 68 South Jordan Fire Station 69 South Jordan Fire Station 70 South Jordan Fire Station 71 South Jordan Fire Station 72 South Jordan Fire Station 73 South Jordan Fire Station 74 South Jordan Fire Station 75 South Jordan Fire Station 76 South Jordan Fire Station 77 South Jordan Fire Station 78 South Jordan Fire Station 79 South Jordan Fire Station 80 South Jordan Fire Station 81 South Jordan Fire Station 82 South Jordan Fire Station 83 South Jordan Fire Station 84 South Jordan Fire Station 85 South Jordan Fire Station 86 South Jordan Fire Station 87 South Jordan Fire Station 88 South Jordan Fire Station 89 South Jordan Fire Station 90 South Jordan Fire Station 91 South Jordan Fire Station 92 South Jordan Fire Station 93 South Jordan Fire Station 94 South Jordan Fire Station 95 South Jordan Fire Station 96 South Jordan Fire Station 97 South Jordan Fire Station 98 South Jordan Fire Station 99 South Jordan Fire Station 100 South Jordan Fire Station 	<p>MAP 1 EXISTING PARKS & OPEN SPACE DRAFT</p>
--	---	--	---	--	--	---



EXISTING PARK ACRES

TOTAL 742.5

ADJUSTED TOTAL 291.2

(used to establish existing LOS)

Excludes:

- Salt Lake County Parks
- Special Use Parks
- Detention Basins
- Natural Open Space

LEVEL OF SERVICE (LOS) FOR PARKS

Existing LOS for Parks 4.37 acres/1000 people

Future/Proposed LOS for Parks 4.45 acres/1000 people

- includes five acres to fill a critical gap in the northeastern part of the city

COMPARABLE COMMUNITY LOS

COMMUNITY	LEVEL OF SERVICE (LOS) ACRES PER 1000 RESIDENTS
Herriman, Utah	3.6
Draper, Utah	3.8
South Jordan, Utah	4.4
West Jordan, Utah	4.9
Lehi, Utah	5.6
Saratoga Springs, Utah	5.9
Spanish Fork, Utah	5.9
Sandy, Utah	6.0
Provo, Utah	10.0
Saint George, Utah	10.0

FILLING EXISTING & FUTURE PUBLIC PARK GAPS

- Develop a single 5-acre park in the eastern portion of the city (GAP 1)
- Develop 80-acres of active parks at Daybreak through buildout
- Welby Regional Park – 168 acres; likely to take 10+ years

No additional public parks are required to be acquired to meet future needs through buildout

PARK STANDARDS

Minimum development standards were developed for existing and future parks

Neighborhood Parks should include, space permitting, at least the following amenities.

- Trees and shade.
- Picnic tables and benches.
- Drinking fountain
- Grassy play areas
- Playgrounds
- Sport courts
- Benches
- Other small scale amenities such as pavilions and shade structures
- Local trail connections
- Restrooms
- Sport courts (basketball, volleyball and tennis)
- Sports fields (baseball, soccer, football and similar sports)
- Walking paths that are connected to other trails and open space
- Local and regional trail linkages

Regional/Community Parks should include, space permitting, at least the following amenities:

All of the amenities found in Local and Neighborhood Parks

Specialty regional complexes or features, such as swimming pools, splash pads or sports complexes

Existing parks should be upgraded as necessary to meet the minimum requirements for amenities and features.

Future Parks should be designed and developed from the outset with amenities and features that meet the standard.

DIVERSIFY THE OPEN SPACE PROFILE OF THE CITY

Continue focus on the Jordan River Parkway and Bingham Creek

The master plan includes a variety of tools to preserve agricultural land and similar “heritage” open spaces for the benefit of future generations

ANALYSIS OF PARK & RECREATION NEEDS AT DAYBREAK

The park, park and open space and trail system of the Daybreak Community was analyzed to verify that agreements for providing public parks and facilities are adequate to meet future needs.

Summary of Analysis

- Daybreak has been implemented as a planned, private community with a focus on private parks and open spaces and limited public parks.
- The LOS for all parks, open space and trails is higher here than the rest of the city.
- The LOS for certain amenities is higher (playgrounds and open fields), although there is an acute lack of active sports fields.
- The 120-acres of passive public parks and 80-acres of active public parks currently earmarked for development in this area is generally adequate for meeting future needs.
- All public parks should focus on the provision of active sports fields in order to meet future needs.

RECREATION & COMMUNITY ARTS/ FACILITIES/PROGRAMS

Summary of findings and recommendations

- There is a need for improved and expanded indoor recreation facilities, aquatics and fitness training in particular.
- It is recommended that the existing South Jordan Fitness and Aquatics Center be expanded during the 10-year planning horizon.
- It is also recommended that the development of a stand-alone senior center be considered and that the existing community center/senior center be transformed into a stand-alone community center in the longer term.
- It is recommended that existing arts facilities and programs be enhanced, building upon existing traditions.

EXISTING & FUTURE TRAILS

TRAILS	MILES
Non-Daybreak - EXISTING	
Existing Bike Lane	2.2
Existing Bike Ped Routes	26.9
Existing Recreation Trails	15.0
Existing Regional Trails	5.2
<i>Subtotal - Non-Daybreak Existing</i>	49.3
Non-Daybreak - PROPOSED	
Proposed Bike Ped Route	21.0
Proposed Rec Trails	13.0
Proposed Regional Trails	6.0
<i>Subtotal - Non-Daybreak Proposed</i>	40.0
<i>Total - Existing/Proposed Non-Daybreak</i>	89.3

ACQUISITION & CONSTRUCTION COSTS

IMPLEMENTATION PERIOD	PROBABLE COST (\$2016)
Immediate Implementation (2016-2021)	
Upgrading Existing Parks	\$2,225,000
Cost to Acquire Land to Meet Existing Needs	\$1,250,000
Cost to Develop Land to Meet Existing Needs	\$1,250,000
Proposed Recreational Trails	\$3,250,000
Proposed Regional Trails	\$2,100,000
New Trailhead (1)	\$350,000
subtotal	\$10,425,000
Implementation within 10-year planning horizon (2016-2026)	
Cost to Develop Land to Meet Needs in 2026	\$8,442,000
subtotal	\$8,442,000
Implementation by buildout (2016-2050)	
Trail Lighting/Safety Improvements	\$3,050,000
subtotal	\$3,050,000
Implementation by buildout (2026-2050)	
Cost to Develop Land to Meet Needs from 2026 to 2050	\$7,889,000
subtotal	\$7,889,000
Grand Total	\$29,806,000

GOALS, POLICES AND ACTION PLAN

The Master Plan provides specific policy direction to help ensure the future parks, recreation facilities, open spaces, trails and art facilities are implemented as required to meet future needs

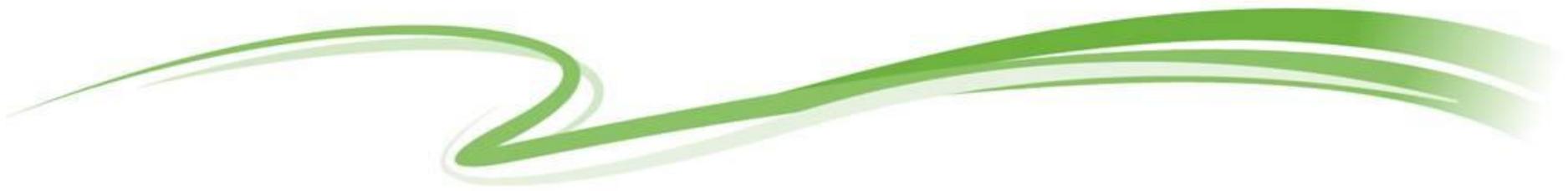
It also provides a foundation for developing a Capital Improvements Plan, Impact Fee Facilities Plan (IFFP), and Impact Fee Analysis (IFA)

The Master Plan has been developed in **close consultation** with other consultants responsible for preparing the Capital Improvements Plan, Impact Fee Facilities Plan (IFFP), and Impact Fee Analysis (IFA) to ensure they are integrated.

November 22, 2016



SOUTH JORDAN
U T A H



Planning
Commission
Meeting

LUKER FARM ANIMAL AMENDMENT

ZONE TEXT AMENDMENT

Base Document

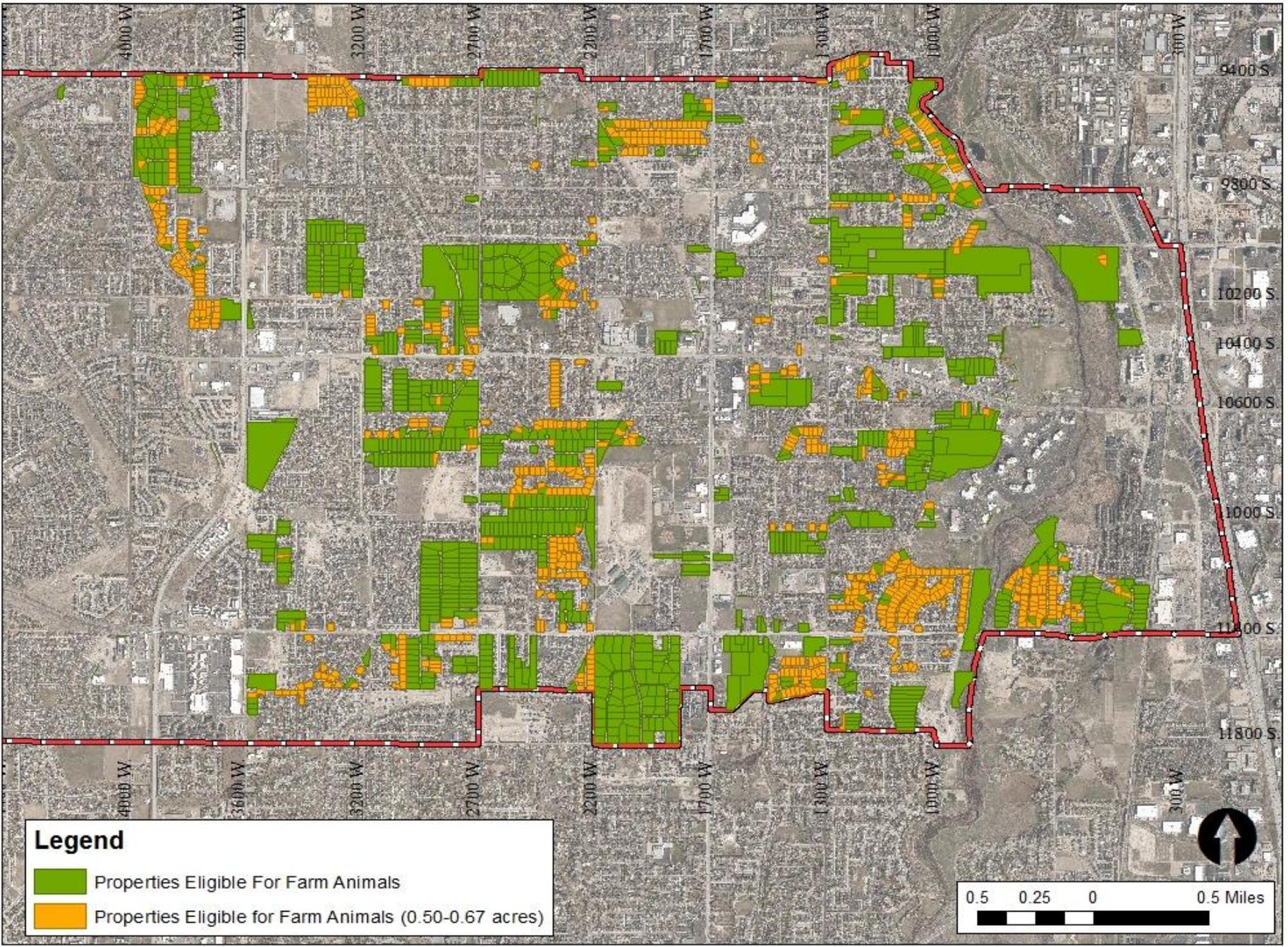
- Non-substantive changes
- Prorated point system

“2. Farm animals totaling no more than sixty (60) points per acre, according to the point values listed below, may be kept on a qualifying lot or parcel. Farm animal points allowed per lot or parcel shall be prorated so that each one-hundredth (0.01) of an acre is equivalent to six-tenths (0.6) of a point, except that no points shall be allowed for lots or parcels smaller than one-half (0.5) acre. Farm animals are assigned a point value as follows in the Farm Animal Points table:”

(17.130.040.030(A))

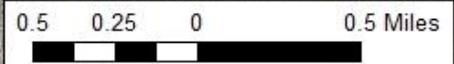
Points By Acre

<u>ACREAGE</u>	<u>CURRENT</u>	<u>PRORATED</u>
0.49 acres	0 points	0 points
0.50 acres	30 points	30 points
0.67 acres	30 points	40 points
0.99 acres	30 points	59 points
1.00 acre	60 points	60 points
1.34 acres	60 points	80 points
1.50 acres	90 point	90 points



Legend

- Properties Eligible For Farm Animals
- Properties Eligible for Farm Animals (0.50-0.67 acres)



2nd Horse Exception Summary

2nd horse allowed if:

1. Eligible for farm animals, but only one horse.
2. Must provide a **fenced area** of at least 5,000 square feet.
3. **10' setback** from fenced area to properties that don't qualify for farm animals.
4. **Grain feed** must be stored in rodent-proof containers.
5. **Animal waste** must be picked up regularly. Waste stored on site must be 40' from the property line.
6. Must provide a **covered structure** (min. 150 square feet).

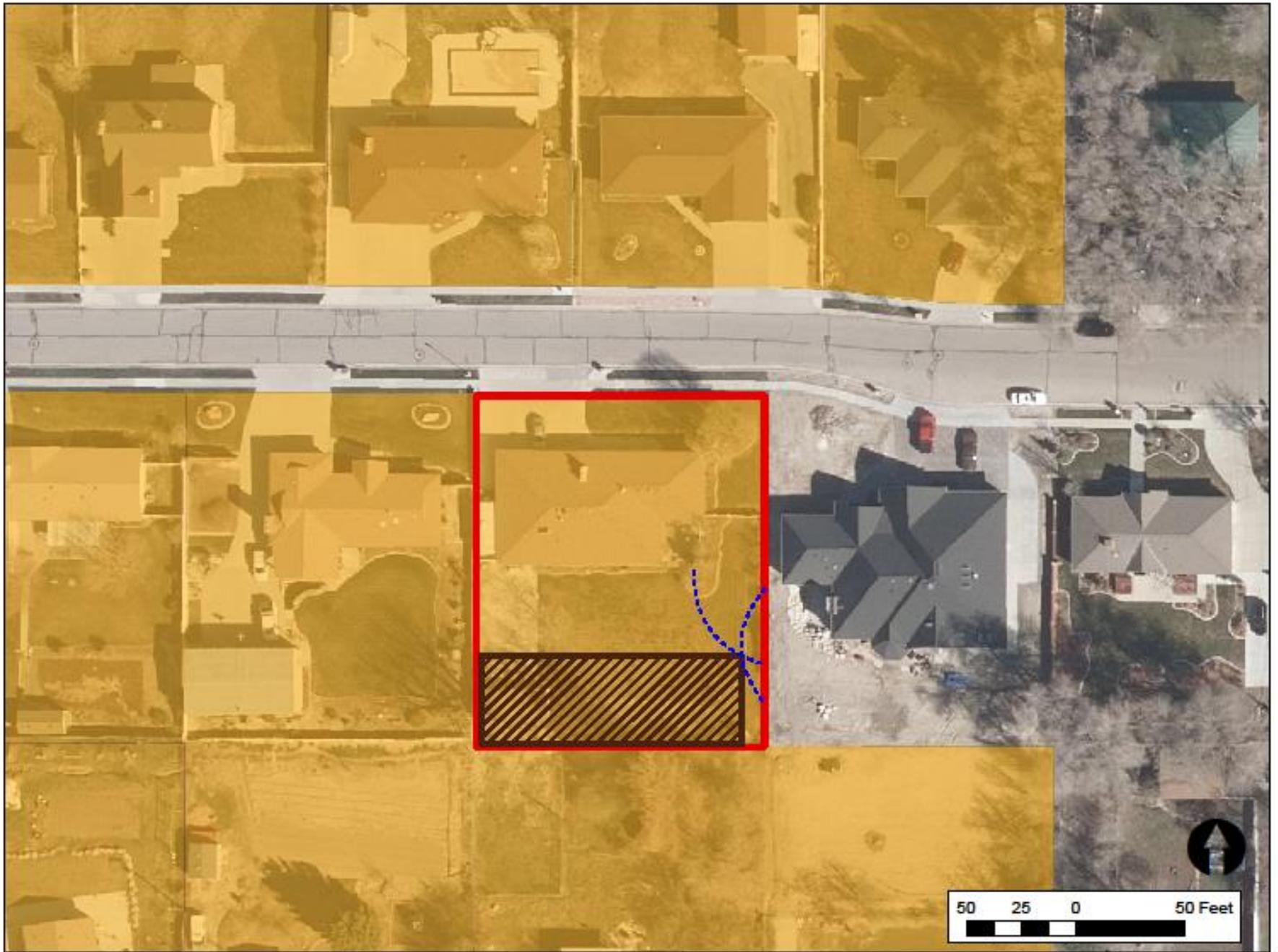
Affected Properties

	<u>CURRENT</u>	<u>PRORATED</u>
Properties with farm animal rights:	1,702	1,702
Qualify less than 40 points (one horse):	1,216	767
Qualify for 40 points or more (≤ 2 horses):	486	935

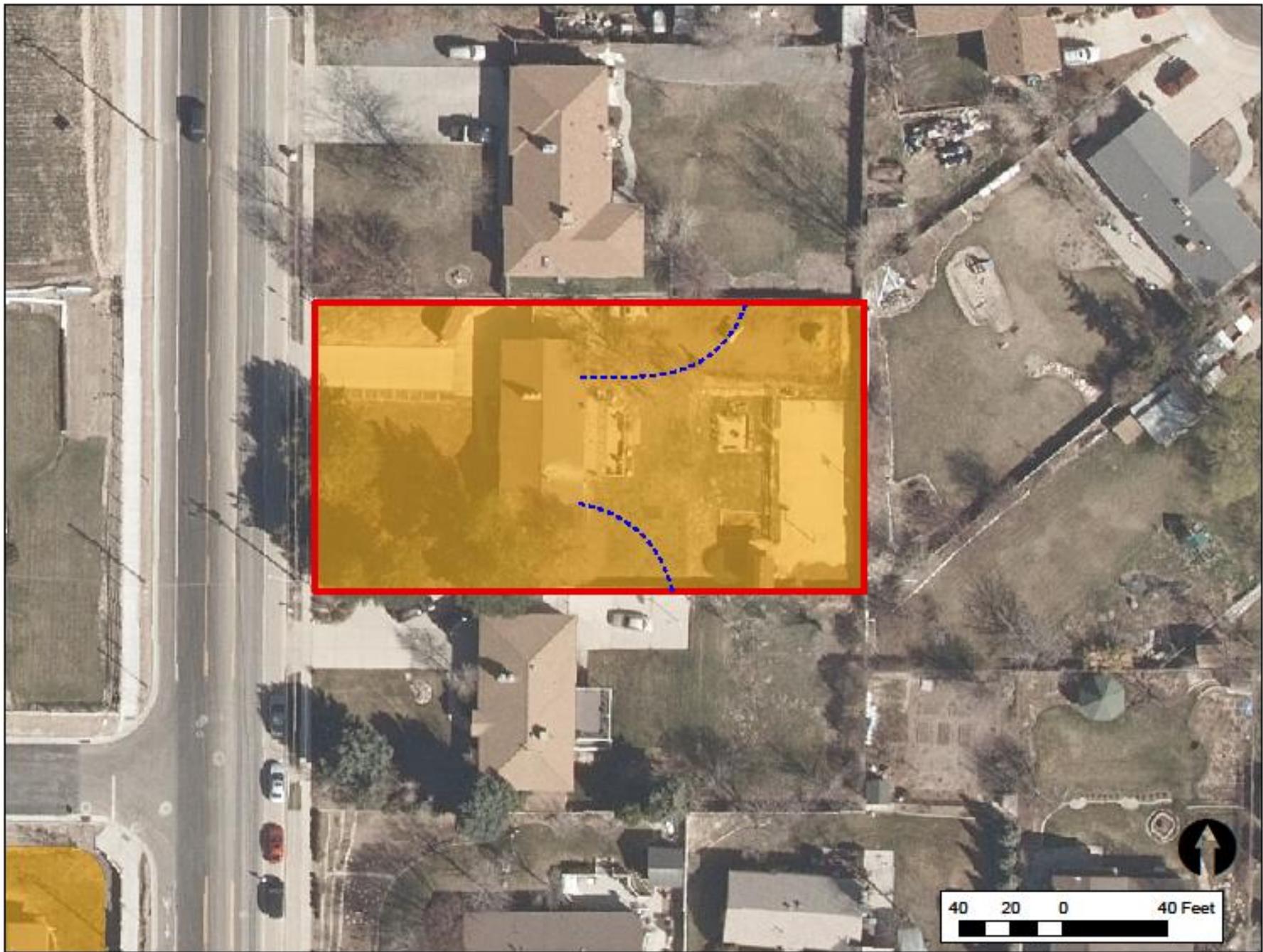
2nd Horse Exception Text

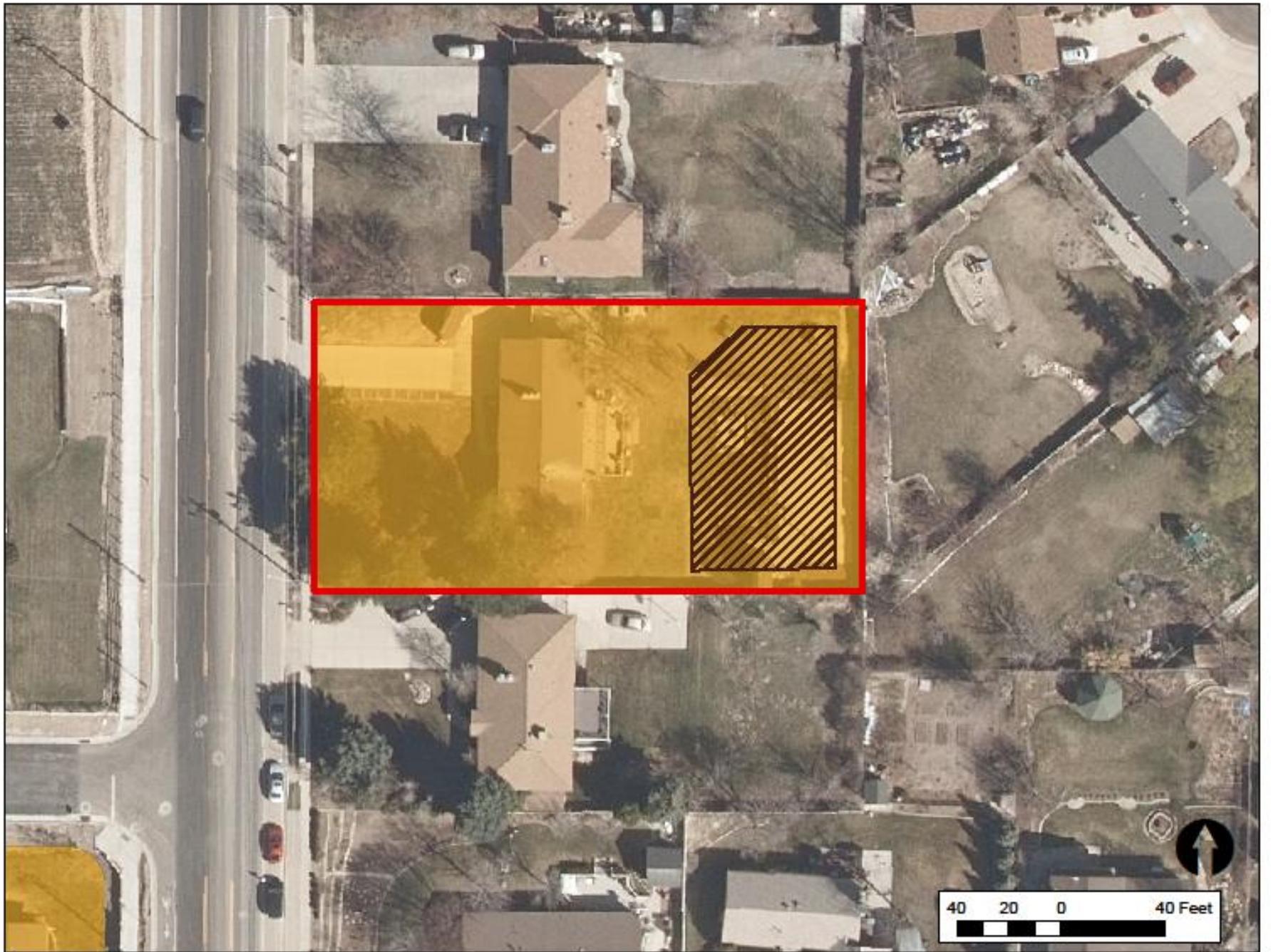
17.130.040.030(A)(5)

- “a. The subject property is **eligible to have farm animals** according to Subsection A.1 of this Section and **qualifies for less than forty (40) animal points**, according to Subsection A.2 of this Section;
- b. All large animals shall be contained in a **dedicated area of not less than five thousand (5,000) square feet**;
- c. Where the subject property is adjacent to a property that does not qualify for farm animals, the dedicated area shall be fenced or shall otherwise contain animals so that no large animal may be kept less than **ten (10) feet from the property line**.
- d. **Grain stored for animal feed** shall be kept in rodent-proof containers.
- e. **Animal waste** shall be collected regularly and, if stored on site, shall be stored not less than forty (40) feet from any property line; and
- f. A **covered structure** with a coverage area of not less than one hundred-fifty (150) square feet and a height sufficient to provide shelter to both horses shall be located within the dedicated area.”



50 25 0 50 Feet





Reclassification

<u>Large (20)</u>	<u>Medium (10)</u>	<u>Small (5)</u>	<u>Very Small (2)</u>
Bison	Burro	Alpaca	Chinchilla
<u>Burro</u>	Donkey	Goat	Chicken
Cattle	<u>Alpaca</u>	Mini. Horse	Duck
<u>Donkey</u>	Emu	Rhea	Goose
Elk	Guanaco	Sheep	Mink
Horse	Llama	Turkey	Rabbit
Mule	<u>Mini. Horse</u>		
<u>Pony</u>	Ostrich		
Yak	Pony		
	Vicuna		

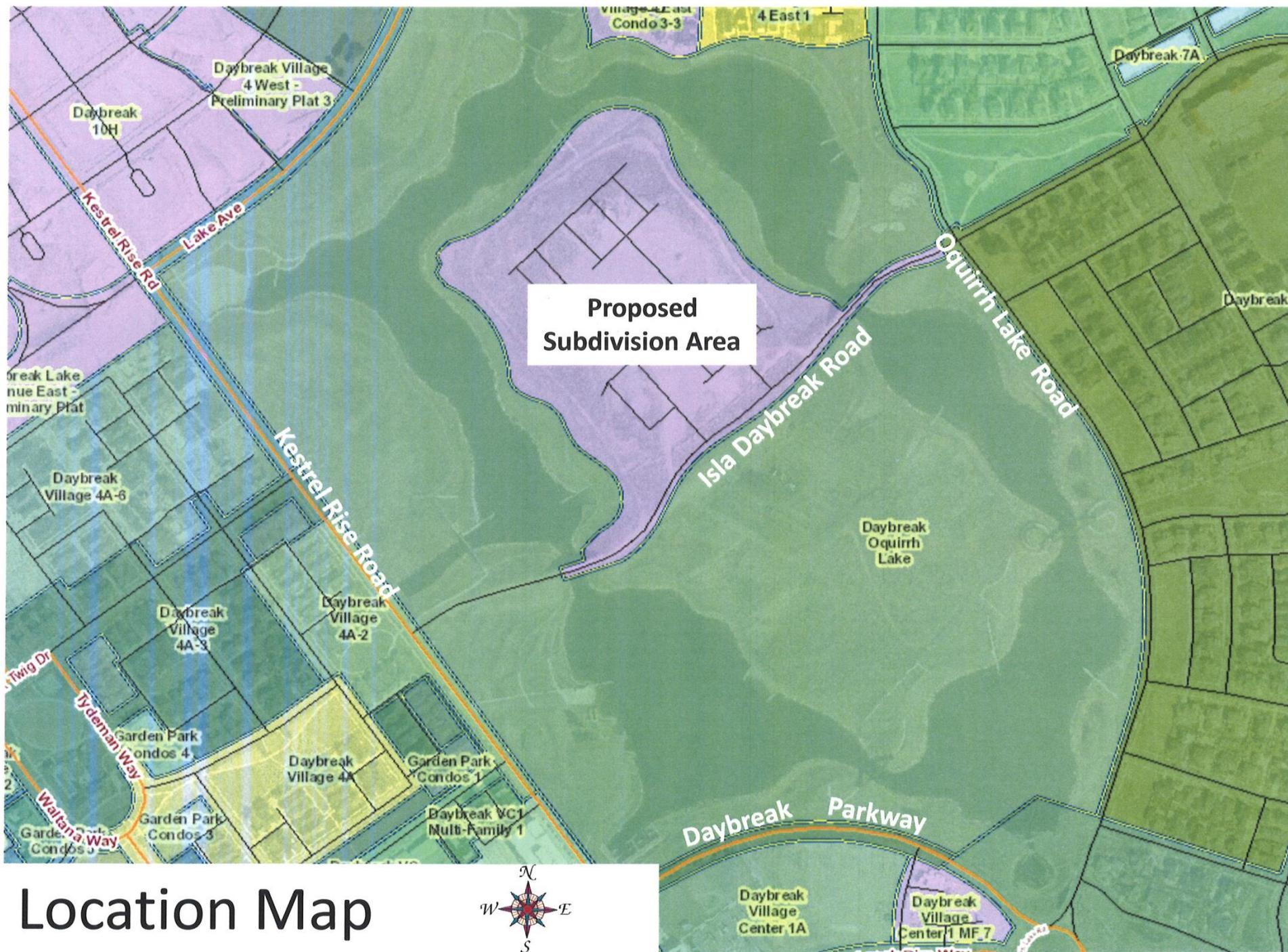
(17.130.040.030(A)(2))

DAYBREAK LAKE ISLAND PLAT 1

PRELIMINARY SUBDIVISION

Approx. 4650 W. 10950 South

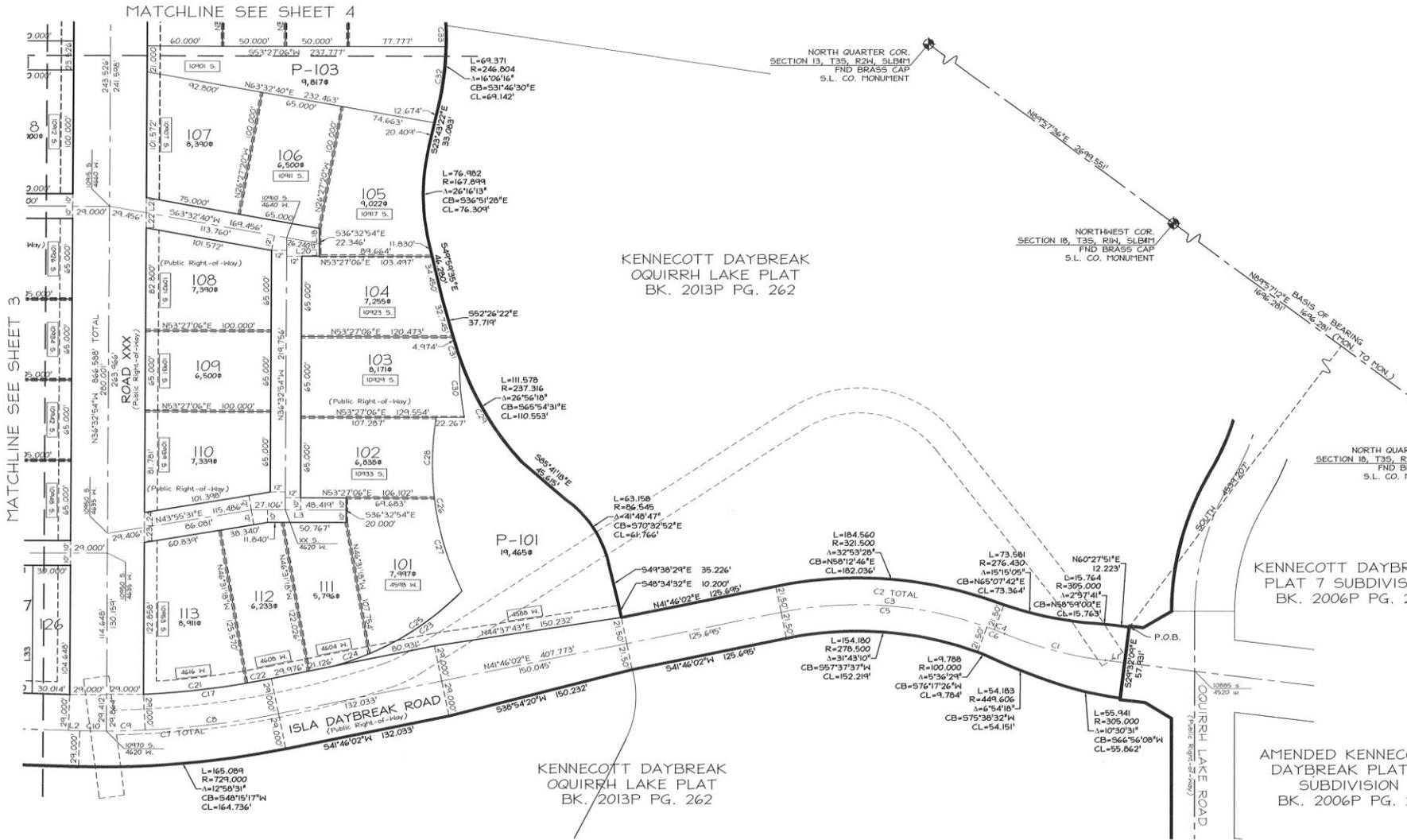
Daybreak Communities



**Proposed
Subdivision Area**

Location Map





DAYBREAK

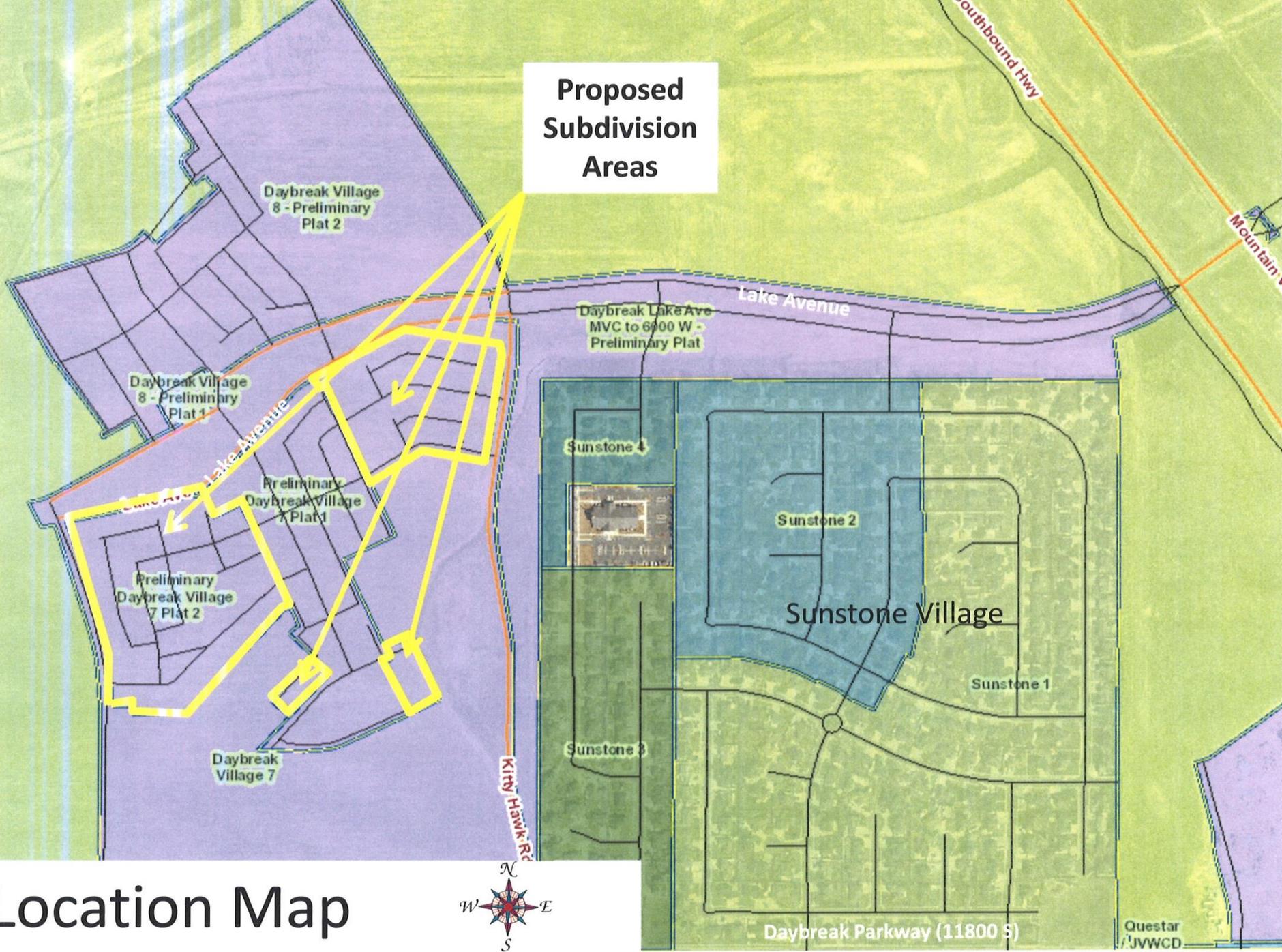
VILLAGE 7 PLAT 2

PRELIMINARY SUBDIVISION

6100 W. 11500 South

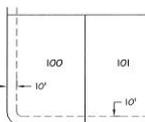
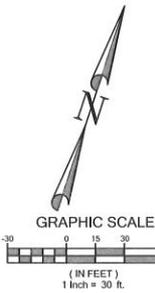
Daybreak Communities

Proposed Subdivision Areas



Location Map

KENNECOTT DAYBREAK VILLAGE 7 SUBDIVISION



PUBLIC UTILITY EASEMENT
TYPICAL
(UNLESS OTHERWISE NOTED)

- LEGEND**
- FOUND SALT LAKE COUNTY SECTION CORNER
 - PROPOSED STREET MONUMENT
 - EXISTING STREET MONUMENT
 - ADDRESS WITH ABBREVIATION OF STREET OR LANE
 - DRAINAGE EASEMENT PARALLEL TO LOT LINE (UNLESS NOTED OTHERWISE)
 - PUBLIC RIGHT-OF-WAY, SOUTH JORDAN CITY HILL NEAR SHOWN REPAIRAL, STREET SHOW GARBARGE COLLECTION IN THE ADJACENT LOT OWNERS. GAR CAN MUST BE PLACED ON THROUGH PORTION OF THE ADJACENT LOT OR STREET.

Sheet 2

DAYBREAK VILLAGE 7 PLAT 2 SUBDIVISION
ATTENDING LOT 100 OF KENNECOTT DAYBREAK VILLAGE 7 SUBDIVISION

Located in the South half of Section 23, T35, R24, Salt Lake Base and Meridian

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____

FEE \$ _____ SALT LAKE COUNTY RECORDER

perigee consulting

3000 SOUTH 1300 WEST, SUITE 100
SALT LAKE CITY, UT 84119
801.428.6004 TEL 801.593.6811 FAX 801.428.6004

PROPERTY CORNERS
PROPERTY CORNERS TO BE SET WILL BE REBAR & CAP OR NAILS SET IN THE TOP OF CURB OR ALLEY ON THE EXTENSION OF SIDE LOT LINES.

PERIGEE CONSULTING
CIVIL • STRUCTURAL • SURVEY

3000 SOUTH 1300 WEST, SUITE 100
SALT LAKE CITY, UT 84119
801.428.6004 TEL 801.593.6811 FAX 801.428.6004

SOUTHWEST COR. SECTION 23
T35, R24, SLMH
FIND BRASS CAP
S.L. CO. MONUMENT

2231.280'
59°45'14"W 244.741' (MON. TO MON.)

416.04'
SOUTH 1/4 COR. SECTION 23
T35, R24, SLMH
FIND BRASS CAP
S.L. CO. MONUMENT

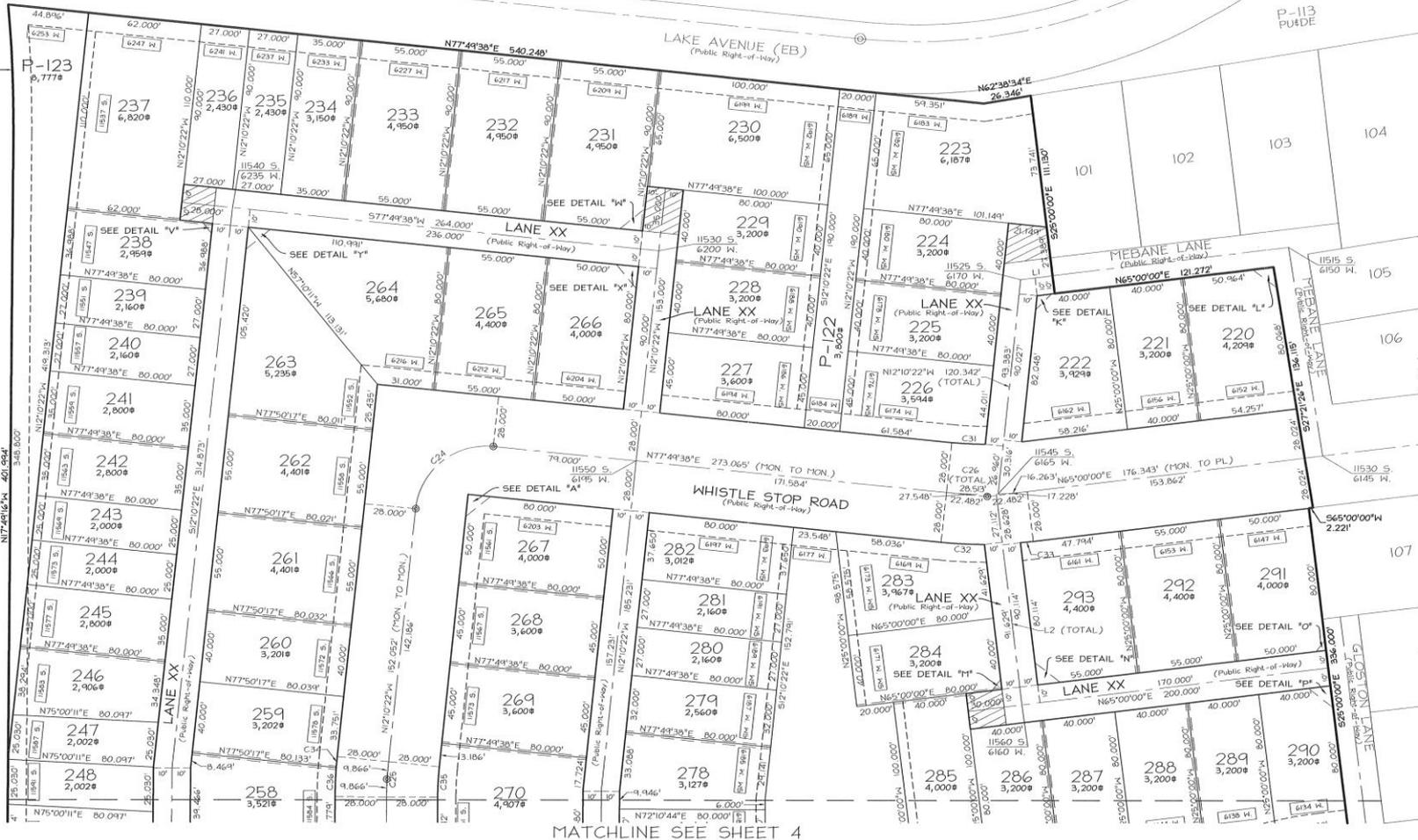
KENNECOTT DAYBREAK VILLAGE 7 SUBDIVISION

SOUTH 1/4 COR. SECTION 23
T35, R24, SLMH
FIND BRASS CAP
S.L. CO. MONUMENT

KENNECOTT DAYBREAK VILLAGE 7
SUBDIVISION

11525.5
6265 W.

P-113
PUBLIC



KENNECOTT DAYBREAK VILLAGE 7
PLAT 1 SUBDIVISION

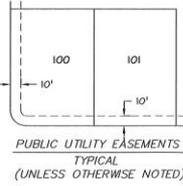
MATCHLINE SEE SHEET 4



LEGEND

- FOUND SALT LAKE COUNTY SECTION CORNER
- PROPOSED STREET MONUMENT
- EXISTING STREET MONUMENT
- ADDRESS WITH ABBREVIATION OF STREET OR LANE
- 1' DRAINAGE EASEMENT PARALLEL TO LOT LINE (UNLESS NOTED OTHERWISE)
- PUBLIC RIGHT-OF-WAY. SOUTH JORDAN CITY WILL NOT PROVIDE SNOW REMOVAL, STREET SHEEPING OR GARBAGE COLLECTION IN THESE AREAS. SNOW REMOVAL AND STREET SHEEPING ARE THE RESPONSIBILITY OF THE ADJACENT LOT OWNERS. GARBAGE CANS MUST BE PLACED ON THE THROUGH PORTION OF THE ADJACENT LANE OR STREET.

SET WILL BE 1' IN THE TOP EXTENSION OF
IGEE
SURVEYING & CONSULTING
WEST JORDAN, UT 84085
WWW.PRRICECON.COM



PUBLIC UTILITY EASEMENTS
TYPICAL
(UNLESS OTHERWISE NOTED)

KENNECOTT DAYBREAK VILLAGE 7 PLAT 2 SUBDIVISION
ATTENDING LOT 100 OF KENNECOTT DAYBREAK VILLAGE 7 SUBDIVISION

Located in the South half of Section 23, T3S, R24W, Salt Lake Base and Meridian

RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FEE \$ _____ SALT LAKE COUNTY RECORDER

AMENDED KENNECOTT DAYBREAK
MASTER SUBDIVISION #1
BK. 2003P PG. 303

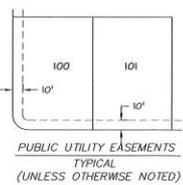
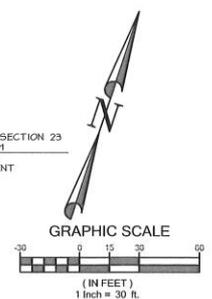
KENNECOTT DAYBREAK VILLAGE 7
PLAT 1 SUBDIVISION



LEGEND

- FOUND SALT LAKE COUNTY SECTION CORNER
- PROPOSED STREET MONUMENT
- EXISTING STREET MONUMENT
- ADDRESS WITH ABBREVIATION OF STREET OR LANE
- 1" DRAINAGE EASEMENT PARALLEL TO LOT LINE (UNLESS NOTED OTHERWISE)
- PUBLIC RIGHT-OF-WAY: SOUTH JORDAN CITY WILL NOT PROVIDE SIGN REMOVAL, STREET SWEEPING OR GARBAGE COLLECTION IN THESE AREAS. SIGN REMOVAL AND STREET SWEEPING ARE THE RESPONSIBILITY OF THE ADJACENT LOT OWNERS. GARBAGE CANS MUST BE PLACED ON THE THROUGH PORTION OF THE ADJACENT LANE OR STREET.

SOUTH 1/4 COR. SECTION 23
T35, R24, S14M
FND BRASS CAP
S.L. CO. MONUMENT



Sheet 4

DAYBREAK VILLAGE 7 PLAT 2 SUBDIVISION
AMENDING LOT 100 OF KENNECOTT DAYBREAK
VILLAGE 7 SUBDIVISION

Located in the South half of Section 23, T35, R24,
Salt Lake Base and Meridian

RECORDED 3
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
REQUEST OF: _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____

FEE \$ _____ SALT LAKE COUNTY REC

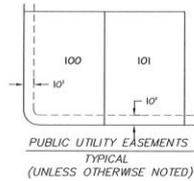
PROPERTY CORNERS
PROPERTY CORNERS TO BE SET WILL BE
BY BAR & CAP OR NAILS SET IN THE TOP
CURB OR ALLEY ON THE EXTENSION OF
THE LOT LINES.

PERIGEE CONSULTING
CIVIL - STRUCTURAL - SURVEY

1009 SOUTH 1300 WEST, SUITE 160
SALT LAKE CITY, UT 84119
TEL: 801.333.8811 FAX: 801.333.8811

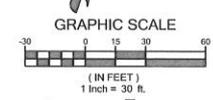
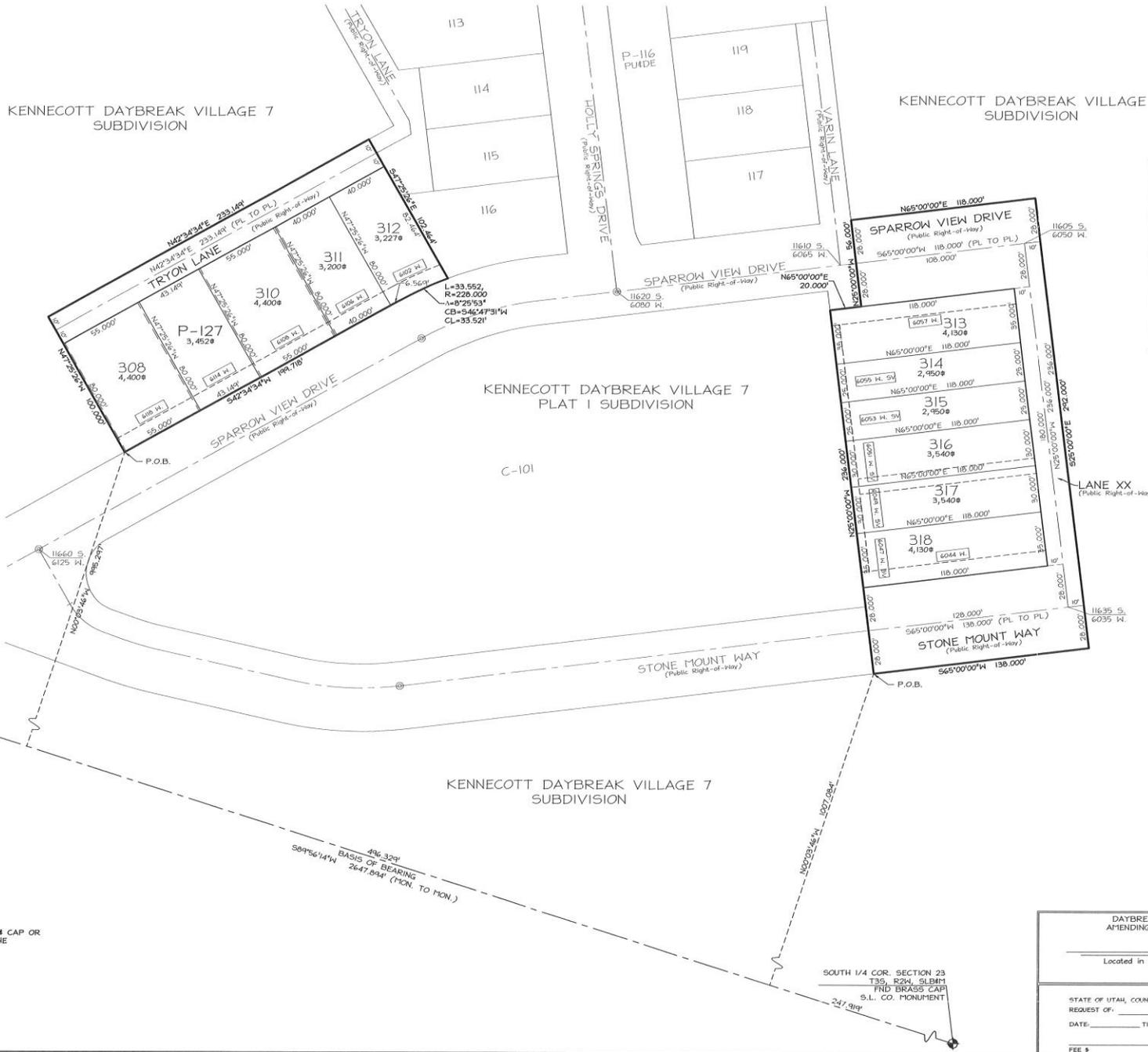
KENNECOTT DAYBREAK VILLAGE 7
SUBDIVISION

KENNECOTT DAYBREAK VILLAGE 7
SUBDIVISION



LEGEND

- FOUND SALT LAKE COUNTY SECTION CORNER
- PROPOSED STREET MONUMENT
- EXISTING STREET MONUMENT
- ADDRESS WITH ABBREVIATION OF STREET OR LANE
- 1' DRAINAGE EASEMENT PARALLEL TO LOT LINE (UNLESS NOTED OTHERWISE)
- PUBLIC RIGHT-OF-WAY. SOUTH JORDAN CITY WILL NOT PROVIDE SNOW REMOVAL, STREET SWEEPING OR GARBAGE COLLECTION IN THESE AREAS. SNOW REMOVAL AND STREET SWEEPING ARE THE RESPONSIBILITY OF THE ADJACENT LOT OWNERS. GARBAGE CANS MUST BE PLACED ON THE THROUGH PORTION OF THE ADJACENT LANE OR STREET.



Sheet 5 of 6

DAYBREAK VILLAGE 7 PLAT 2 SUBDIVISION
ATTENDING LOT 100 OF KENNECOTT DAYBREAK
VILLAGE 7 SUBDIVISION

Located in the South half of Section 23, T35, R24,
Salt Lake Base and Meridian

RECORDED # _____

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
REQUEST OF: _____

DATE: _____ TIME: _____ BOOK: _____ PAGE: _____

FEE \$ _____ SALT LAKE COUNTY RECORDER

SET WILL BE REBAR & CAP OR
CURB OR ALLEY ON THE
S.

GEE
LTING
SURVEY

WEST JORDAN, UT 84088
WWW.PERCIVIL.COM

SOUTH 1/4 COR. SECTION 23
T35, R24, S16, M1
FND BRASS CAP
S.L. CO. MONUMENT

DAYBREAK

SOUTH STATION PLAT 1

PRELIMINARY SUBDIVISION

Generally Located North and East of
Daybreak Parkway/Grandville Avenue

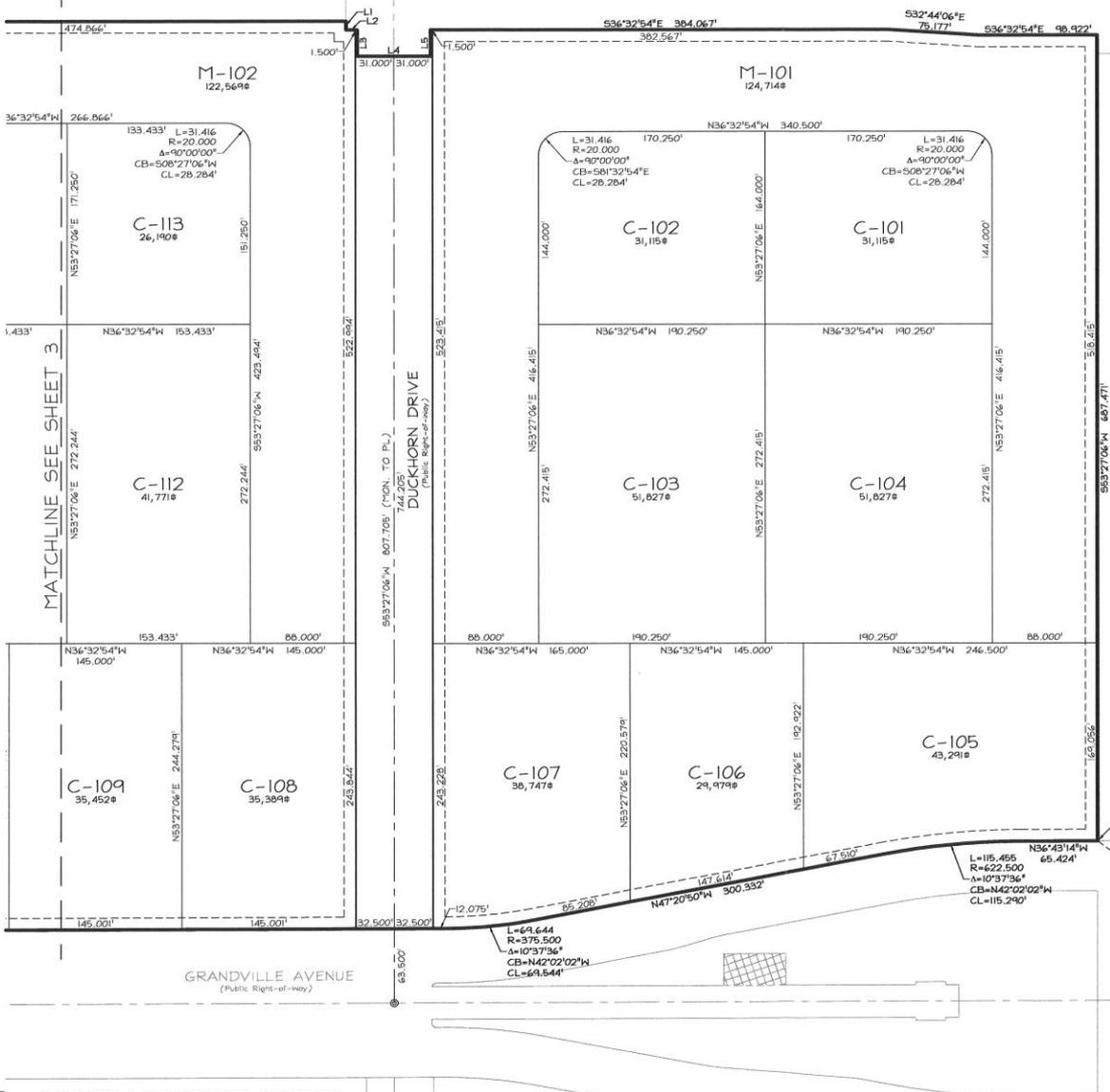
Daybreak Communities



Location Map

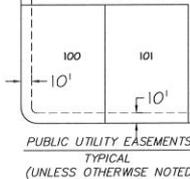


Line #	Length	Direction
L1	7.500	S53°27'06"W
L2	9.500	S36°32'54"E
L3	22.536	S53°27'06"W
L4	62.000	S36°32'54"E
L5	22.536	N53°27'06"E



Curve Table

Curve #	Length	Radius	Delta	Chord Bearing
C1	110.824	500.000	012°41'58"	N59°48'05"
C2	103.620	467.500	012°41'58"	N59°48'05"
C3	118.027	532.500	012°41'58"	S59°48'05"
C4	110.824	500.000	012°41'58"	S59°48'05"
C5	118.027	532.500	012°41'58"	N59°48'05"
C6	26.095	467.500	003°11'54"	S64°33'07"
C7	77.255	467.500	009°30'05"	S58°12'08"



LEGEND

- FOUND SALT LAKE COUNTY SECTION CORNER
- PROPOSED STREET MONUMENT
- EXISTING STREET MONUMENT
- ADDRESS WITH ABERRATION OF STREET OR LANE
- 1' DRAINAGE EASEMENT PARALLEL TO LOT LINE (UNLESS NOTED OTHERWISE)
- PUBLIC RIGHT-OF-WAY
SOUTH JORDAN CITY WILL NOT REMOVE SNOW, STREET SIDE GARBAGE COLLECTION IN THE SNOW REMOVAL AND STREET ARE THE RESPONSIBILITY OF ADJACENT LOT OWNERS. GAS CANS MUST BE PLACED ON THROUGH PORTION OF THE ALLEY OR STREET.

SOUTHEAST COR. SECTION 24
T35, R24, S16M
FND BRASS CAP
S.L. CO. MONUMENT

SOUTH 1/4 COR. SECTION 24
T35, R24, S16M
FND BRASS CAP
S.L. CO. MONUMENT

AMENDED KENNECOTT MASTER
SUBDIVISION #1
BK. 2003P PG. 303

KENNECOTT DAYBREAK UNIVERSITY
MEDICAL #1 AMENDED

Sheet # _____

DAYBREAK SOUTH STATION PLAT 1 SUBDIVISION #1
AMENDING LOT T4 OF THE KENNECOTT MASTER SUBDIVISION #1

Located in the North Half of Section 24 and the South Half of Section 24, T35, R24, Salt Lake Base and Meridian

RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND REQUEST OF: _____
DATE: _____ TIME: _____ BOOK: _____

FEE \$ _____ SALT LAKE COUNTY

PERIGEE CONSULTING
CIVIL - STRUCTURAL - SURVEY

541330 WEST SUITE 400
SOUTH JORDAN, UT 84088
801.280.4511 FAX
WWW.PERIGEECVL.COM

LAKE RUN ROAD
(Public Right-of-Way)

AMENDED KENNECOTT MASTER
SUBDIVISION #1
BK. 2003P PG. 303

L=116.275
R=467.500
Δ=14°15'01"
CB=N62°24'17"E
CL=115.975'

C-115
504,3618

M-102
122,5698

C-114
26,1908

C-111
40,0198

C-110
64,3828

MATCHLINE SEE SHEET 2

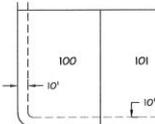
C-109
35,4528

GRANDVILLE AVENUE
(Public Right-of-Way)

AMENDED KENNECOTT MASTER
SUBDIVISION #1
BK. 2003P PG. 303

Line Table		
Line #	Length	Direction
L1	7.500	S53°27'06"W
L2	9.500	S36°32'54"E
L3	22.536	S53°27'06"W
L4	62.000	S36°32'54"E
L5	22.536	N53°27'06"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	110.824	500.000	012°41'56"	N59°48'05"E	100.000
C2	103.620	467.500	012°41'56"	N59°48'05"E	95.000
C3	118.027	532.500	012°41'56"	S59°48'05"W	110.000
C4	110.824	500.000	012°41'56"	S59°48'05"W	100.000
C5	118.027	532.500	012°41'56"	N59°48'05"E	110.000
C6	26.095	467.500	003°11'54"	S64°33'07"W	25.000
C7	77.525	467.500	009°30'05"	S58°12'08"W	75.000



PUBLIC UTILITY EASEMENT
TYPICAL
(UNLESS OTHERWISE NOTED)

LEGEND

- ⊕ FOUND SALT LAKE COUNTY SECTION CORNER
- ⊙ PROPOSED STREET MONUMENT
- EXISTING STREET MONUMENT
- DR BA ADDRESS WITH ABBREVIATION OF STREET OR LANE
- 1' DRAINAGE EASEMENT FROM LOT LINE (UNLESS NOTED)
- Public Right-of-Way, Snow Removal, Street Garbage Collection, etc. ARE THE RESPONSIBILITY OF ADJACENT LOT OWNERS. CANS MUST BE PLACED THROUGH PORTION OF THE LOT OR STREET.



Sheet

DAYBREAK SOUTH STATION PLAT 1 SUBDIVISION
AMENDING LOT T4 OF THE KENNECOTT
MASTER SUBDIVISION #1

Located in the North Half of Section 24 and the Southeast Quarter of Section 24, T3S, R2W, Salt Lake Base and Meridian

RECORDED #
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED A REQUEST OF.
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FEE \$ _____ SALT LAKE COUNTY

PERIGEE CONSULTING
CIVIL • STRUCTURAL • SURVEY

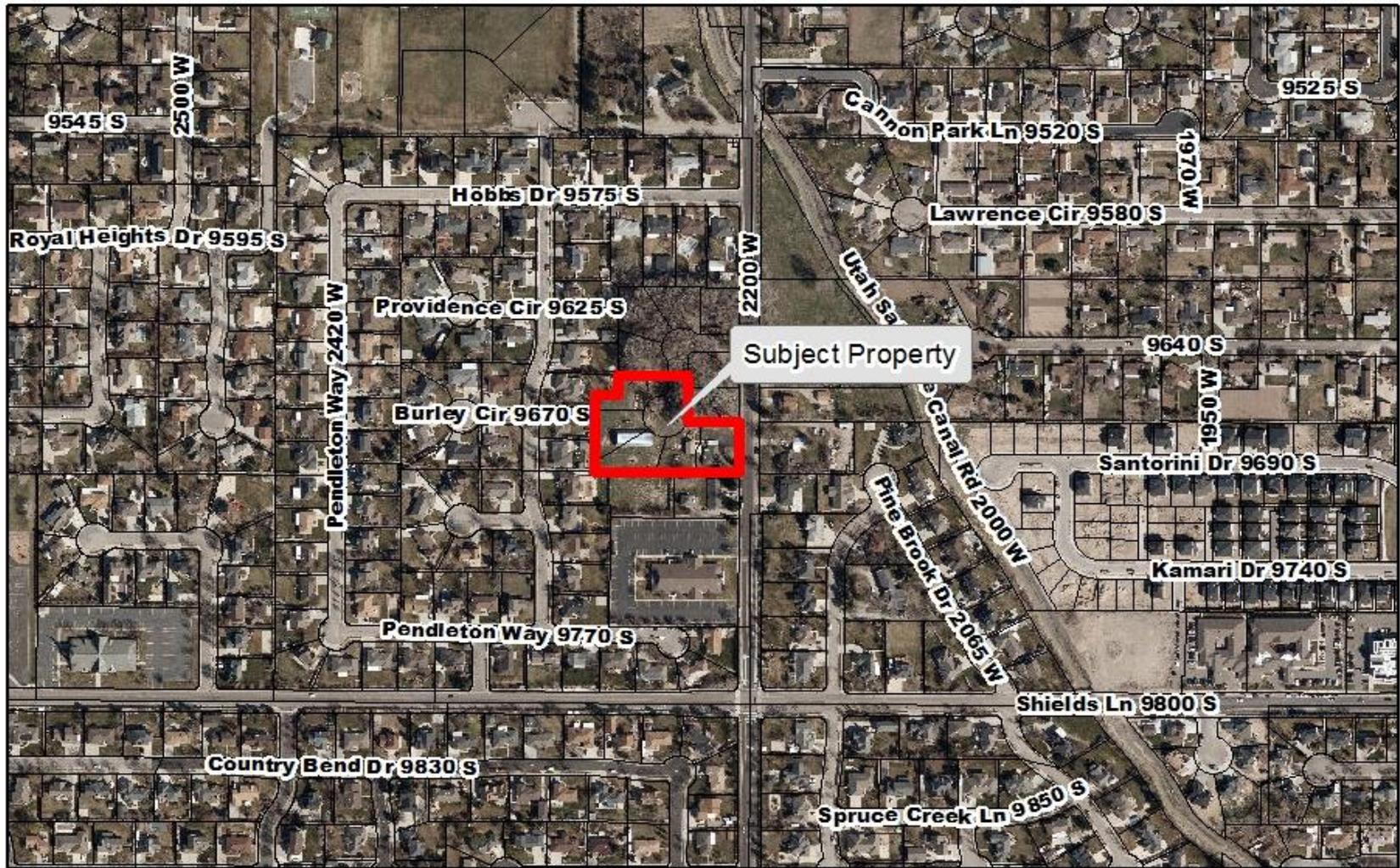
WEST SUITE 150 801.599.6011 FAX
WEST JORDAN, UT 84088 WWW.PERIGEECONSULTING.COM

SPRATLING SUBDIVISION

SUBDIVISION AMENDMENT

9663 S. Spratling Elm Court

Bill Whitney, RT Engineers



Legend

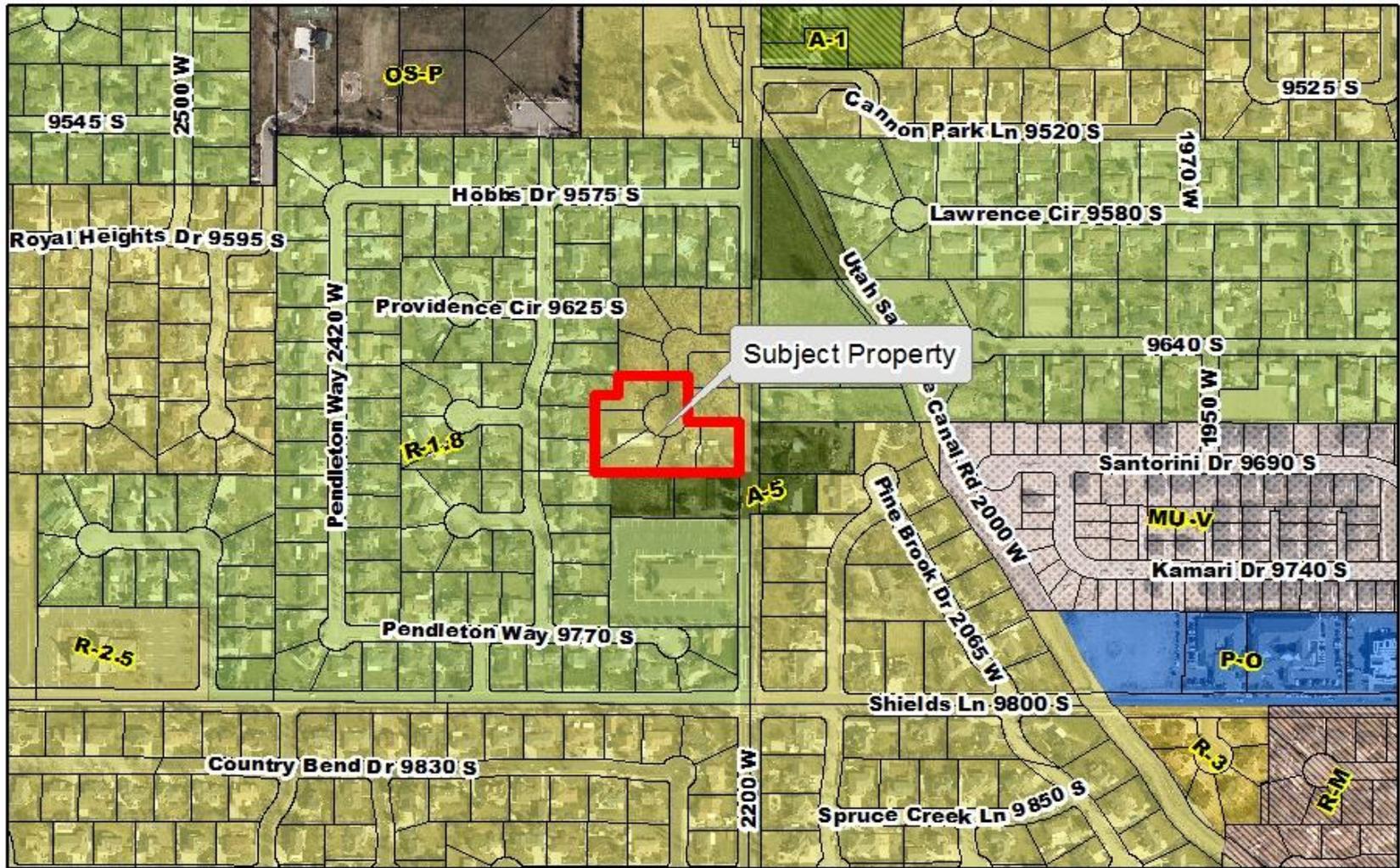
- STREETS
- PARCELS

Aerial Map

City of South Jordan

0 130 260 520 780 1,040 Feet

Aerial Imagery
2016



Subject Property

Legend

- STREETS
- PARCELS

Zoning Map

City of South Jordan

0 150 300 450 600 750 900 1,040 Feet

Aerial Imagery
2016

DEL ANDRAE
COMMERCIAL SUBDIVISION
PRELIMINARY SUBDIVISION

11197 S. Redwood Road

Brian Adams



Redwood Road

Beckstead Lane

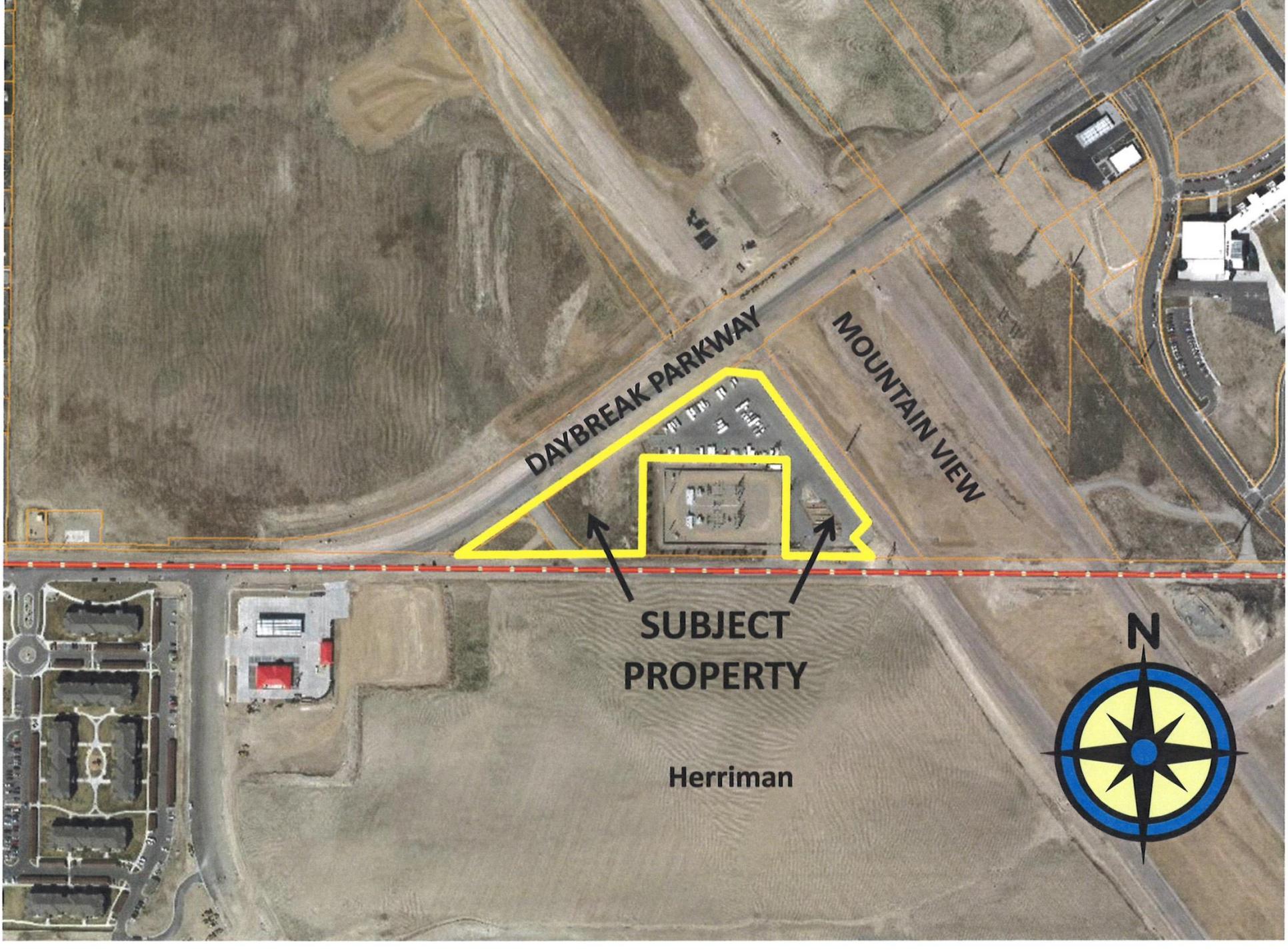
Subject
Property

Aerial Map

11400 South



End Of Slide Show



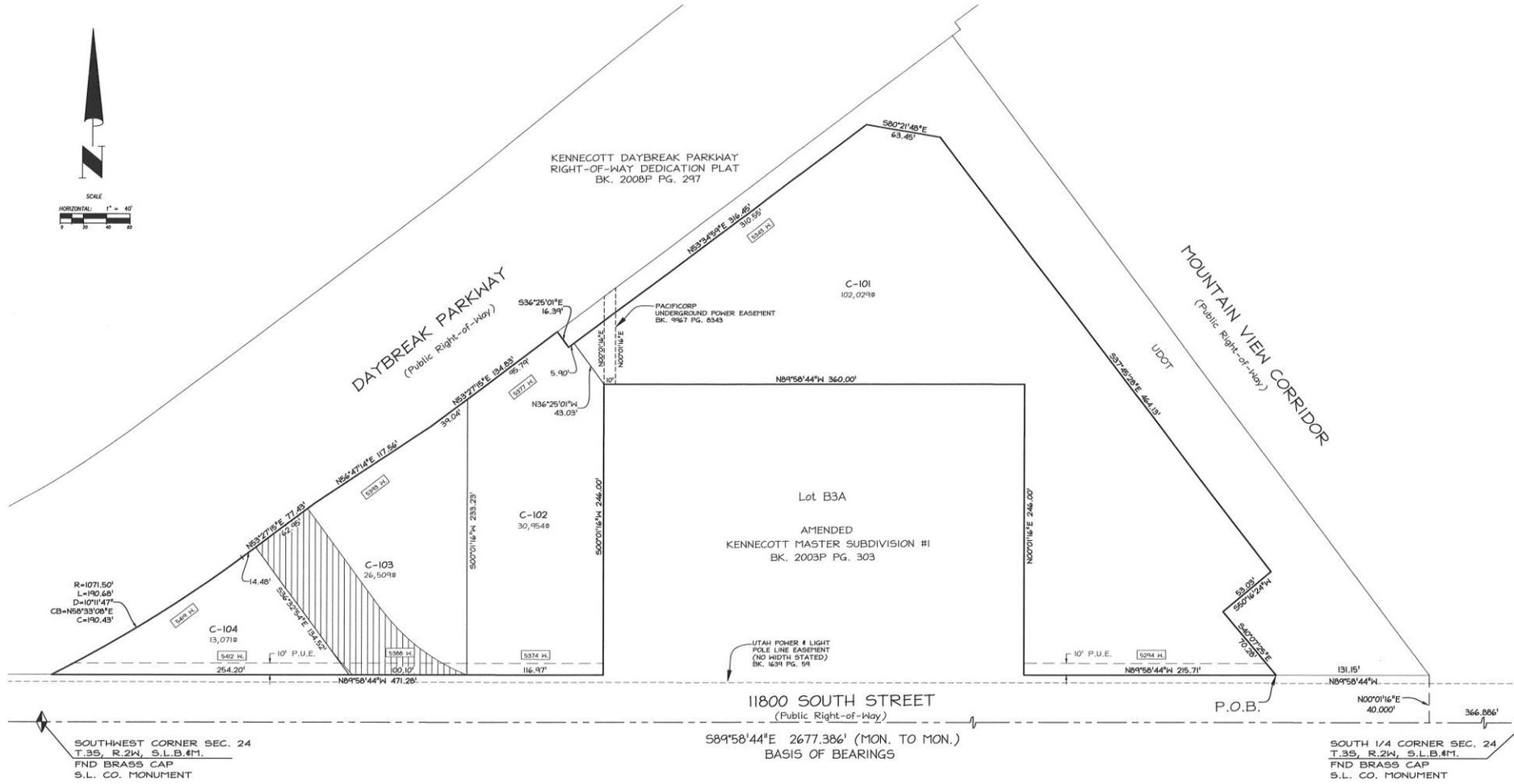
DAYBREAK PARKWAY

MOUNTAIN VIEW

SUBJECT
PROPERTY

Herriman





SOUTHWEST CORNER SEC. 24
T.35, R.2W, S.L.B.4M.
FND BRASS CAP
S.L. CO. MONUMENT

11800 SOUTH STREET
(Public Right-of-Way)
589°58'44"E 2677.386' (MON. TO MON.)
BASIS OF BEARINGS

SOUTH 1/4 CORNER SEC. 24
T.35, R.2W, S.L.B.4M.
FND BRASS CAP
S.L. CO. MONUMENT

LEGEND



FOUND SALT LAKE COUNTY
SECTION CORNER



ADDRESS



PORTION OF RIGHT OF WAY SHOWN
ON KENNECOTT DAYBREAK PARKWAY
RIGHT-OF-WAY DEDICATION PLAT TO
BE VACATED WITH THIS PLAT.

KENNECOTT DAYBREAK VILLAGE 7A PLAT 2 SUBDIV
AMENDING LOTS B3 AND B3B OF THE
KENNECOTT MASTER SUBDIVISION #1 AMENDED

Located in the Southwest Quarter of Section 24, T.35, R.2W, S.L.B.4M.

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
REQUEST OF:

DATE: _____ TIME: _____ BOOK: _____ PAGE: _____

FEE \$ _____ SALT LAKE COUNTY RECORDER

17.130.040.030: FARM ANIMALS, EXCLUDING BEES AND PIGEONS

A. Standards. *No opposition to this paragraph.*

1. *No opposition to this paragraph.*
2. *A portion of this paragraph talks about how farm animal points allowed per lot or parcel are to be prorated. This is confusing to the average person and difficult to know how to calculate it. Also, this is the paragraph that assigns farm animals to the various size categories. This ordinance proposes to move all equine animals, with the exception of a miniature horse, to the large animal category. Miniature horse is being proposed to be moved from small to medium category. This is an unprecedented move and is not right nor logical. Animals should be classified solely on their size, not on the amount of waste they produce or because they happen to be equine animals.*
3. *No opposition to this paragraph.*
4. *No opposition to this paragraph.*
5. (I have several concerns with this section of the proposed ordinance and would like to submit an alternative proposal shown in bold/italacs.)

The Development Services Director may allow a second horse on properties that comply with the regulations of this Section, except as modified by this Subsection, and with the following criteria:

- a. The subject property is eligible to have farm animals according to Subsection A.1 of this Section and qualified for less than ***thirty (30)*** animals points, according to Subsection A.2 of this Section;
- b. All large animals shall be contained in a dedicated area of not less than ***one thousand two hundred (1,200)*** square feet;

- c. Where the subject property is adjacent to a property that does not qualify for farm animals, the dedicated area shall be fenced or shall otherwise contain animals so that no large animal may be kept less than **five (5)** feet from the property line **and that this setback area be included in the dedicated area space. The aforementioned setback will not be required if any of the following leakage mitigation efforts can be met:**
- (1) **A trench be created along the property line;**
 - (2) **Setback area be adequately bermed;**
 - (3) **Installation of some kind of solid barrier type product, i.e., railroad ties, cement blocks, etc.;**
 - (4) **Installation of a block/cement wall; or**
 - (5) **Area where farm animals are located slope away from adjoining property.**
- d. **No opposition to this paragraph.**
- e. **No opposition to this paragraph.**
- f. A covered structure with a coverage area of not less than **one hundred forty-four (144)** square feet and a height sufficient to provide shelter to both animals shall be located within the dedicated area.

B, C, D, E, F – No opposition to these paragraphs.

11-22-16 PC Meeting - Attachment E

We, as property owners of large farm animals (specifically horses) on .50 acres or greater and non-large farm animal owners who also love and enjoy horses, are in agreement with the alternative farm animal ordinance as has been presented by Eileen Luker. This proposal has been very carefully developed through extensive research and input by the experts contacted by the South Jordan Planning Department and other experts contacted by concerned residents. Mrs. Luker's original text amendment request was tabled by the City Council on August 2, 2016, and now appears to have been replaced by this proposed new ordinance. This new proposal is very far reaching and is not an accurate representation of what is required in other cities nor is it a fair reflection of the opinions of experts in the care and maintenance of farm animals.

As responsible farm animal owners (mostly horses), we want to be good neighbors. We fully understand the importance of that responsibility. Most of us moved here in order to enjoy the rural life style of owning large parcels of land and enjoying farm animals. It is very important to us that this lifestyle be preserved that it may be passed onto future generations to come. We feel that the ordinance as it has been proposed by Mrs. Luker is an excellent compromise that addresses the impact concerns of non-farm animal properties being adjacent to farm animal properties. It also insures the physical and emotional wellbeing of the animals as well as the emotional and psychological wellbeing of their owners. It is vital that our rights as landowners and farm animal owners be preserved because the agricultural footprint in South Jordan and the Salt Lake Valley, at large, is diminishing at a rapid pace and will soon disappear altogether if something isn't done to preserve it. Specifically, please reject the ordinance as proposed by staff and forward a positive recommendation to the City Council in support of the alternative ordinance.

Name	Address
Joan Ward	2745 W 10,000 S <u>SJ</u>
Jacklyn Bassett	10601 S. 1300 W
McKenzie Mitchell	1256 W. 10550 S.
Marcus Wyner	9814 S Congressional Way
Sheldon Wabul	2765 W 10,000 S <u>SJ</u>
Dorinda Wyner	9704 S. Congressional Way <u>South Jordan</u>
Bruce Moon	10814 Willow Valley, <u>Kd</u> <u>8-50</u>

Name

Address

Joe A Moon
Bon John

10514 Willow Valley Rd South Jordan, UT

2320 Bonanza Way, SO

Jan W. Kriner

10022 So 2700 W.

Judy Ann Johnson

2320 Bonanza Way, So Jo.

Heidi Johnson

2320 Bonanza Wy. So Jo.

Cheryl M. Ojo

2779 W. 10,000 S. South Jordan

Randy McNeal

2589 W. 10000 S. So. Jordan

Jack Mack

3042 W. 10400 S.

Albra G. Malar

3042 W. 10400 S. S. Jordan UT

Jim Mellellan

10635 S. 2700 W. So. Jordan UT

Jenny Gustafson

2638 West 9435 South S Jordan 84095

Michelle J. Hall

10026 S. 2950 W. SO. JORDAN 84095

Jake Warner

From: Jason S. Soares <jsoares@wheelercat.com>
Sent: Tuesday, November 22, 2016 7:15 AM
To: Jake Warner
Subject: Animal rights

Follow Up Flag: Follow up
Flag Status: Flagged

Jake

Thank your for your time.

I am writing first to thank you for your time and consideration on this matter. I believe you have put much time and work into this.

I have one concern. However I do want to note that we do not have horse's however we do want things to be fair.

Miniature animals are not mid sized. This is completely unfair to classify them in the same category. While large animals are increasing in right these small animals have lost rights.

The industry has classified horse's, ponies and miniatures for reasons. One of those reasons is size. That being said a horse will eat and have a certain amount of waste. A pony being smaller animal will eat about 1/2 that of a horse and have about 1/2 the manure of a horse. And a miniature horse will eat a 1/3 of what a horse will and have a 1/3 the waste of a full size horse. A donkey and a burro are no where near the same size as a horse.

The structure of animals and points assigned before had excellent placement based on size and waste an animal will produce. A large animal (horse) is 64 inches 1210 lb average. A medium animal (pony) is less than 58 inches and approximately 830 lb average. A small animal (miniature horse) has to be less than 40 inches averages 32 inches and weighs 225 pounds. That's nearly 1000 lbs lighter than a regular horse.

There is a major difference in the amount of waste, feed, and space required for a 1200 lb, 800 lb or 225 lb animal.

Thank you for your time on this.

Jason Soares

Sent from my iPhone

Cindy Valdez

From: Anna West
Sent: Monday, January 11, 2016 10:39 AM
To: Greg Schindler; Cindy Valdez
Subject: FW: Proposed Daybreak Town Houses

Here is another email with comments for the PC meeting tomorrow night.

From: Gary Whatcott
Sent: Monday, January 11, 2016 10:28 AM
To: Anna West
Subject: FW: Proposed Daybreak Town Houses

Again here is another concern.

Gary Whatcott | City Manager | City of South Jordan
1600 W. Towne Center Drive | South Jordan, UT 84095
Office: 801.254.3742 | Fax: 801.253.5235



From: Tracy Wilson [<mailto:tracy.wilson@gmail.com>]
Sent: Monday, January 11, 2016 10:24
To: Gary Whatcott
Subject: Proposed Daybreak Town Houses

I would like to add my objection to the proposed project in the Founder's Park area of Daybreak.

This is already a very congested area and the building of these monstrosities will only add parking, traffic and safety concerns for our neighborhood.

These buildings would turn our beautiful neighborhood into a high density city. Our property values would decrease.

This was not what we were told would happen when we bought our home and feel it unfair and unethical.

Thank you,

--

Tracy Wilson

801-949-8550

Cindy Valdez

From: Anna West
Sent: Monday, January 11, 2016 4:31 PM
To: Cindy Valdez; Greg Schindler
Subject: FW: Daybreak Community Center Project

From: Gary Whatcott
Sent: Monday, January 11, 2016 4:23 PM
To: Anna West
Subject: FW: Daybreak Community Center Project

Here is another comment on the project being heard tomorrow.

Gary Whatcott | City Manager | City of South Jordan
1600 W. Towne Center Drive | South Jordan, UT 84095
Office: 801.254.3742 | Fax: 801.253.5235



From: Stacey Anderson [<mailto:sanderson@ahsjschool.org>]
Sent: Monday, January 11, 2016 13:37
To: gary.langston@riotinto.com
Subject: Daybreak Community Center Project

Hello,

I do not agree with the proposed plan for town homes next to the DCC. We were told when we purchased in Daybreak that a large pool would go in next to the DCC. I am very disappointed in the unorganized planning of founders park.

Stacey Anderson
Daybreak Resident

Cindy Valdez

From: Anna West
Sent: Monday, January 11, 2016 4:31 PM
To: Greg Schindler; Cindy Valdez
Subject: FW: Concern over Kennecott Land's plan to build more high density housing in Founders Park

From: Gary Whatcott
Sent: Monday, January 11, 2016 4:23 PM
To: Anna West
Subject: FW: Concern over Kennecott Land's plan to build more high density housing in Founders Park

FYI

Gary Whatcott | City Manager | City of South Jordan
1600 W. Towne Center Drive | South Jordan, UT 84095
Office: 801.254.3742 | Fax: 801.253.5235



From: Janet Enke [<mailto:janenke@prodigy.net>]
Sent: Monday, January 11, 2016 12:53
To: gary.langston@riotinto.com; gshindler@sjc.utah.gov; Dave Alvord; Gary Whatcott
Subject: Concern over Kennecott Land's plan to build more high density housing in Founders Park

To: Gary Langston - Kennecott Land
Greg Shindler - South Jordan City Planning Commission
Dave Alvord - South Jordan City Mayor
Gary Whatcott - South Jordan City Manager

Gentlemen

My husband, Glenn and I own 2 homes in Daybreak Community - Founders Park area. We have lived here almost 10 years and had watched the growth of the Daybreak Project from the beginning. We are very concerned that what we were told would be the way the area would grow has been changed again and again over time.

We have seen the densely packed three story condos go in just east of the Mountain View Corridor, where we had been told only single family homes and 2 story condos would be built. Also, those ghastly, instant slum looking condos built close to the charter school totally clash with all the rest of Founders Park area.

We have seen traffic increase dramatically and cars have to be parked on the roads instead of in garages. Garages were made far too tiny to accommodate modern automobiles. That was done in order to squeeze in more units on each street. The streets themselves were made so narrow, that only single cars can pass through because of cars now have to be parked on both sides of the street. The narrow streets and tiny garages were designed to increase the density of houses to put more money into Kennecott's pocket.

We have lived with the fussy rules that Kennecott continually imposes on the residents, while they ignore the rules they had set out for themselves at the beginning. All of us were told in minute detail what our houses could look like, so as not to spoil the look of the neighborhood, what trees we could plant, what was or was not considered a weed, etc etc etc. Our grandchildren have learned to call them the Tree Police! We have received letters demanding that we weed our yard, when we had no weeds in it at all until the flood waters came through carrying zillions of weed seeds from the undeveloped Kennecott Land because of their poor planning. We had flooding all down 118th South and in Firmont Park twice in a week's time because of this failure on their part. The weed complaint letter had been sent to the wrong address. I had someone come out and show me where my weeds were! There were none before or after the letter! A pretty stupid mistake, but it revealed to us just how they deal with other residents. We would have been fined if we had been the guilty party. I surely wish we could fine Kennecott for the flooding and weeds that they caused. We deal with weed seed blown in from the green space just south of us all the time now. Do any of you remember the fuss over sunflowers? Wild sunflowers were considered a WEED by Kennecott and could not be allowed in our yards. And yet very soon after that an advertisement for Daybreak featured a field with wild sunflowers blooming in it as being typical of our lovely community. Well, it was typical of Kennecott. They make the rules, so they can break the rules.

We have always tried to comply with all these rules and regulations. But when many, many homes have had terrible issues with water drainage due to lack of oversight of how the individual builders graded their lots with disregard to the plat specs or the grading of other builders with homes directly next to theirs, Kennecott has done nothing to either correct the problem or require builders to cooperate with each other to correct these issues.

There is also a very serious underground water problem that should have been discovered and solved before building was even started in this area. We suspect, actually, that these underground water issues originated with the filling of the Lake. Perk tests and ground water tests should have revealed this problem before building permits were issued, and so it really makes us think that leakage from the lake is responsible for the problems that arose after it was filled, after perk tests and ground water tests were made and permits issued. What has South Jordan City done about these issues? Nothing. Kennecott Land? Nothing. The problem still plagues one of the homes we own. We have sump pumps in all the window wells because of it, and really can't finish the basement for fear of further problems.

Another feature that Kennecott has imposed on us is the use of the tiny roundabouts instead of intersections. Or perhaps this is the faulty thinking of South Jordan City, since they used the oblong roundabout design instead of an intersection at The District. All of these designs make traffic much more difficult in these areas. The tiny size of the roundabouts along 114th South make it impossible for trucks to go through the "town center" of Daybreak. I suspect this was what was intended in the first place, even though 114th south supposed to be the access to Mountain View Corridor and the future freeway. How can that be workable? What it does, is force trucks and double bottom carriers to use 118th South - which is zoned as "no trucks allowed" street. We live right on 118th South. This was never supposed to be a through street, but now we have truck traffic on an entirely residential street, because of the planning errors of both Kennecott Land and South Jordan City. And, since 118th South is the border between South Jordan and Herriman, we are just orphan children. Nobody will take responsibility for that road. When we built our home, 118th south was a lovely, newly widened and paved road. Within weeks it began to be torn up by one builder after another and one city after another. None of them has done anything but a poor patching job on the street. I can tell, blindfolded, when we get near our home, because this part of 118th south is the roughest, bumpiest road in all of Salt Lake Valley!

I mention these issues to point out that, while we have tried to keep faith with Kennecott Land and all their demands, we do not see that they have kept faith with us. These new proposed 4 story, high density apartments that they are trying to push through right next to the elementary school and community center are a huge surprise and a huge concern to all the residents of this area. The traffic

around the school, community center, LDS Stake Center, and densely packed condos that already exist, and are right next to this planned development already is extreme. The safety of school children who have to walk through this congested area every day is a great concern.

We would not be surprised to see that the design for these high rise buildings is the ultra modern design that they are sticking in all around Daybreak that clash so hideously with all the rest of the buildings around them! Kennecott dictates the design of all the porch posts on our homes exactly in the fashion that Kennecott Land likes, so that they complement the whole neighborhood, but then they impose shocking eyesores on us without regard to previous design plans.

This is just too much! Does our city government do nothing to protect us from the Giant Kennecott Land Corp? Are you all too chicken to stand up for all our best good? These plans seem to us to insure that this area will become a slum in the near future. Does South Jordan want to have to deal with the issues that will grow from the kind of high handed moves that Kennecott is famous for?

I write this letter to all of you, so that none of you can now say that you are unaware of the problem we all have as homeowners in the Daybreak development. You would think by now that the homeowners would have a greater share of the say in what happens in our community. But Kennecott Land claims to speak for all the undeveloped land that they own, which, of course, will always trump even the expanded area of privately owned homes. I am a frustrated home owner who loves living in this area because of all the wonderful young families who live here with us, and NOT because of what Kennecott has created for us. We are senior citizens ourselves, and these issues will not long be our problems, but we are very, very concerned for the young families who will continue to live here. We want them to have secure value in their homes, safe streets and fair treatment by the city and Kennecott Land. Please! Open your eyes and ears and protect the values that make this community so wonderful. Do not destroy the greatest value you have in Daybreak Community because of the greed and power that Kennecott Land has shown motivates their decisions.

In the hope that you will have the courage to protect us,
Janet and Glenn Enke
11778 Copper Sky Drive
South Jordan, Utah, 84009

Cindy Valdez

From: Anna West
Sent: Tuesday, January 12, 2016 12:38 PM
To: Greg Schindler; Cindy Valdez
Subject: FW: Kennecott projected town homes

Here is another one.

Gary Whatcott | City Manager | City of South Jordan
1600 W. Towne Center Drive | South Jordan, UT 84095
Office: 801.254.3742 | Fax: 801.253.5235

-----Original Message-----

From: Eliza Hamilton [<mailto:elizahamilton@gmail.com>]
Sent: Tuesday, January 12, 2016 12:13
To: gshindler@sjc.utah.gov
Cc: Gary Whatcott
Subject: Kennecott projected town homes

Hello Mr. Shindler and Mr. Whatcott,

>

> I am writing in relation to the four story town homes proposed to be built in Daybreak near the Daybreak community center.

>

> I am a local resident and oppose the proposed condo sites. I was an original home buyer ten years ago when we were told the vacant spot would be a pool at a future date. Also, I have two children who attend Daybreak Elementary. Dropping off and picking up is a nightmare, especially in the winter months. It is frequent that as a parent, I receive an email from the school outlining special transportation instructions and/or pleas for increasing safety awareness for our kids. I am deeply concerned that the building and habitation of said condos will further complicate matters near the school and potentially increase risk to my children.

>

> I am well familiar with said condos and traffic and I have them directly behind my home (we share an alley way). It has caused increased headache and congestion related to parking and vandalism.

> I hope that you will listen to your constituents and my vote at this time to not move forward with the building of yet more condominiums.

>

> Unfortunately, I will be running kids around to different activities tonight and will be unable to attend the meeting in person. Please consider this email as my physical presence.

>

> Much thanks,

>

> Eliza Hamilton

>

Greg Schindler

Subject:

FW: Concern about new development by DCC

From: Liana [<mailto:lianakinikini@gmail.com>]

Sent: Tuesday, January 12, 2016 16:44

To: gary.langston@riotinto.com; gshindler@sjc.utah.gov; Dave Alvord; Gary Whatcott

Subject: Concern about new development by DCC

I'm joining my voice with several others to voice my disdain and concern for the proposed town homes (which I have been informed are a sure deal). When we bought our home we were told there would be an outdoor pool on that area. Then recently we were told that there would be town homes build on that area--like the big UGLY ones around the circle.

While I have some concerns with the Kenacott not keeping their promises about the pool (full pool, like at East Lake), I was even more concerned about the traffic problems and congestion in that area! Have you ever been down the street that they are planning to build the town homes? They are already congested without anything even being there. Also, where do you think the visitors of the town homes are going to park? At the DCC parking that is already ALWAYS congested! Snow days will make this much worse.

Additionally--have you been to Founder's park? There are NO buildings taller than 2 stories. Why would we want a 4 (or even three--I was told recently that this was modified) story building towering over all of the other homes and buildings in our area? It would definitely block any sunlight over at the proposed pool area, and not bring a cohesive feeling to our neighborhood. My fear is that it would look totally out of place given the current construction in our neighborhood and bring down the values of all of our homes. If there has to be town homes on that plot of land, why not just 2 story town homes like the ones across the street?

I think that further consideration should be made and more concessions for parking and making the town homes fit in with the surrounding homes (2 stories or less).

Sincerely,

Liana Kinikini
Daybreak Homeowner
Founder's Park

Cindy Valdez

From: Anna West
Sent: Tuesday, January 12, 2016 2:26 PM
To: Greg Schindler; Cindy Valdez
Subject: FW: STOP THIS PROJECT

From: Gary Whatcott
Sent: Tuesday, January 12, 2016 1:59 PM
To: Anna West
Subject: Fwd: STOP THIS PROJECT

FYI

Gary Whatcott
South Jordan City Utah

Begin forwarded message:

From: John Whitehead <drwhitehead@hotmail.com>
Date: January 12, 2016 at 13:35:30 MST
To: Undisclosed recipients;;
Subject: STOP THIS PROJECT

To whom it may concern,

It is unfortunate that we the residents of Daybreak were flat out deceived 10 plus years ago and it continues to be the norm for the management of Kennecott Land year after year, project after project. There is not one person in this community that I have asked who says they were not lied to about the amenities promised, or coming retail (that is now all condos), or apartments built where large single family homes were to be built.

This is a chance to start on a new path with resident input and do what is right. Please stop the lying and this condo project near the DCC. Build the pool.

Thank You,

John Whitehead
Board Certified Chiropractic Physician
Fellow International Academy of Medical Acupuncture
Fellow American Board of Integrative Health Sciences
Certified Chiropractic IV and Nutritional Injections

Cindy Valdez

From: Anna West
Sent: Tuesday, January 12, 2016 12:38 PM
To: Greg Schindler; Cindy Valdez
Subject: FW: sTOP this project!!

From: Gary Whatcott
Sent: Tuesday, January 12, 2016 12:33 PM
To: Anna West
Subject: FW: sTOP this project!!

Please place in the record.

Gary Whatcott | City Manager | City of South Jordan
1600 W. Towne Center Drive | South Jordan, UT 84095
Office: 801.254.3742 | Fax: 801.253.5235



From: Moises E Docen [<mailto:evadocen@icloud.com>]
Sent: Tuesday, January 12, 2016 11:31
To: Gary Whatcott
Subject: sTOP this project!!

On Jan 12, 2016, at 11:29 AM, Moises E Docen <evadocen@icloud.com> wrote:

This is what I have to put up with after 10 years of living in Topcrest Drive, this new 4 story twonhome will be a nightmare. See for yourself how this workers block the whole Alley. I was promised when I bought my home 2005 that I will have a green space that area has never been green and now you sold it to build 4 story homes, there is not enough space for more cars and townhouses.

I am against it !!!! Stop being so greedy trying to sell land to make more money and make DAYBREAK the worst place to live.

Eva Docen
5004 Topcrest Drive,
South Jordan, UT <IMG_4143.jpeg><IMG_4144.jpeg>

Anna West

From: Gary Whatcott
Sent: Tuesday, January 12, 2016 5:20 PM
To: Anna West
Subject: Fwd: Daybreak Town homes

FYI

Gary Whatcott
South Jordan City Utah

Begin forwarded message:

From: Shayna <shaynaswiss@yahoo.com>
Date: January 12, 2016 at 16:15:10 MST
To: <gary.langston@riotinto.com>, <gshindler@sjc.utah.gov>, <dalvord@sjc.utah.gov>, <gwhatcott@sjc.utah.gov>
Subject: Daybreak Town homes

I am concerned about the 4 story town homes proposed to be built south of the Daybreak Community Center. 16 added units would make the already high-traffic area far too congested, and I fear it would be a safety hazard. We as Daybreak residents were told the community center would eventually have a pool. More town homes and apartments are going up all over Daybreak. No more! Please!

Shayna Swiss

Sent from my iPhone

Subject: FW: Proposed town homes

-----Original Message-----

From: Liz Hansen [<mailto:liz.hansen@me.com>]

Sent: Sunday, January 10, 2016 13:15

To: Gary Whatcott

Subject: Proposed town homes

Mr. Watcott,

I am writing as a 10+ year resident of Founders Park in Daybreak. My home is located one block west of the DCC and in one of the first homes built in that area. When I began building my home the school and the DCC were also beginning construction, there was no lake- indeed there really were no amenities. But I bought the Vision of Daybreak. Yes, I was told of the pool to be built south of the DCC- but I now understand that is not going to happen but this is not about a pool! The proposal to build 16 units on that lot is of great concern to me, for most importantly safety concerns with the already insane traffic in that area. Believe me, I have observed the growth for over 10 years on a daily basis. I have said over the past few years there is a tragedy brewing there- it is not a matter of IF one will occur it is a matter of WHEN it will happen. The proposed units, neither enhance or add to what we currently have in FP, but will severely detract from the look and feel but even more add to the unsafe conditions already present that I feel exist due to bad planning from the beginning.

I urge you to at least consider alternative option for that space.

Liz Hansen

11679 Bluerock Ave.

Sent from my iPhone/Liz Hansen

Sent from my iPhone/Liz Hansen

**SOUTH JORDAN CITY
PLANNING COMMISSION REPORT**

Meeting Date: 12-13-2016

Issue DAYBREAK VILLAGE 4 EAST MULTI FAMILY #1
 PRELIMINARY PLAT
Address: 4600 W. Serendipity Way
File No: SUB-2016.86
Applicant: Daybreak Communities

Submitted By: Greg Schindler, City Planner
 Chris Clinger, Senior Engineer

Staff Recommendation (Motion Ready): Approve File No. SUB-2016.86 with the following:
1. That all South Jordan City requirements are met prior to recording the plat.

STANDARDS FOR SUBDIVISION REVIEW

The Planning Commission shall receive public comment at a public hearing regarding the proposed subdivision. The Planning Commission may approve, approve with conditions or if the proposed subdivision does not meet City ordinances or sanitary sewer or culinary water requirements, deny the preliminary subdivision plat application.

BACKGROUND

LOCATION	Approximately 4600 W. Serendipity Way
CURRENT LU DESIGNATION	Large Scale Master Planned Community
CURRENT ZONING	PC
CURRENT USE	Vacant
NEIGHBORING LU DESIGNATIONS, (ZONING)/USES	North - Large Scale Master Planned Community (P-C)/Oquirrh Lake South- Large Scale Master Planned Community (P-C)/Single Family Residential East - Large Scale Master Planned Community, (P-C)/ Single Family Residential West - Large Scale Master Planned Community (P-C)/ Single Family & Condominiums

Daybreak Communities has filed an application for preliminary subdivision plat approval for the Daybreak Village 4 East Multi Family #1 subdivision. The proposed subdivision will divide 3.808 acres into 45 townhome lots, 5 park lots, one remainder parcel and associated public rights-of-way. The remainder parcel will be further divided in the future as condominiums.

The residential density of this proposal is 11.8 units per acre (gross density) and 19.96 units per acre (net density), which is consistent with the P-C zone and adopted Community Structure Plan for Daybreak. The proposed lot sizes range from 1,361 sq. ft. to 7,495 sq. ft. with an average lot size of 2,182 sq. ft.

The PC zone provides for the approval of Design Guidelines developed for a specific subdivision or site plan. The proposed Design Guidelines for this plat are attached

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

- Section 17.72.020 describes the Village Land Use Designation as follows: “This category is designed for medium density mixed use development that includes residential (single and multi-family), office, commercial, industrial, public/semipublic and recreation/open space uses, without a predetermined emphasis on any single use. This category may accommodate gross residential density of twenty five (25) units per acre.”
- All PC zone and Kennecott Master Subdivision requirements will be met regarding the preliminary subdivision plat.
- All State and Local subdivision review requirements have been followed.

Conclusions:

- The proposed subdivision is consistent with the Community Structure Plan and the Kennecott Master Subdivision #1.

Recommendation:

- Based on the Findings and Conclusion listed above, Staff recommends that the Planning Commission take comments at the public hearing and approve the Subdivision subject to the requirement listed, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by staff.

FISCAL IMPACT:

- Minimal.

ALTERNATIVES:

- Approve the preliminary plat.
- Deny the preliminary plat.
- Schedule the application for a decision at some future date.

SUPPORT MATERIALS:

- Location Map
- Preliminary Plat
- Proposed Design Guidelines

NORTHWEST COR.
SECTION 18, T35, R11W, S18M
FND BRASS CAP
S.L. CO. MONUMENT

NORTH 1/4 COR.
SECTION 18, T35, R11W, S18M
FND BRASS CAP
S.L. CO. MONUMENT

BASIS OF BEARING
N89°57'12"E 2574.765' (MON. TO MON.)

KENNECOTT DAYBREAK
OQUIRRH LAKE PLAT

0-101

0-102

VILLAGE 4 EAST
CONDOMINIUMS
No. 2 AMENDED

DAYBREAK VILLAGE 4
EAST CONDOMINIUMS
No. 4

PARCEL A
21,575#

2.00' VEHICULAR
INGRESS/EGRESS
EASEMENT

2.00' VEHICULAR
INGRESS/EGRESS
EASEMENT

IRON MOUNTAIN DRIVE
(Public Right-of-Way)

OQUIRRH LAKE ROAD
(Public Right-of-Way)

MILFORD DRIVE
(Public Right-of-Way)

LOT 101

KENNECOTT DAYBREAK VILLAGE 4
EAST PLAT 1 SUBDIVISION

SERENDIPITY WAY
(Public Right-of-Way)

KENNECOTT DAYBREAK
VILLAGE 4 EAST PLAT 3
SUBDIVISION

PADDLEBOAT LANE
(Public Right-of-Way)

KENNECOTT DAYBREAK
VILLAGE 4 EAST PLAT 2
SUBDIVISION

BOSUN LANE
(Public Right-of-Way)

LOT 120

LOT 101

LOT 108

WISTFUL WAY
(Public Right-of-Way)

LOT 107

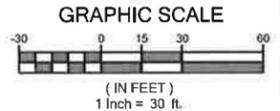
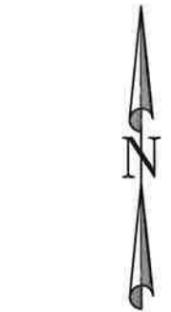
LOT 101

202

Line Table		
Line #	Length	Direction
L1	19.583	N00°00'00"E
L2	11.255	N00°00'00"W
L3	12.000	N90°00'00"E
L4	16.168	S00°00'00"E
L5	21.168	N00°00'00"E
L6	12.000	N90°00'00"E
L7	12.000	N90°00'00"W
L8	42.354	N90°00'00"E
L9	2.000	S00°00'00"E
L10	18.000	N90°00'00"W
L11	18.000	N90°00'00"E
L12	2.000	S00°00'00"E
L13	18.800	S00°00'00"E
L14	94.488	N00°06'00"W
L15	94.812	N00°06'00"W
L16	95.821	N00°03'00"W
L17	11.253	S00°00'00"E
L18	5.312	N90°00'00"E
L19	19.832	S00°00'00"E
L20	20.128	N90°00'00"E
L21	31.000	S00°00'00"E

Line Table		
Line #	Length	Direction
L22	20.000	N90°00'00"W
L23	2.000	N00°00'00"E
L24	18.000	N90°00'00"E
L25	27.000	N00°00'00"E
L26	18.128	N90°00'00"W
L27	2.000	N00°00'00"E
L28	13.000	N90°00'00"E
L29	13.000	N90°00'00"W
L30	77.000	N90°00'00"E
L31	107.417	N00°00'00"W
L32	37.415	N90°00'00"E
L33	57.258	N89°54'00"E
L34	37.412	N89°54'02"E
L35	32.170	N00°00'00"W
L36	40.000	N00°00'00"E
L37	2.083	N90°00'00"W
L38	2.254	S00°00'00"E
L39	32.750	N90°00'00"W
L40	31.247	S00°00'00"E
L41	28.000	N00°00'00"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	9.481	211.282	002°34'16"	N68°15'49"E	9.480
C2	61.747	307.158	011°31'05"	N81°45'39"E	61.643
C3	47.344	56.106	048°20'51"	N66°26'55"E	45.952
C4	20.565	653.607	001°48'10"	N89°08'52"W	20.564
C5	21.173	653.607	001°51'22"	S89°01'22"W	21.172
C6	16.520	653.607	001°26'53"	S87°22'15"W	16.519
C7	4.752	201.969	001°20'53"	S86°31'41"W	4.752
C8	46.414	201.969	013°10'02"	S79°16'13"W	46.312
C9	25.570	24.000	061°02'42"	N30°31'21"E	24.378



Sheet 2 of 4

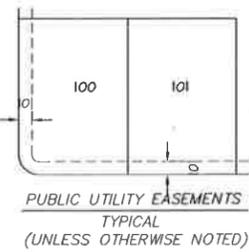
PROPERTY CORNERS
PROPERTY CORNERS TO BE SET WILL BE REBAR & CAP OR NAILS SET IN THE TOP OF CURB OR ALLEY ON THE EXTENSION OF SIDE LOT LINES.



9089 SOUTH 1300 WEST, SUITE 160 WEST JORDAN, UT 84088
801.623.6004 TEL. 801.560.8911 FAX WWW.PERIGEECONSULTING.COM

LEGEND

- FOUND SALT LAKE COUNTY SECTION CORNER
- PROPOSED STREET MONUMENT
- EXISTING STREET MONUMENT
- ADDRESS WITH ABBREVIATION OF STREET OR LANE
- 1" DRAINAGE EASEMENT PARALLEL TO LOT LINE (UNLESS NOTED OTHERWISE)
- PUBLIC RIGHT-OF-WAY: SOUTH JORDAN CITY WILL NOT PROVIDE SNOW REMOVAL, STREET SWEEPING OR GARBAGE COLLECTION IN THESE AREAS. SNOW REMOVAL AND STREET SWEEPING ARE THE RESPONSIBILITY OF THE ADJACENT LOT OWNERS. GARBAGE CANS MUST BE PLACED ON THE THROUGH PORTION OF THE ADJACENT LANE OR STREET.



DAYBREAK VILLAGE 4 EAST MULTI FAMILY #1 SUBDIVISION
AMENDING PARCEL A OF THE KENNECOTT DAYBREAK VILLAGE 4 EAST PLAT 1 SUBDIVISION, PARCEL A OF THE KENNECOTT DAYBREAK VILLAGE 4 EAST PLAT 2 SUBDIVISION, PARCEL A OF THE KENNECOTT DAYBREAK VILLAGE 4 EAST PLAT 3 SUBDIVISION & PARCEL A OF THE KENNECOTT DAYBREAK VILLAGE 4 EAST PLAT 4 SUBDIVISION

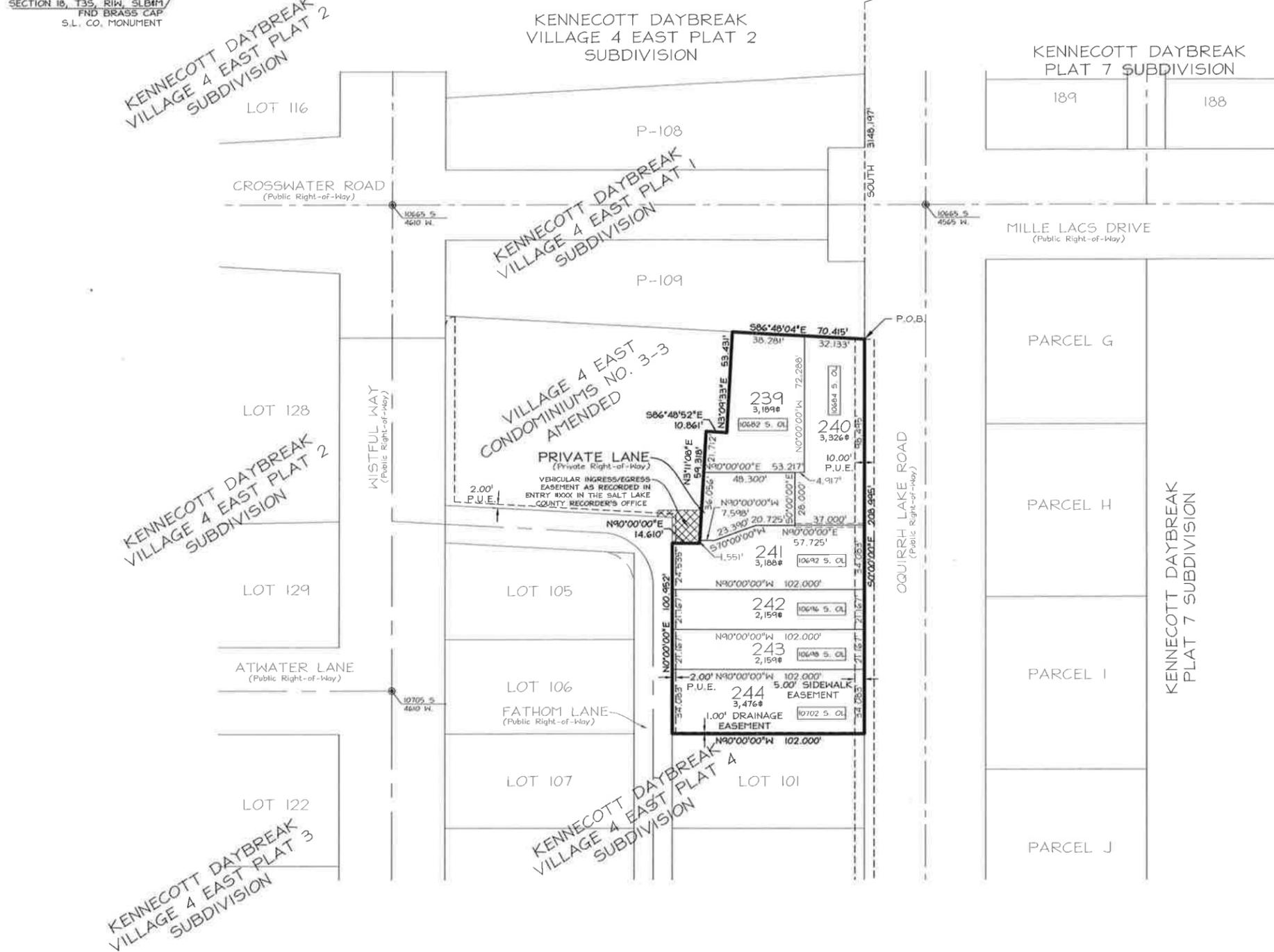
Located in the Northwest Quarter of Section 18, T35, R11W, Salt Lake Base and Meridian

RECORDED IN
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF:
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FEE \$ _____ SALT LAKE COUNTY RECORDER

NORTHWEST COR.
SECTION 18, T35, R11W, S18M
FND BRASS CAP
S.L. CO. MONUMENT

NORTH 1/4 COR.
SECTION 18, T35, R11W, S18M
FND BRASS CAP
S.L. CO. MONUMENT

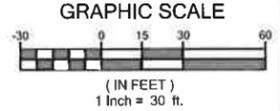
BASIS OF BEARING
N89°57'12"E 2574.765' (MON. TO MON.)



Line #	Length	Direction
L1	19.583	N00°00'00"E
L2	11.255	N00°00'00"W
L3	12.000	N90°00'00"E
L4	16.168	S00°00'00"E
L5	21.168	N00°00'00"E
L6	12.000	N90°00'00"E
L7	12.000	N90°00'00"W
L8	42.354	N90°00'00"E
L9	2.000	S00°00'00"E
L10	18.000	N90°00'00"W
L11	18.000	N90°00'00"E
L12	2.000	S00°00'00"E
L13	18.800	S00°00'00"E
L14	94.488	N00°06'00"W
L15	94.812	N00°06'00"W
L16	95.821	N00°03'00"W
L17	11.253	S00°00'00"E
L18	5.312	N90°00'00"E
L19	19.832	S00°00'00"E
L20	20.128	N90°00'00"E
L21	31.000	S00°00'00"E

Line #	Length	Direction
L22	20.000	N90°00'00"W
L23	2.000	N00°00'00"E
L24	18.000	N90°00'00"E
L25	27.000	N00°00'00"E
L26	18.128	N90°00'00"W
L27	2.000	N00°00'00"E
L28	13.000	N90°00'00"E
L29	13.000	N90°00'00"W
L30	77.000	N90°00'00"E
L31	107.417	N00°00'00"W
L32	37.415	N90°00'00"E
L33	57.258	N89°54'00"E
L34	37.412	N89°54'02"E
L35	32.170	N00°00'00"W
L36	40.000	N00°00'00"E
L37	2.083	N90°00'00"W
L38	2.254	S00°00'00"E
L39	32.750	N90°00'00"W
L40	31.247	S00°00'00"E
L41	28.000	N00°00'00"E

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	9.481	211.282	002°34'16"	N68°15'49"E	9.480
C2	61.747	307.158	011°31'05"	N81°45'39"E	61.643
C3	47.344	56.106	048°20'51"	N66°26'55"E	45.952
C4	20.565	653.607	001°48'10"	N89°08'52"W	20.564
C5	21.173	653.607	001°51'22"	S89°01'22"W	21.172
C6	16.520	653.607	001°26'53"	S87°22'15"W	16.519
C7	4.752	201.969	001°20'53"	S86°31'41"W	4.752
C8	46.414	201.969	013°10'02"	S79°16'13"W	46.312
C9	25.570	24.000	061°02'42"	N30°31'21"E	24.378



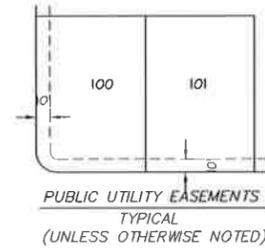
Sheet 3 of 4

PROPERTY CORNERS
PROPERTY CORNERS TO BE SET WILL BE REBAR & CAP OR NAILS SET IN THE TOP OF CURB OR ALLEY ON THE EXTENSION OF SIDE LOT LINES.



LEGEND

- FOUND SALT LAKE COUNTY SECTION CORNER
- PROPOSED STREET MONUMENT
- EXISTING STREET MONUMENT
- ADDRESS WITH ABBREVIATION OF STREET OR LANE
- 1' DRAINAGE EASEMENT PARALLEL TO LOT LINE (UNLESS NOTED OTHERWISE)
- VEHICULAR INGRESS/EGRESS EASEMENT RECORDED ENTRY XXXX



DAYBREAK VILLAGE 4 EAST MULTI FAMILY #1 SUBDIVISION AMENDING PARCEL A OF THE KENNECOTT DAYBREAK VILLAGE 4 EAST PLAT 1 SUBDIVISION, PARCEL A OF THE KENNECOTT DAYBREAK VILLAGE 4 EAST PLAT 2 SUBDIVISION, PARCEL A OF THE KENNECOTT DAYBREAK VILLAGE 4 EAST PLAT 3 SUBDIVISION & PARCEL A OF THE KENNECOTT DAYBREAK VILLAGE 4 EAST PLAT 4 SUBDIVISION

Located in the Northwest Quarter of Section 18, T35, R11W, Salt Lake Base and Meridian

RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FEE \$ _____ SALT LAKE COUNTY RECORDER

RESIDENTIAL BUILDING TYPES - DAYBREAK VILLAGE 4 EAST MULTI FAMILY 1										NON-RESIDENTIAL BUILDING TYPES		
I. SINGLE FAMILY										II. MULTI-FAMILY		Pavilions / Activity Center
Single-family, duplex, town house and row house residential units that do not stack dwellings on a single parcel. Typically each unit has a private parcel that has street frontage and contains its own parking with a one to three story height. Single family homes are composed using the following building types: Main Building: defined by the conditioned space of the primary residence. Garage Building: an attached or detached ancillary structure used for parking. Out Building: A Detached ancillary structure such as a storage shed or a garage with a conditioned living unit above.										Multi-unit residential buildings with two or more dwellings in which units are stacked vertically. Some buildings may be street fronting while others may not. Heights range from two-story through high-rise		Non-residential buildings located in parks and open space that provide storage and enclosure for small water craft and bicycles, or picnic shelters and restrooms.
Waterside Terrace Townhomes										Waterside Terrace Flats		Park Facility
1	LOT CRITERIA	Min. 16' Lot Frontage										
		Min. 40' Lot Depth										
		Max. 90% Lot Coverage										
2	BUILDING SETBACKS & HEIGHT RESTRICTIONS	Main Building	Front & Side Streets: 5'									N/A
		Side Lane: 0'										
		Side Property: 0'										
		Rear Lane & Parking Court: 0'										
Front & Side Park: 0'												
Garage Building	Front & Side Streets: 5'											
Side Lane: 0'												
Side Property: 0'												
Rear Lane & Parking Court: 0'												
Front & Side Park: 0'												
Out Building	Front & Side Streets: N/A											
Side Lane: N/A												
Side Property: N/A												
Rear Lane & Parking Court: N/A												
Front & Side Park: N/A												
Encroachments	Porch: within 4' of All Streets & Parks											
Fire Rated Masonry Fireplace: 3' All												
Outbuilding: In Mapped Encroachment Zone												
Eaves & Balconies: 0' Front												
3	BUILDING MATERIALS	Siding: Brick, stone, stucco, fiber-reinforced cement board, metal panels, stained or painted shingles, or wood boards are preferred. Plywood, Aluminium and Vinyl are not allowed. Roofing: Architectural shingles, metal shingles, wood, standing seam metal or cement, clay or slate tile are preferred. Roofs shall use gable, hip, or shed forms. Glazing: No reflective glass. Sliders not allowed. Traditional window frame dimensions required Materials not listed here shall be subject to review.										
4	FENCING	3'	Builder Required Per ProtoTypes.									
		6'	Builder Required Per ProtoTypes.									
		Walls	Builder Required Per ProtoTypes.									
5	GARAGE, PARKING LOT AND ACCESS PLACEMENT STANDARDS	Each unit requires 2 parking spaces, 1 of which must be enclosed										
		Lane Access Only										
		N/A										
		Garages visible from streets must use carriage doors designs										
6	LANDSCAPING	All Yard Zones Not Completely Obscured Behind Min. 6' Privacy Fencing Shall Be Landscaped By Builder. Gate Access to Public Right of Way Required.										

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 12/13/2016

Issue: DALTON COVE SUBDIVISION
PRELIMINARY SUBDIVISION PLAT
Address: 11173 S. Dalton Farm Cove
File No: SUB-2016.67
Applicant: Douglas C. Dalton

Submitted by: Damir Drozdek, Planner III
Jared Francis, Senior Engineer

Staff Recommendation (Motion Ready):

- **Approve** a preliminary subdivision plat, File No. SUB-2016.67, allowing for subdivision of approximately 1.17 acres of land into two (2) single-family residential lots.
-

ACREAGE:	Approximately 1.17 acres
CURRENT ZONE:	R-1.8 (Single-Family Residential, 1.8 lots per acre)
CURRENT USE:	Residential
FUTURE LAND USE PLAN:	RURAL (Rural Residential, up to 1.8 lots per acre)
NEIGHBORING ZONES/USES:	North – R-1.8 / Single-Family Residence South – R-1.8 / Cory Rd. West – R-1.8 / Single-Family Residences East – R-1.8 / Single-Family Residences

STANDARD OF APPROVAL:

The Planning Commission shall receive public comment at the public hearing regarding the proposed subdivision. The Planning Commission may approve, approve with conditions or if the project does not meet city ordinances or sanitary sewer or culinary water requirements, deny the preliminary subdivision plat application. (City Code Chapter 16.10.060)

BACKGROUND:

The proposed subdivision is the last remaining parcel of the original Aspen Crest subdivision, which the Applicant is proposing to subdivide into one additional building lot. The parcel is located at 11173 S. Dalton Farm Cove and is accessed via the existing and improved Cory Road. It contains one home and a barn at the east end of the property. The west end of the property is mostly vacant, which is the location for the proposed new lot.

Bonds for public improvements will be minimal because most, if not all, are already exist. Dalton Farm Cove comes off Cory Road and is a fully improved cul-de-sac with curb, gutter, parkstrip and sidewalk. There is also an existing fire hydrant, street light, and a water stub and meter. Fencing will be required along the north boundary of lot 502 because the property to the north is zoned for and meets the minimum zoning requirements for farm animals. There is a chance that Applicant may request the wall requirement to be waived but this exception would come from the City Council.

There is no open space or common areas in the proposed subdivision and no specific landscaping plans are required with this development.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The proposed subdivision, once all corrections to the plans are made, will meet all of the Development Code and Planning and Land Use requirements and standards.

Conclusion:

- The proposed subdivision will meet all of the Municipal Code requirements and should be approved.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless during the hearing facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

FISCAL IMPACT:

- Typically the cost of providing services to single-family residential uses outweighs the revenue received by the City. This development should follow that trend.

ALTERNATIVES:

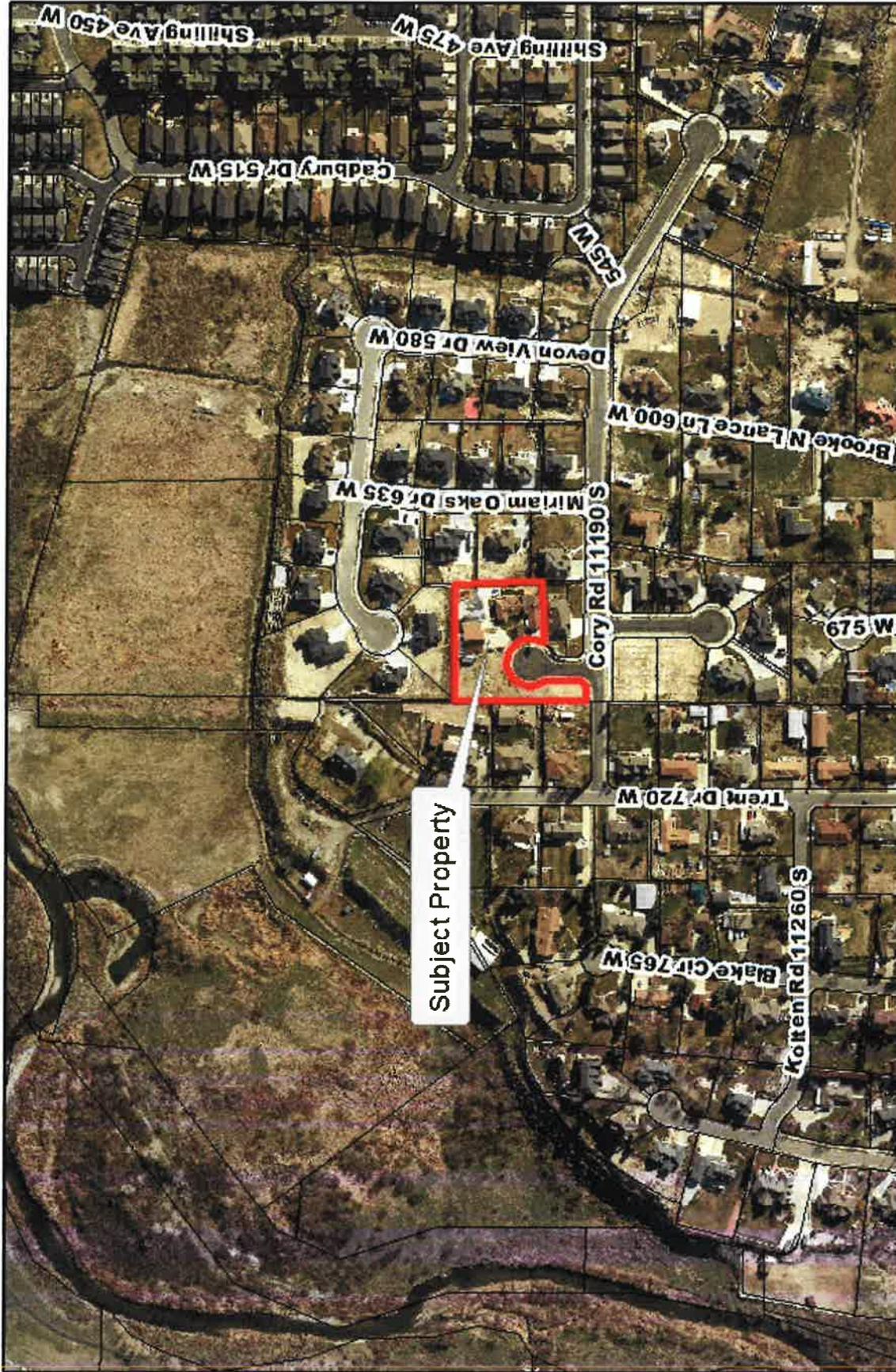
- Approve an amended Application.
- Deny the Application.
- Schedule the Application for a decision at some future date.

SUPPORT MATERIALS:

- Aerial Map
- Zoning Map
- Preliminary Subdivision Plat
- Site and Utility Plan C101



Damir Drozdek, AICP
Planner III, Development Services



Subject Property



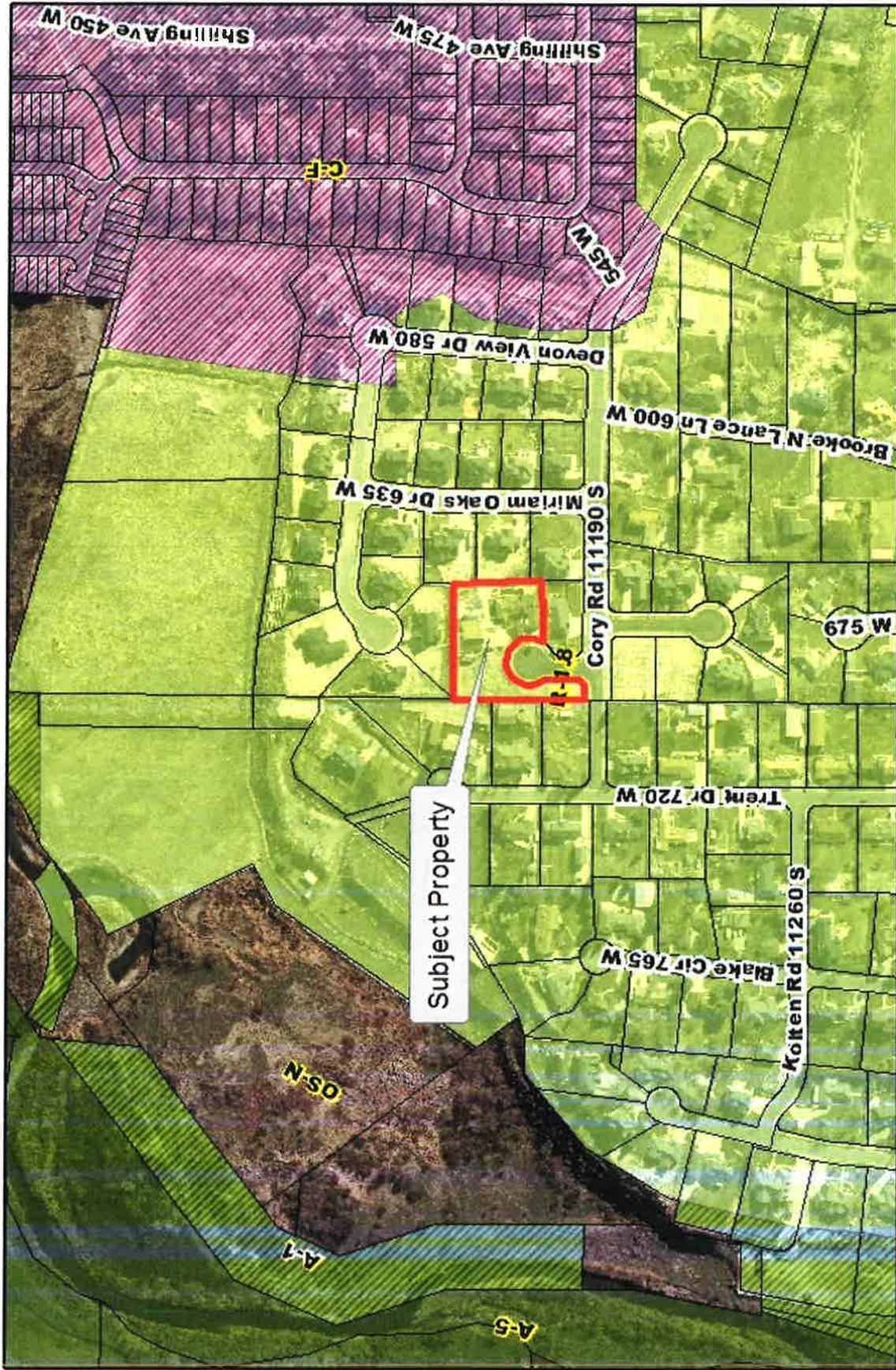
Aerial Imagery
2016



Aerial Map City of South Jordan

Legend

- STREETS
- PARCELS



Subject Property

Legend
 STREETS
 PARCELS

Zoning Map

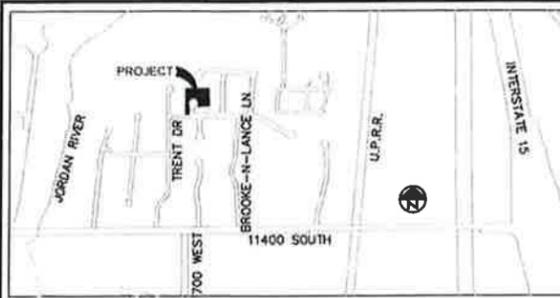
City of South Jordan

Aerial Imagery
 2016



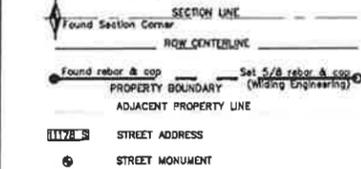
DALTON COVE SUBDIVISION

AMENDING PARCEL D OF ASPEN CREST PHASE 1
 LOCATED IN THE NORTH WEST QUARTER OF SECTION 24, TOWNSHIP 3 SOUTH, RANGE 1 WEST,
 WEST, SALT LAKE BASE AND MERIDIAN SOUTH JORDAN, SALT LAKE COUNTY, UTAH
 TAX ID NUMBER: 27-24-107-005



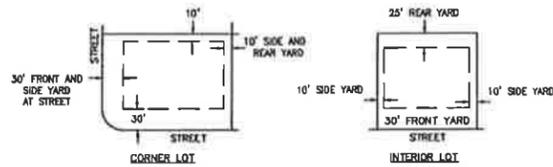
VICINITY MAP

LEGEND



TYPICAL LOT PUBLIC UTILITY EASEMENTS
 FRONT OF LOTS - 10 FEET
 REAR AND SIDE - 10 FEET TOTAL
 OR 5 FEET EACH SIDE

NOTE:
 FINISH FLOOR ELEVATIONS ARE NOT TO EXCEED
 FOUR FEET IN HEIGHT FROM THE TOP BACK OF
 CURB ELEVATION



TYPICAL BUILDING SETBACKS
 NO SCALE

LKC JORDAN VIEW
 ESTATES SUBDIVISION

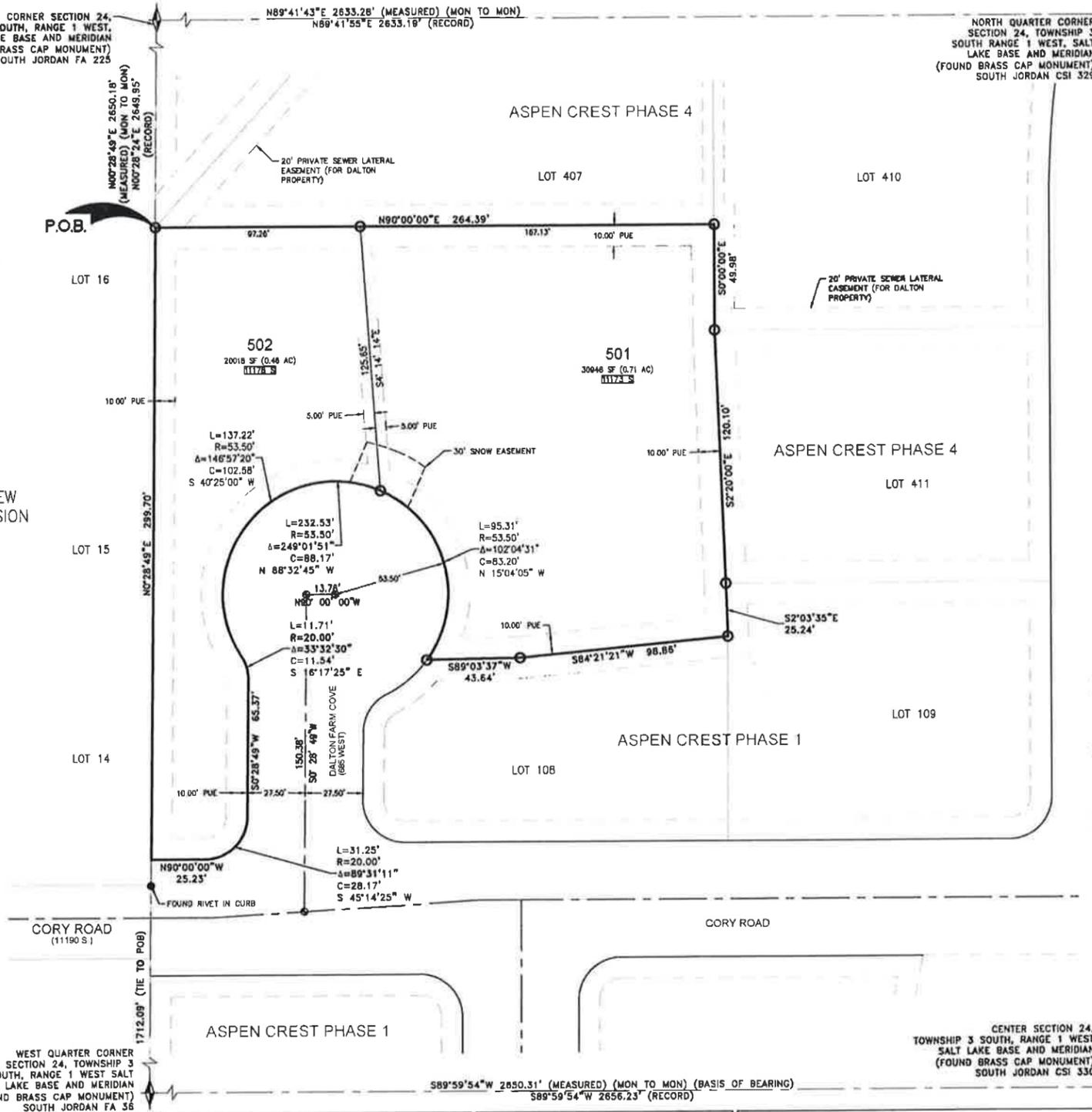
SOUTH JORDAN CITY NOTES:

OWNERS AND POTENTIAL PURCHASERS OF PROPERTY LEGALLY DESCRIBED BY THIS PLAT (THE "PROPERTY") SHOULD FAMILIARIZE THEMSELVES WITH ALL NOTES, LOT INFORMATION, EASEMENTS, AND OTHER PERTINENT INFORMATION CONTAINED WITH THIS PLAT AND ALSO WITH ANY CONDITIONS, COVENANTS AND RESTRICTIONS (CCAR) DOCUMENTS THAT MAY BE RECORDED AGAINST THE PROPERTY. OWNERS AND POTENTIAL PURCHASERS OF THE PROPERTY MUST COMPLY WITH ALL NOTES, EASEMENTS, COVENANTS, OR OTHER DOCUMENTS RECORDED AGAINST THE PROPERTY COULD RESULT IN FINANCIAL LOSS OR CHANGES IN EXPECTED PROPERTY USE.

MANY AREAS IN THE CITY OF SOUTH JORDAN HAVE GROUNDWATER PROBLEMS DUE TO A HIGH OR FLUCTUATING WATER TABLE. CITY APPROVAL OF THIS PLAT DOES NOT CONSTITUTE REPRESENTATION BY THE CITY THAT BUILDING AT ANY SPECIFIED ELEVATION WILL SOLVE GROUNDWATER PROBLEMS, IF ANY.

THE OWNER CERTIFIES THAT THE TITLE REPORT DATED _____ WHICH WAS PREPARED BY _____ WAS PROVIDED TO OWNER'S SURVEYOR AND THAT THE PLAT SHOWS ALL EASEMENTS AND ENCUMBRANCES LISTED IN SAID TITLE REPORT.

DEVELOPER:
 DOUGLAS C DALTON
 (801) 201-8544
 11173 S DALTON FARM COVE
 SOUTH JORDAN, UT 84095



<p>SOUTH VALLEY SEWER</p> <p>APPROVED THIS _____ DAY OF _____ A.D., 20____ BY SOUTH VALLEY SEWER</p> <p>_____ REPRESENTATIVE</p>	<p>BOARD OF HEALTH</p> <p>APPROVED THIS _____ DAY OF _____ A.D., 20____ BY THE BOARD OF HEALTH</p> <p>_____ REPRESENTATIVE</p>
--	--

CITY ENGINEER

I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE AND IS HEREBY APPROVED.

 CITY ENGINEER

 DATE

CITY PLANNER

APPROVED THIS _____ DAY OF _____ A.D., 20____

 CITY PLANNER

OFFICE OF THE CITY ATTORNEY

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D., 20____

 ATTORNEY FOR SOUTH JORDAN CITY

SOUTH JORDAN CITY MAYOR

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D., 20____

 ATTEST: CITY CLERK

 MAYOR

SURVEYOR'S CERTIFICATE:

I, SCOTT W. DERBY, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THE I HOLD CERTIFICATE NO. 186128 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF AND SUBDIVIDED THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW AS

DALTON COVE SUBDIVISION AMENDING PARCEL D OF ASPEN CREST PHASE 1

INTO LOTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

No 186128
 SCOTT W. DERBY
 PROFESSIONAL LAND SURVEYOR
 STATE OF UTAH

BOUNDARY DESCRIPTION:

A PORTION OF PARCEL "D" LOCATED WITHIN ASPEN CREST SUBDIVISION PHASE 1.

MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE NORTHWEST CORNER OF ASPEN CREST SUBDIVISION PHASE 1, SAID POINT BEING NORTH 07°28'40" EAST 1712.09 FEET FROM THE WEST QUARTER CORNER OF SECTION 24, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN AND BEARING THENCE EAST 294.39 FEET; THENCE SOUTH 48.88 FEET; THENCE SOUTH 02°20'00" EAST 120.10 FEET; THENCE SOUTH 02°53'53" EAST 23.24 FEET; THENCE SOUTH 84°21'21" WEST 98.86 FEET; THENCE SOUTH 89°03'37" WEST 43.64 FEET; THENCE SOUTH 232.43 FEET ALONG THE ARC OF A 63.50 FOOT NON-TANGENT RADIUS CURVE TO THE LEFT (CHORD BEARS NORTH 80°32'45" WEST 88.17 FEET; RADIUS POINT BEARS NORTH 84°01'50" WEST 53.00 FEET); THENCE 11.71 FEET ALONG THE ARC OF A 20.00 FOOT TANGENT RADIUS RADIUS CURVE TO THE RIGHT (CHORD BEARS SOUTH 18°17'25" EAST 11.04 FEET); THENCE SOUTH 02°28'40" WEST 82.33 FEET; THENCE 31.23 FEET ALONG THE ARC OF A 20.00 FOOT TANGENT RADIUS CURVE TO THE RIGHT (CHORD BEARS SOUTH 45°14'25" WEST 28.17 FEET); THENCE WEST 25.23 FEET; THENCE NORTH 07°28'40" EAST 299.70 FEET TO THE POINT OF BEGINNING.

CONTAINS 1.17 ACRES OR 50,996 SQ. FT.
 CONTAINS 2 LOTS.

BASIS OF BEARING:

THE BASIS OF BEARING FOR THIS SURVEY IS SOUTH 89°58'54" WEST FROM THE CENTER OF SECTION 24 TO THE WEST QUARTER CORNER OF SECTION 24, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.

GENERAL NOTES:

(1) REFER TO THE RECORD OF SURVEY ON FILE.
 (2) REVBETS WILL BE SET IN TBC AS EXTENSIONS OF LOT LINES FOR FRONT PROPERTY CORNERS.
 (3) 5/8" REBAR WITH WELDING ENGINEERING CAP WILL BE SET AT REAR PROPERTY CORNERS.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS TO BE HEREINAFTER KNOWN AS:

DALTON COVE SUBDIVISION
AMENDING PARCEL D OF ASPEN CREST PHASE 1

DO HEREBY DEDICATE FOR THE PERPETUAL USE OF SOUTH JORDAN CITY AND ITS ASSIGNS THE PARCELS OF LAND SHOWN ON THIS PLAT MARKED AND INTENDED FOR PUBLIC USE. IN WITNESS WHEREOF I HAVE HEREBY SIGNED THIS PLAT THIS _____ DAY OF _____, 20____ A.D.

By _____
 OWNER / MANAGER

INDIVIDUAL ACKNOWLEDGMENT

STATE OF UTAH
 COUNTY OF SALT LAKE

ON THE _____ DAY OF _____, 20____ A.D. PERSONALLY APPEARED BEFORE ME, _____ WHO BEING DULY SWORN OR AFFIRMED DID SAY THAT HE/SHE/THEY IS/ARE THE SIGNER(S) OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH
 COUNTY OF SALT LAKE

ON THE _____ DAY OF _____, 20____ A.D. PERSONALLY APPEARED BEFORE ME, _____ WHO BEING DULY SWORN OR AFFIRMED DID SAY THAT (S)HE IS THE _____ OF _____ OF _____ A CORPORATION AND THAT (S)HE SIGNED THE WITHIN OWNERS DEDICATION WITH THE AUTHORITY AND ON BEHALF OF SAID CORPORATION FREELY AND VOLUNTARILY AND FOR THE PURPOSES THEREIN STATED.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

ACKNOWLEDGMENT:

STATE OF UTAH
 COUNTY OF _____

ON THE _____ DAY OF _____, 20____ A.D. PERSONALLY APPEARED BEFORE ME, _____ WHO BEING DULY SWORN OR AFFIRMED, DID SAY THAT HE/SHE/THEY IS/ARE THE _____ OF _____ AND THAT THE WITHIN OWNERS DEDICATION WAS SIGNED BY THEM FREELY AND VOLUNTARILY AND FOR THE PURPOSES THEREIN STATED.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

DALTON COVE SUBDIVISION
AMENDING PARCEL D OF ASPEN CREST PHASE 1
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

SALT LAKE COUNTY RECORDER

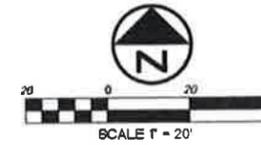
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____ DATE _____ ENTRY _____ BOOK _____ PAGE _____

FEE _____ SALT LAKE COUNTY RECORDER

NOV 16 2016

DALTON COVE SUBDIVISION

SITE AND UTILITY PLAN



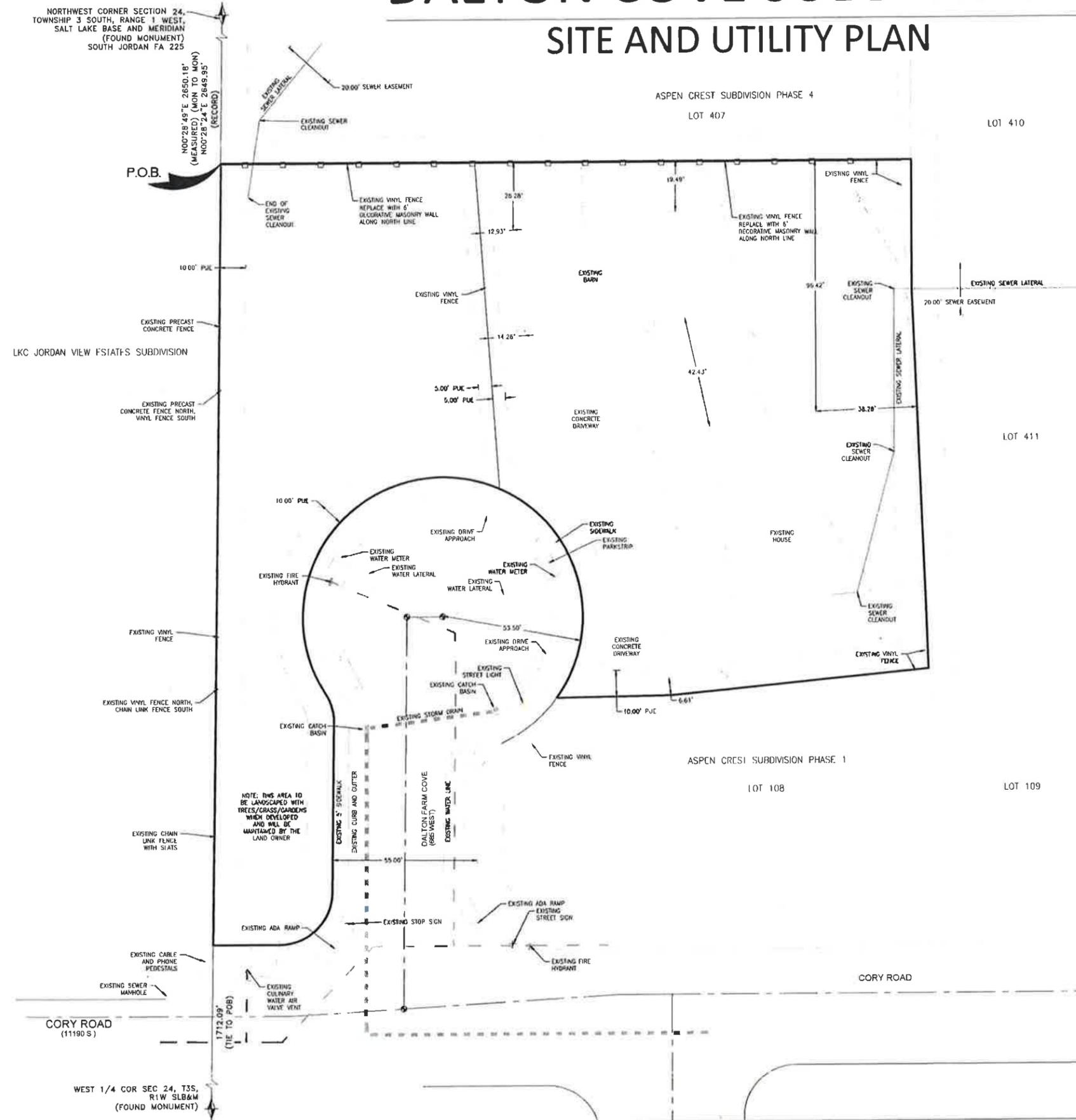
WILDING
ENGINEERING

14921 SOUTH HERFORD DREY WAY
BLUFFDALE, UTAH 84005
801.883.8113
WWW.WILDINGENGINEERING.COM

DRAWING NOTES:
NO IMPROVEMENTS ARE PROPOSED IN THE PUBLIC RIGHT-OF-WAY.
FLOOD MAP: #9035C0410 EFFECTIVE 09/25/2009. SITE IS LOCATED IN ZONE X.

LEGEND

SYMBOL	ITEM
—	EXISTING 1' CONTOUR LINE
- - -	EXISTING 5' CONTOUR LINE
—	EXISTING FENCE
- - -	PROPOSED FENCE
—	EXISTING WATER LINE
- - -	EXISTING STORM DRAIN LINE
- - -	EXISTING SEWER LINE
—	EXISTING BUILDINGS
●	FOUND MONUMENT



Know what's below. **811**
Call 811 before you dig.

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1 800-662-4111

RELEASE TO CLIENT	11/14/16
NO.	REVISION
	DATE

PROJECT INFORMATION

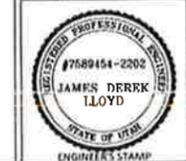
DALTON COVE

SITE AND UTILITY PLAN

SOUTH JORDAN, UTAH

DRAWN	CHECKED	PROJECT #
JDL	SWD	16204

DATE	11/14/2016
SCALE	1" = 20'
SHEET	C101



DEVELOPER:
DOUGLAS C DALTON
(801) 201-8546
11175 S DALTON FARM COVE
SOUTH JORDAN, UT 84095

S:\DRAWINGS\Dalton_Cove\DWG\16204_Base.dwg

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 12/13/2016

Issue: ELISON MEDICAL OFFICE BUILDING
SITE PLAN
Address: 3583 W. 9800 S.
File No: SP-2013.27
Applicant: NH Rather, Rather Architecture

Submitted by: Damir Drozdek, Planner III
Chris Clinger, Senior Engineer

Staff Recommendation (Motion Ready):

- **Approve** a site plan, File No. SP-2013.27, allowing for construction of a medical office building to be located at 3583 W. 9800 S.
-

ACREAGE:	Approximately 0.76 acres
CURRENT ZONE:	P-O (Professional - Office) Zone
CURRENT USE:	Undeveloped
FUTURE LAND USE PLAN:	O (Office Use)
NEIGHBORING ZONES/USES:	North – P-O / 9800 South South – R-2.5 / Single Family Residences West – P-O / UDOT parcel East – P-O / Chartway Federal Credit Union

BACKGROUND:

The proposed medical office building is located at the southeast corner of Bangerter Highway and 9800 S. It is located on a vacant lot immediately to the west of the existing Chartway Federal Credit Union. The building will be accessed off 9800 South and will share an access as well as parking with the neighboring credit union. There is an existing agreement between the two properties that addresses those two concerns. No access will be allowed off Bangerter Highway. All street improvements along the Bangerter Highway and 9800 South frontage are completed and none will be required with this project.

There is an existing masonry wall along the south boundary that divides the residential properties to the south from the commercial ones to the north. No other/additional fencing will be required. The front, side and the rear yard will be landscaped as per City Code. The parking area will be shaded with deciduous trees as prescribed by City requirements.

The proposed building is a two story structure with a pitched roof. The building is almost 30' tall. The exterior finishes include but are not limited to stone veneer, stucco and asphalt shingles. The building was reviewed and recommended for approval by the Architectural Review Committee on October 12th of 2016.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The proposed project meets the Development Code and Planning and Land Use requirements and standards.

- The project conforms with the following Goals and Policies of the General Plan:
 - Policy LU-3.1 Require commercial uses to meet development standards that promote attractive and compatible commercial development while providing needed services and economic benefits to the City.
 - Policy LU-3.3 Developments should be encouraged or required, depending on the underlying zone, to have architectural and site design orientation to the street, including the prohibition of parking lots between the building and the street.
 - Policy LU-3.9 Office uses should be encouraged in areas that provide buffers between residential uses and heavily used traffic arteries and other intense uses, and in locations that promote economic development and expansion of the employment base.

Conclusion:

- The proposed project will meet the Goals and Policies of the General Plan as well as meet the requirements of the Development and the Planning and Land Use Code.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

FISCAL IMPACT:

- Typically commercial developments demand less in services than they provide in revenue. This project should follow that trend.

ALTERNATIVES:

- Approve the Application with additional or amended conditions.
- Deny the Application.
- Schedule the Application for a decision at some future date.

SUPPORT MATERIALS:

- Aerial Map
- Zoning Map
- Site Plan C1
- Landscape Plan L-1
- Building elevations A-201
- Building elevations A-202
- Cross Easement Agreement: Book-9177, Pg-7014-7016



Damir Drozdek, AICP
Planner III
Development Services



Subject Property

Shields Ln 9800 S

Bangarter Hwy Southbound 3600 W
Bangarter Hwy Northbound 3600 W

9800 S

Garden Glen Rd 3525 W

- Legend**
- STREETS
 - PARCELS

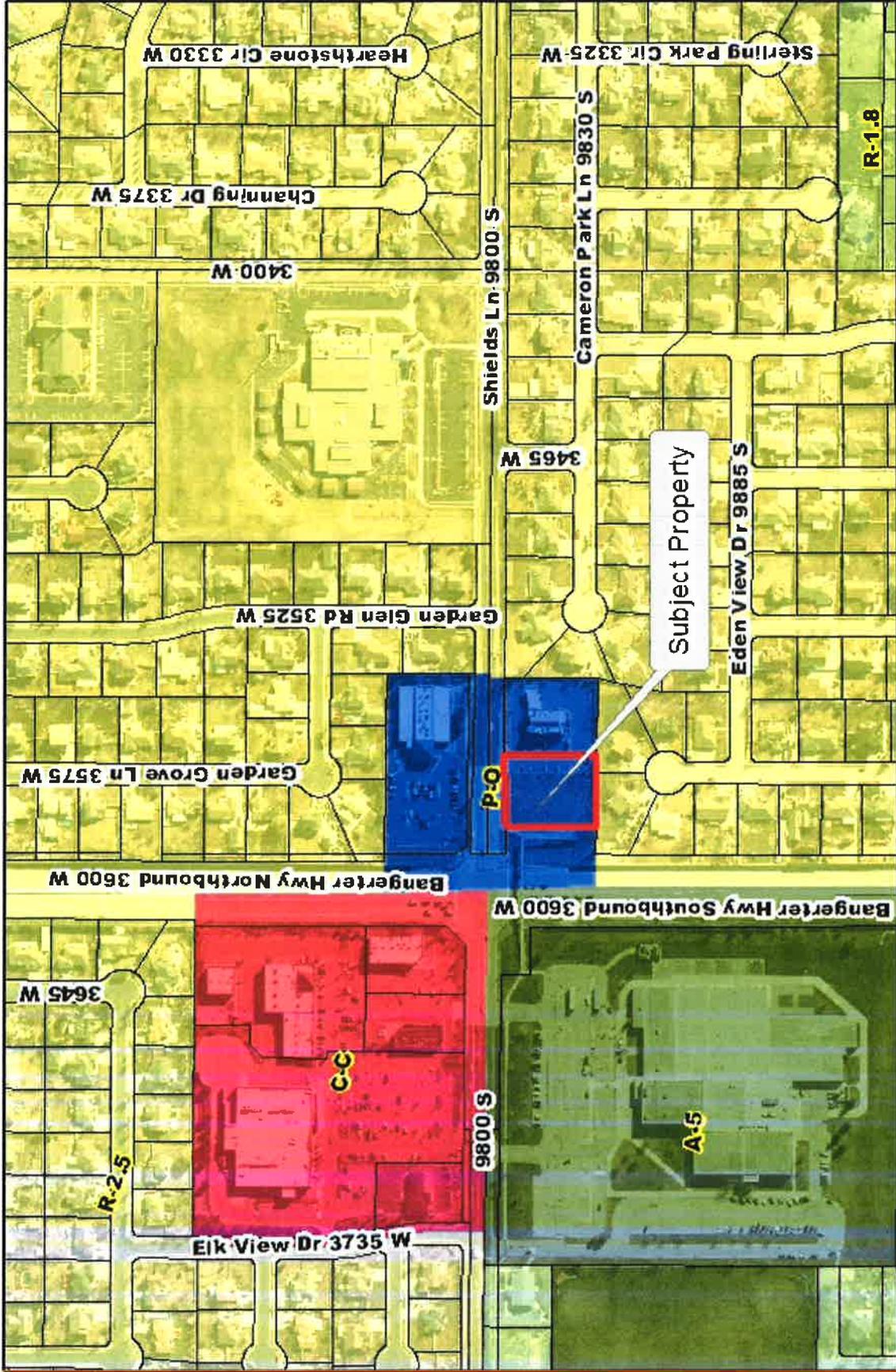


Aerial Imagery
April 2012



Aerial Map

City of South Jordan



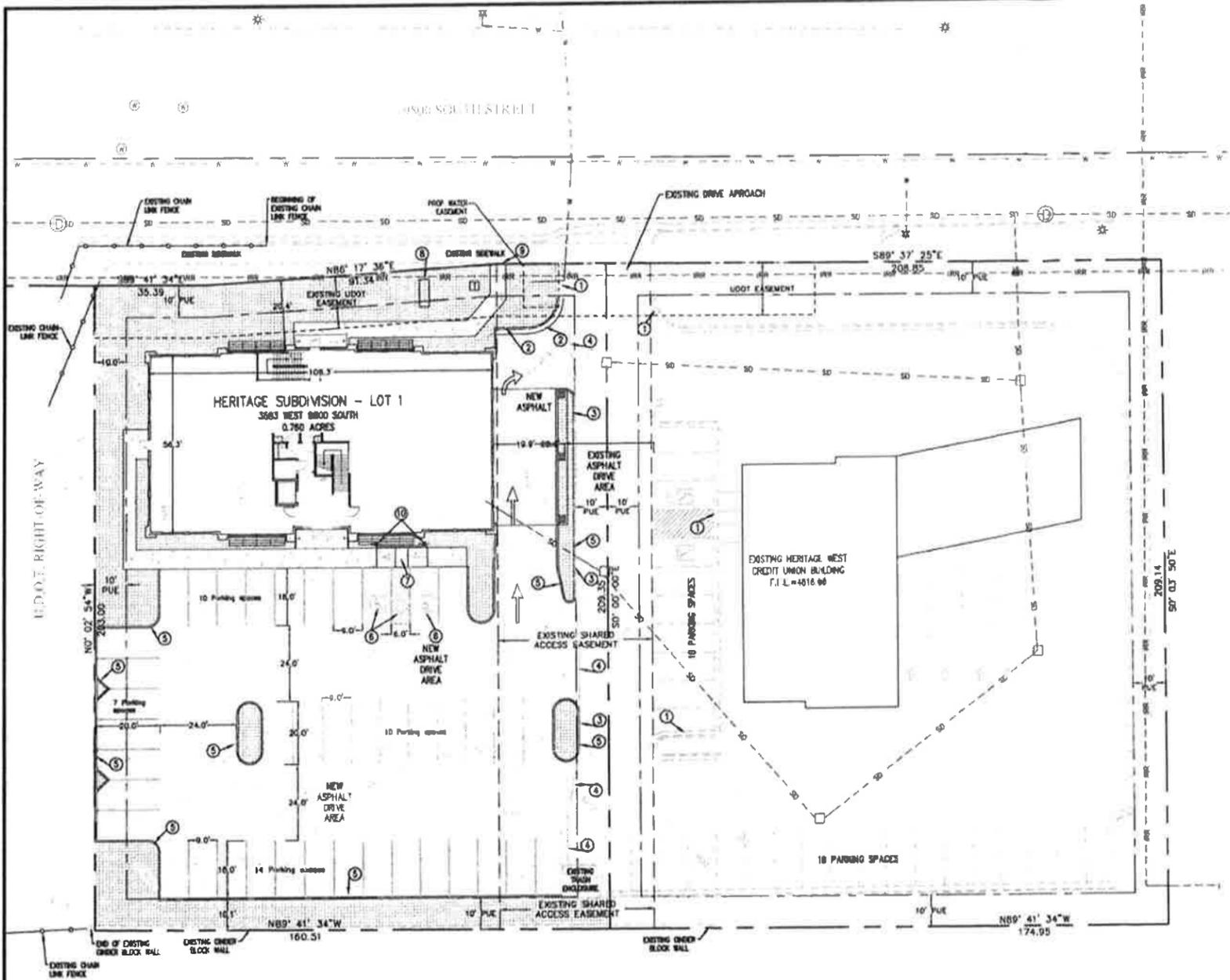
Zoning Map

City of South Jordan

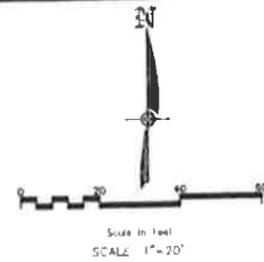
- Legend**
- STREETS
 - PARCELS

Aerial Imagery
2016





Project Data	
Site:	33,105 sf (approx)
Building Footprint:	8,280 sf
Building Size (2 floors):	12,560 sf
Total Landscaping:	6,960 sf
Total Asphalt:	15,720 sf



PARKING SUMMARY	
ELISON OFFICE BUILDING (LOT 1)	REQUIRED: 47 (5,703 SF OFFICE/300=19.0 STALLS AND 2,857 SF RETAIL PHARMACY/200=14.3 STALLS=46.4) PROVIDED: 43 (41 STALLS, AND 1 DRIVE THRU LANE WITH CAPACITY FOR 2 VEHICLES EACH AT 26' PER STALL=2 STALLS)
CREDIT UNION (LOT 2)	REQUIRED: 30 (9,000 SF OFFICE/300)
HERITAGE LOT 1 AND 2 (COMBINED)	REQUIRED: 77 PROVIDED: 81

- SITE PLAN NOTES:**
- ① EXISTING CURB & GUTTER
 - ② PROPOSED 24" REVERSE PAN CURB & GUTTER. SEE DETAIL 3/C4.
 - ③ TOP OF CURB TO BE INSTALLED 6" ABOVE EXISTING ASPHALT.
 - ④ NEW ASPHALT PAVEMENT SECTION TO MATCH TO EXISTING ASPHALT.
 - ⑤ PROPOSED 6" CURB. SEE DETAIL 2/C4.
 - ⑥ ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS.
 - ⑦ ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL SHEET C4.
 - ⑧ PROPOSED MONUMENT SIGN. SEE ARCHITECTURAL DRAWINGS FOR DETAILS. MUST HAVE A MINIMUM 3' SETBACK FROM PROPERTY LINE.
 - ⑨ CONNECT PROPOSED SIDEWALK TO EXISTING SIDEWALK. PROVIDE SMOOTH LEVEL CONNECTION.
 - ⑩ INSTALL ADA STALL POST/SIGN. SEE DETAIL 7/C4. INSTALLATION TO MEET ALL ADA AND CITY STANDARDS AND SPECIFICATIONS.

NO.	REVISIONS	BY	DATE

CIR
 ENGINEERING, I.L.L.C.
 3032 SOUTH 1030 WEST SUITE 202
 SLC, UTAH 84119-1001 (801) 949-6226

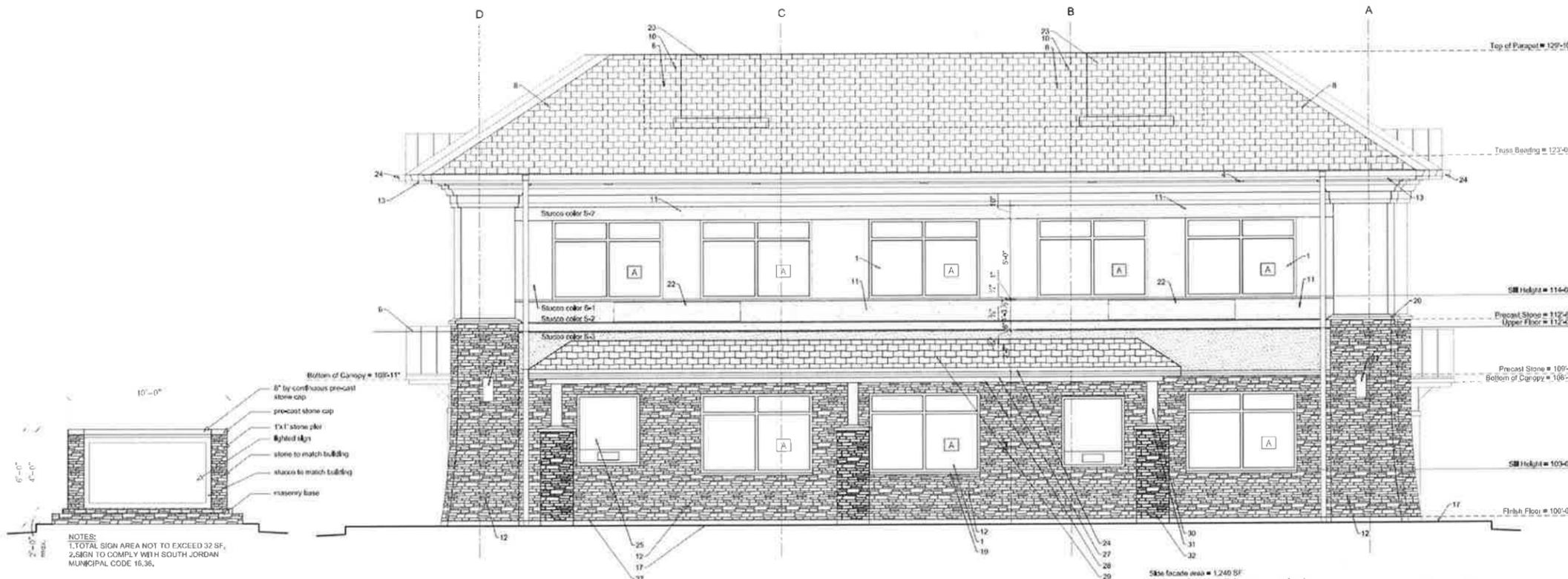
ELISON MEDICAL BUILDING
 3583 WEST 9800 SOUTH, SOUTH JORDAN, UTAH
 SITE PLAN



SHEET NO. C1
 PROJECT NO. 11002-D1 DATE: 09/26/16
 FILE NAME: SCALE: 1"=20'
 PRJ-EMB

Keyed Notes

- 1 Vinyl windows. Cream color.
- 2 Bronze aluminum storefront.
- 3 Glass panel door (part of storefront).
- 4 Lighting at soffit. See Lighting plan: sheet E.
- 5 Stucco system: (3) colors:
 1) Senergy Manor #4 100%, 2) Senergy Oatmeal 300%, and 3) Senergy Lunar 300%.
 Canopy. See detail.
- 6 Gable.
- 7 Asphalt shingles. Shingles are to be CertainTeed Weathered Wood.
- 8 Not used.
- 9 Mansard roof.
- 10 Stucco banding with decorative stucco reveal.
- 11 Synthetic stone veneer wainscot. Stone is to be 50% Pennsylvania LedgeStone by Dutch Quality Stone, and 50% Sagewood LedgeStone by Dutch Quality Stone.
- 12 Bronze aluminum fascia with vented soffit. (Bronze color)
- 13 Not used.
- 14 Not used.
- 15 Steel column wrapped with wood. Height = Varies, see elevations.
- 16 Finish grade.
- 17 Flashing. (bronze color)
- 18 Precast stone window sill. Harristone Precast 'Cream'
- 19 Precast stone cap. Harristone Precast 'Cream'
- 20 Decorative light fixture. See Lighting plan for locations and type.
- 21 Building wall sign area: All building wall signs to comply with South Jordan Municipal Code 16.36.100. Area of wall sign on front facade shall not exceed 10% of the area of the facade. Wall signs on rear and sides of building shall not exceed 5% of the area of the facade.
- 22 Rooftop HVAC units located on roof. Mansard roof parapet to provide screening for units.
- 23 Rain gutter.
- 24 Pharmacy drive-up window equipment.
- 25 Top of concrete foundation wall.
- 26 Metal covered 2x8 fascia.
- 27 4" drop-down at canopy ceiling. See Section 3/A303.
- 28 Canopy roof. Slope same as main roof.
- 29 Stucco covered steel column.
- 30 Precast manufactured stone column cap.
- 31 Manufactured stone at 2'x2' column.



Monument Sign
 Scale: 1/4" = 1'-0"
 See Civil for sign location

East Elevation
 Scale: 1/4" = 1'-0"

Side facade area = 1,240 SF
 Maximum allowable wall sign area on rear facade = 1,240 sf x .05% = 62 sf



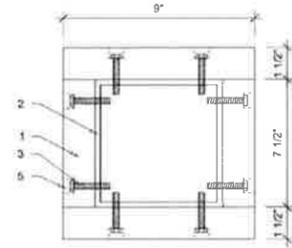
South Elevation
 Scale: 1/4" = 1'-0"

Rear facade area = 2,375 SF
 Maximum allowable wall sign area on rear facade = 2,375 sf x .05% = 118 sf

Keyed Notes

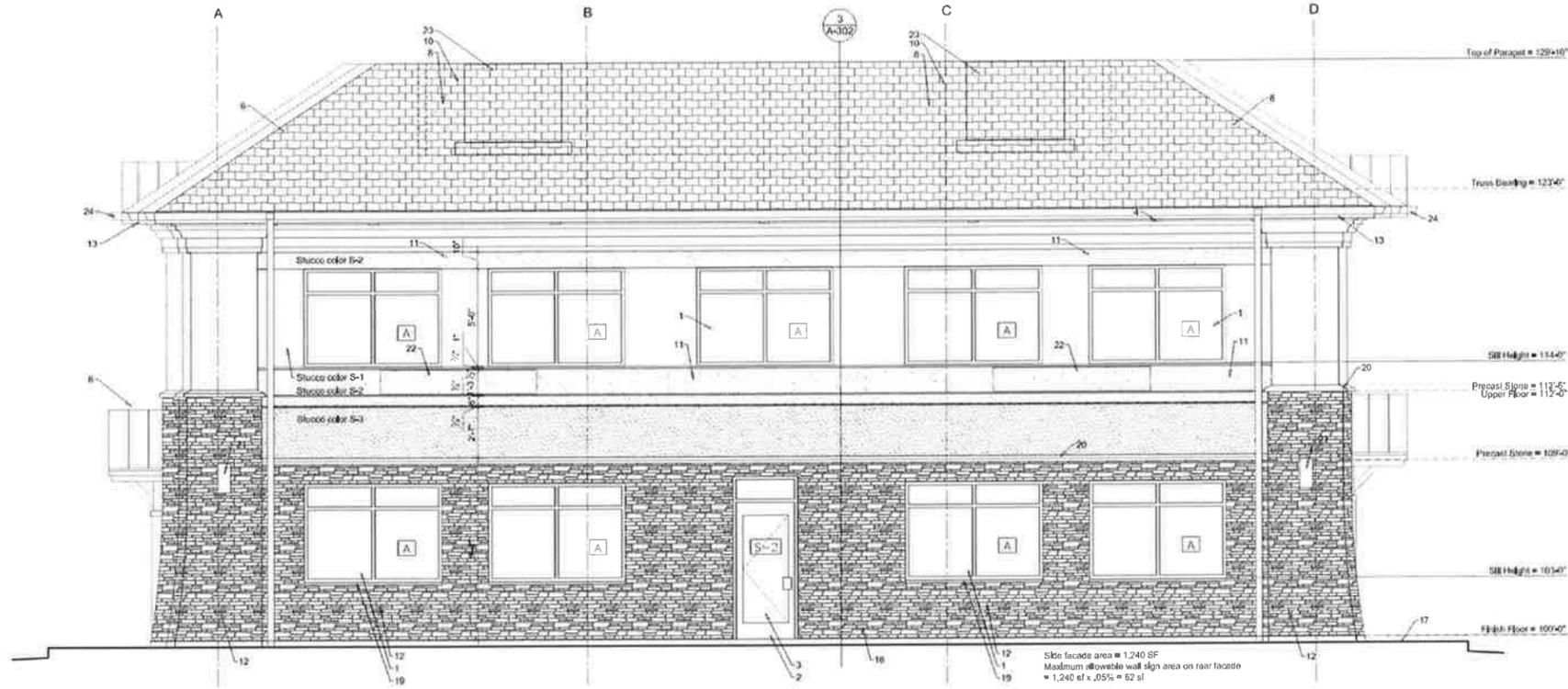
- 1 Vinyl windows. Cream color.
- 2 Bronze aluminum storefront.
- 3 Glass panel door (part of storefront).
- 4 Lighting at soffit. See Lighting plan: sheet E.
- 5 Stucco system: (3) colors:
 1) Senergy Manor #4 100%, 2) Senergy Oatmeal 300%, and 3) Senergy Lunar 300%.
- 6 Canopy. See detail.
- 7 Gable.
- 8 Asphalt shingles. Shingles are to be CertainTeed Weathered Wood.
- 9 Not used.
- 10 Mansard roof.
- 11 Stucco banding with decorative stucco reveal.
- 12 Synthetic stone veneer wainscot. Stone is to be 50% Pennsylvania LedgeStone by Dutch Quality Stone, and 50% Sagewood LedgeStone by Dutch Quality Stone.
- 13 Bronze aluminum fascia with vented soffit. (Bronze color)
- 14 Not used.
- 15 Not used.
- 16 Steel column wrapped with wood. Height = Varies, see elevations.
- 17 Finish grade.
- 18 Flashing. (bronze color)
- 19 Precast stone window sill. Harristone Precast 'Cream'.
- 20 Precast stone cap. Harristone Precast 'Cream'
- 21 Decorative light fixture. See Lighting plan for locations and type.
- 22 Building wall sign area: All building wall signs to comply with South Jordan Municipal Code 16.36.100. Area of wall sign on front facade shall not exceed 10% of the area of the facade. Wall signs on rear and sides of building shall not exceed 5% of the area of the facade.
- 23 Rooftop HVAC units located on roof. Mansard roof parapet to provide screening for units.

Clear for 2x attached to 6x6 steel column. See detail 1/A-203. 6x6 steel column. 3/16" stainless steel hex bolts with washer. (Bolts are to be counter sunk.) Steel cap. Counter sink hole for hex bolts.



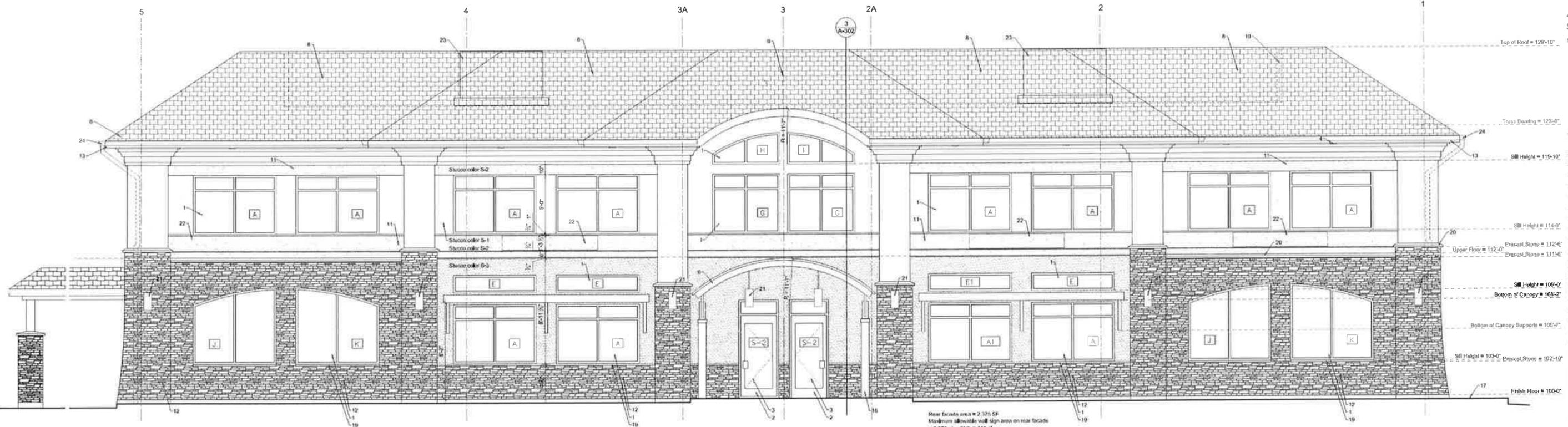
2 Column Wrap Detail
 Scale: 1" = 1'-0"

1 Column Wrap Detail
 Scale: 3" = 1'-0"



West Elevation
 Scale: 1/4" = 1'-0"

Side facade area = 1,240 SF
 Maximum allowable wall sign area on rear facade = 1,240 sf x .05% = 62 sf



North Elevation
 Scale: 1/4" = 1'-0"

Rear facade area = 2,375 SF
 Maximum allowable wall sign area on rear facade = 2,375 sf x .05% = 118 sf

JUN-27-05 MON 02:11 PM

9469116

FAX NO.

P. 03

When Recorded Mail To:
Tooele Federal Credit Union
562 North Main Street
Tooele, Utah 84074

CROSS EASEMENT AGREEMENT

ETA # 2181025

The undersigned, Tooele Federal Credit Union (hereinafter referred to as the "Credit Union") and Southeast Bangerter Property Group, L.L.C. (hereinafter referred to as the "Company") hereby warrant, represent, covenant and agree as follows:

1. Purpose of Agreement. The parties are owners of adjoining properties located at approximately 3600 West 9800 South, South Jordan, Salt Lake County, Utah. The parties desire to provide for a cross easement on certain property for the use and benefit of each of the parties. This cross easement is created to operate in accordance with this agreement.

2. Property Subject to Cross Easement. The property subject to this cross easement (the "Subject Property") is located in Salt Lake County, Utah. The property is more particularly described as follows: 27-08-401-005
SEE ATTACHED EXHIBIT "A"

~~BEGINNING AT A POINT WHICH IS SOUTH 0° 03' 50" EAST 34.75 FEET AND EAST 189.36 FEET FROM THE CENTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE NORTH 86° 17' 36" EAST 1.79 FEET; THENCE SOUTH 89° 17' 25" EAST 48.21 FEET; THENCE DUE SOUTH 209.33 FEET; THENCE NORTH 89° 41' 34" WEST 50.00 FEET; THENCE DUE NORTH 209.27 FEET TO THE POINT OF BEGINNING.~~

3. Easement for Ingress and Egress and Parking. Each party shall have the right of ingress over and across the property of the other for all reasonable purposes. The right of ingress and egress shall apply for employees, agents, business invitees and others using the property to obtain access to the adjoining property. This right of ingress and egress shall continue until terminated by the agreement of both parties. The parties shall have the right to use the driveway from 9800 South as well as the parking on the Subject Property.

4. Dumpster Location. The parties have designated a location near the southeast corner of the Subject Property for a dumpster. This dumpster may be used by both parties. However, the dumpster may only be used for regular waste and not for medical waste.

5. Developments or Modifications. In the event of development or modification of the use of the property, this cross easement may be modified subject to approval of South Jordan, Salt Lake County and any other governmental agencies or entities with proper authority.

6. Reasonable Restrictions. The parties may by mutual agreement place reasonable restrictions on the Subject Property. These reasonable restrictions shall include, but not be limited to, direction of travel, speed of travel, use of parking and similar restrictions.

7. Maintenance. The Credit Union shall be responsible for maintaining the Subject Property. The Company shall be responsible to reimburse the Credit Union for 1/2 of the costs of maintenance. Maintenance shall include maintenance of asphalt and concrete, snow removal and maintaining the general condition of the property. The Credit Union shall be responsible for determination of the required maintenance and repairs. Each party shall pay the real property

1 9469116
8/23/2005 2:53:00 PM \$15.00
Book - 9177 Pg - 7014-7016
Gary W. Ott
Recorder, Salt Lake County, UT
EQUITY TITLE
BY: eCASH, DEPUTY - EF 3 P.
97%

taxes, assessments and fees for the party's own property.

8. Agreement to Hold Harmless and Indemnify. Each party hereby agrees to hold harmless and indemnify the other from any and all liability, damages or claims made against a party by a person using the Subject Property in connection with business with the indemnifying party.

9. Applicable Law. This agreement involves property located in Salt Lake County, Utah. This easement shall be interpreted and enforced in accordance with Utah law.

10. Agreement Valid When Approved and Signed. This cross easement agreement is deemed to be in force once the application to subdivide the property has been legally approved by the City of South Jordan and after both the seller(s) and buyer(s) have signed this agreement as part of the closing and transfer of ownership of the entire property being purchased.

11. Covenant to Run with the Land. The cross easement created hereby is a covenant which shall run with the land. The cross easement shall apply upon the sale or transfer of either property.

Dated this 22 day of ^{August} ~~June~~, 2005.

TOOLE FEDERAL CREDIT UNION

[Signature]
STEVEN D. CHRISTENSEN, PRESIDENT

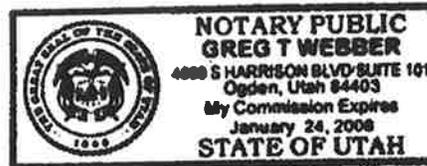
Subscribed and sworn to before me this 22 day of ^{August} ~~June~~, 2005.

[Signature]
Notary Public residing at:

My Commission Expires:

Jan. 24, 2008

Dated this 22 day of ^{August} ~~June~~, 2005.



SOUTHEAST BANGERTER PROPERTY GROUP, L.L.C.

[Signature]
TIMOTHY ELISON, MANAGING MEMBER
DAVID A. STETTLER

Subscribed and sworn to before me this 22 day of ^{August} ~~June~~, 2005.

[Signature]
Notary Public residing at:

My Commission Expires:

2

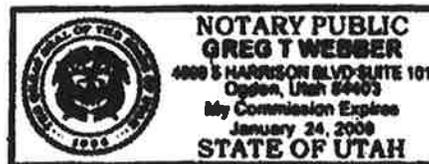


EXHIBIT "A"

**LOT 1 AND LOT 2 OF HERITAGE SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT
THEREOF ON FILE AND OF RECORD IN THE SALT LAKE COUNTY RECORDER'S OFFICE.**

**SOUTH JORDAN CITY
PLANNING COMMISSION REPORT**

Meeting Date: 12/13/2016

Applications: TARGET AT THE DISTRICT SUBDIVISION/JC PENNEY AT THE DISTRICT SUBDIVISION/
THE DISTRICT SUBDIVISION AMENDMENT

Address: Approx. 11500 South Bangerter Hwy
File No: SUB-2016.77, SUB-2016.78, & SUB-AMEND-2016.76
Applicant: David Anderson

Submitted By: David Mann, Planner II
Jared Francis, Senior Engineer

Staff Recommendation (Motion Ready): That the Planning Commission **approve** the following:

- File no. SUB-2016.77, a 2-lot preliminary subdivision of real property located at 11552 S District Drive.
 - File no. SUB-2016.78, a 2-lot preliminary subdivision of real property located at 11525 S District Drive.
 - File no. SUB-AMEND-2016.76, amending The District subdivision generally located at 11500 South Bangerter Hwy.
-

ACREAGE:	53.6 acres
CURRENT ZONE:	BH-MU
CURRENT USE:	Shopping Center
FUTURE LAND USE PLAN:	Corridor
NEIGHBORING LU DESIGNATIONS, (ZONING)/USES	North - Corridor, (BH-MU) / The District South - Corridor, (BH-MU)/ Residential Multi-Family East - Office/Public/Rural, (P-O/R-1.8)/ Low-Density Residential & Paradigm High School West - Commercial/Office, (C-C/P-O) / Oquirrh Mountain Marketplace

BACKGROUND & ANALYSIS:

David Anderson has filed an application for two 2-lot commercial subdivisions and one subdivision amendment on property generally located at 11500 South Bangerter Hwy. Both the Target and JC Penny subdivision will create one retail pad in each parking lot area adjacent to each building. The District subdivision amendment is amending lots 13, 14, and 18 of the original subdivision to create a total of 6 lots. Three of the lots on the amended plat could be developed as retail pad sites. The proposed subdivisions and subdivision amendment meet the requirements of the South Jordan Municipal Code and the BH-MU Zone. The Planning Commission may approve a plat amendment if (1) there is good cause; and (2) no public street, right-of-way, or easement is being amended.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

- There are no lot size or lot frontage requirements in the BH-MU zone.
- Future developments will need to undergo a site plan review process and meet the requirements of The District Master Plan and associated development agreement.
- Staff has found there is good cause to approve the subdivision amendment since it will make better use of existing parking facilities. No public street, ROW, or easement will be amended by the proposed subdivision amendment.

Conclusion:

- Based on the application materials and the findings listed above, the proposal is consistent with the City's General Plan and with the purposes and objectives of the pertinent sections of the City's Development Code and Planning and Land Use Code (specifically section 17.70).

Recommendation:

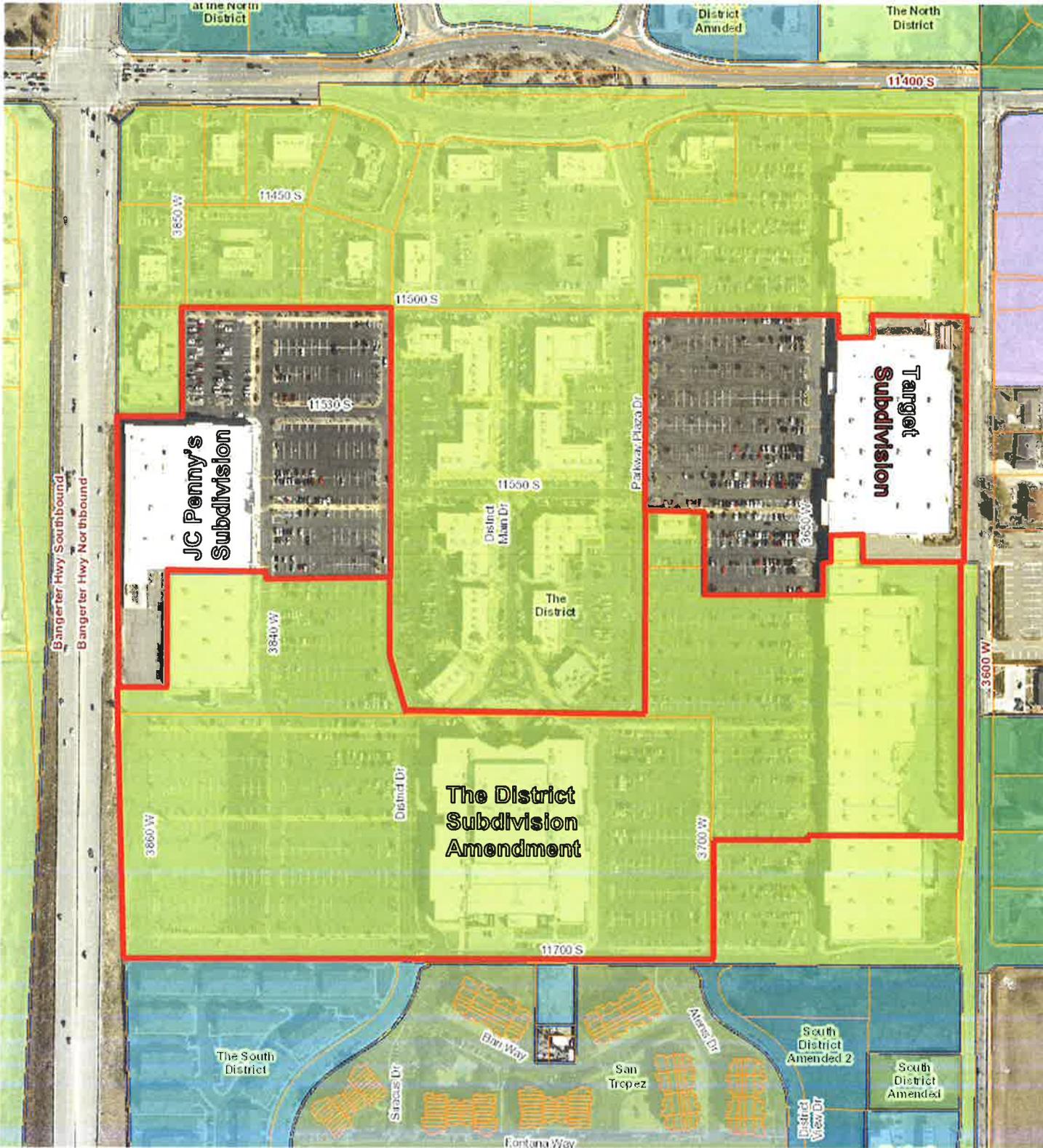
- Based on the Findings and Conclusion listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** File No. SUB-2016.77, SUB-2016.78, and SUB-AMEND-2016.76 for commercial subdivisions located at approximately 11500 S Bangerter Hwy, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Deny the application.
- Propose modification(s) to the application.
- Schedule the application for a decision at some future date.

SUPPORT MATERIALS:

- Location Map
- Subdivision Plats



15-137 Amended Lots 509

Legend

- ARP
Salt Lake County Area Reference Plat
Section Corner
Property Line
Easement Line
Centerline
Section Line
5/8" Rebar 24" Long with AWA Cap or Nail with AWA brass tag to be set



ANDERSON WAHLEN & ASSOCIATES

2010 North Redwood Road, Salt Lake City, Utah 84116
801 521-8529 - AWEngineering.net

Scale: 1" = 100'

The District Amended

A Commercial Subdivision
Amending lots 13, 14 and 18 of The District - A Commercial Subdivision
Part of the Southwest 1/4 of Section 20,
Township 3 South, Range 1 West, Salt Lake Base and Meridian, U.S. Survey
South Jordan City, Salt Lake County, Utah
2016

11400 South Street

Narrative

This Survey and Subdivision plat was requested by Mr. Wade Williams of the Boyer Company for purpose of platting 6 Commercial Lots.
A line between monuments found for the South Quarter Corner and the Center of Section 20 was assigned the Salt Lake County Area Reference Plat bearing of N 0°00'42" E as the Basis of Bearings.
This property was previously surveyed in 2004 by Great Basin Engineering - South and that survey along with the underlying subdivision have been honored.

Developer

Boyer Company
Wade Williams
90 South 400 West, Suite 200
Salt Lake City, Utah 84101
phone: 801-521-4781

South Valley Sewer District Notes:

- 1. The signature of South Valley Sewer District on this plat does not constitute any guarantee of availability of sanitary sewer service to the property or any approval of sewer lines or facilities.
2. Shallow Sewer Depth Contractor shall verify sewer lateral depth and set foundation elevation to provide adequate fall into sewer lateral. Buildings with a basement may not have sewer service available for basement.

Surveyor's Certificate

I, Bruce D. Pimper, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 362256 as prescribed under the Laws of the State of Utah. I further certify that by the authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as The District Amended - A Commercial Subdivision. And that the same has been correctly surveyed and staked on the ground as shown on this plat.

Boundary Description

All of Lots 13, 14 and 18, The District - A Commercial Subdivision, according to the official plat thereof, filed in Book "20077" of Plats, at Page 312 of the Official Records lying within the Southwest Quarter of Section 20, Township 3 South, Range 1 West, Salt Lake Base and Meridian, U.S. Survey in Salt Lake County, Utah and described metes and bounds as follows:

Beginning at the Northeast Corner of Lot 17 of said Subdivision on the West Line of 3600 West Street located 931.95 feet North 0°00'42" East along the Quarter Section Line and 35.50 feet North 89°59'18" West from the South Quarter Corner of said Section 20; and running thence along the boundaries of said Lot 17 the following four courses: North 89°59'18" West 356.62 feet; South 0°00'42" West 14.55 feet; North 89°59'18" West 221.37 feet to the Northwest Corner of said Lot 17; and South 0°00'42" West 291.00 feet to the Southwest Corner of said Lot 17 on the Northerly Line of the South District Subdivision; thence along the Northerly Line of said Subdivision the following three courses: North 89°59'18" West 642.74 feet; North 84°59'59" West 80.50 feet; and North 89°59'18" West 617.64 feet to the Easterly Line of the Bangerter Highway; thence North 2°00'49" East 627.89 feet along said Easterly Line; thence South 89°59'18" East 112.76 feet; thence North 0°00'42" East 263.50 feet; thence South 89°59'18" East 221.47 feet; thence South 0°00'42" West 11.50 feet; thence South 89°59'18" East 286.54 feet to the Westerly Line of Lot 12 of said The District Subdivision; thence along said Westerly Line the following two courses: South 0°00'42" West 166.58 feet; and South 16°34'54" East 153.30 feet to the Southwest Corner of Lot 12 of said The District Subdivision; thence South 89°59'18" East 540.55 feet along the Southerly Line of Lot 12 to the Southeast Corner of said Lot 12; thence North 0°00'42" East 345.00 feet along the East Line of said Lot 12; thence South 89°59'18" East 156.50 feet; thence North 0°00'42" West 63.00 feet; thence South 89°59'18" East 272.54 feet; thence North 0°00'42" West 78.99 feet; thence South 89°59'18" East 326.63 feet to the West Line of 3600 West Street as it exists at 35.50 foot half-width; thence South 0°00'42" West 628.44 feet along said West Street to the point of beginning.

Contains 7,740,765 sq. ft. or 176.80 acres in 6 Lots
PRELIMINARY
Bruce D. Pimper
Utah PLS No. 362256

Owner's Dedication

Know all men by these presents that the undersigned owner(s) of the above described tract of land, having caused the same to be subdivided into lots and streets to be hereafter known as The District Amended - A Commercial Subdivision do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for public use.

In witness whereof We have hereunto set Our hands this ___ day of ___ AD, 2016.
The District, L.C. Arbor Commercial Realstate, L.L.C.

Acknowledgment

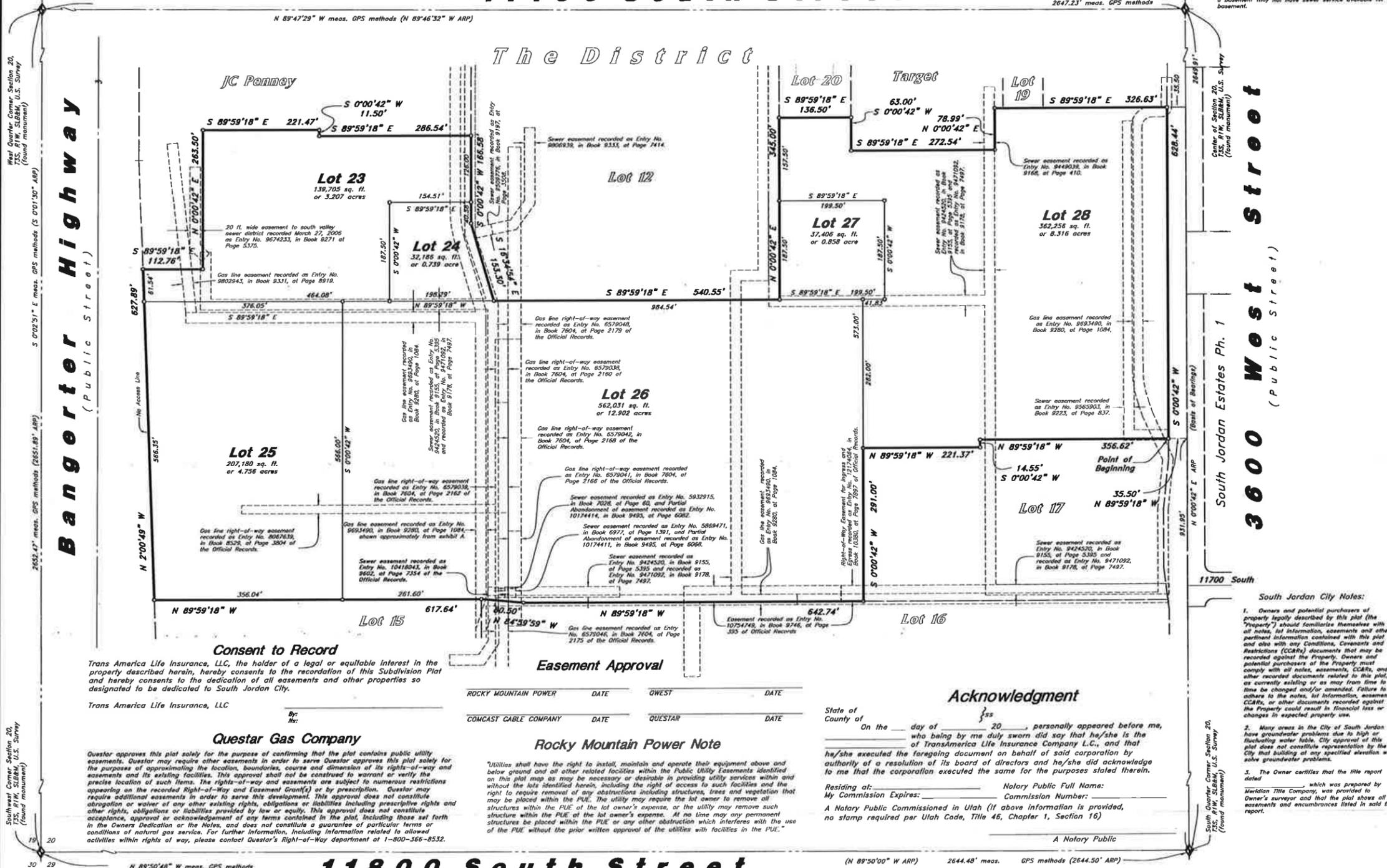
State of County of
On the ___ day of ___ 20___, personally appeared before me, ___ who being by me duly sworn did say that he/she is the ___ of The Boyer Company L.C., which is manager of Boyer District Holdings L.C., which is manager of The District L.C., and that he/she executed the foregoing document on behalf of said corporation by authority of a resolution of its board of directors and he/she did acknowledge to me that the corporation executed the same for the purposes stated therein.

Acknowledgment

State of County of
On the ___ day of ___ 20___, personally appeared before me, ___ who being by me duly sworn did say that he/she is the ___ of Arbor Commercial Realstate, L.L.C., and that he/she executed the foregoing document on behalf of said corporation by authority of a resolution of its board of directors and he/she did acknowledge to me that the corporation executed the same for the purposes stated therein.

The District Amended

A Commercial Subdivision
Amending Lots 13, 14 and 18 of The District - A Commercial Subdivision
Part of the Southwest 1/4 of Section 20,
Township 3 South, Range 1 West, Salt Lake Base and Meridian, U.S. Survey
South Jordan City, Salt Lake County, Utah



Consent to Record

Trans America Life Insurance, LLC, the holder of a legal or equitable interest in the property described herein, hereby consents to the recordation of this Subdivision Plat and hereby consents to the dedication of all easements and other properties so designated to be dedicated to South Jordan City.

Easement Approval

Table with columns: ROCKY MOUNTAIN POWER, COMCAST CABLE COMPANY, DATE, QUEST, DATE

Questar Gas Company

Questar approves this plat solely for the purpose of confirming that the plat contains public utility easements. Questar may require other easements in order to serve Questar's gas distribution system and its existing facilities.

Rocky Mountain Power Note

Utilities shall have the right to install, maintain and operate their equipment above and below ground and all other related facilities within the Public Utility Easements identified on this plat map as may be necessary or desirable in providing utility services within and without the lots identified herein.

Acknowledgment

State of County of
On the ___ day of ___ 20___, personally appeared before me, ___ who being by me duly sworn did say that he/she is the ___ of TransAmerica Life Insurance Company L.C., and that he/she executed the foregoing document on behalf of said corporation by authority of a resolution of its board of directors and he/she did acknowledge to me that the corporation executed the same for the purposes stated therein.

South Jordan City Notes:

- 1. Owners and potential purchasers of property legally described by this plat (the "Property") should familiarize themselves with all notes, lot information, easements and other pertinent information contained within this plat and also with any Covenants, Conditions and Restrictions (CCRs) documents that may be recorded against the Property.
2. Many areas in the City of South Jordan have groundwater problems due to high or fluctuating water table. City approval of this plat does not constitute representation by the City that building at any specified elevation will solve groundwater problems.

South Valley Sewer District

Board of Health

South Jordan City Engineer

South Jordan City Attorney

Planning Department

South Jordan City Approval

Recorded #

Approval and recording information section with fields for dates, signatures, and recorded details.

J.C. Penney at The District Subdivision

Part of the Southwest 1/4 of Section 20,
Township 3 South, Range 1 West, Salt Lake Base and Meridian, U.S. Survey
South Jordan City, Salt Lake County, Utah
2016

Legend

- APP Salt Lake County Area Reference Plot
- Section Corner
- Property Line
- Easement Line
- Centerline
- Section Line
- 5/8" Rebar 24" Long with AWA Cap or Nail with AWA brass tag to be set

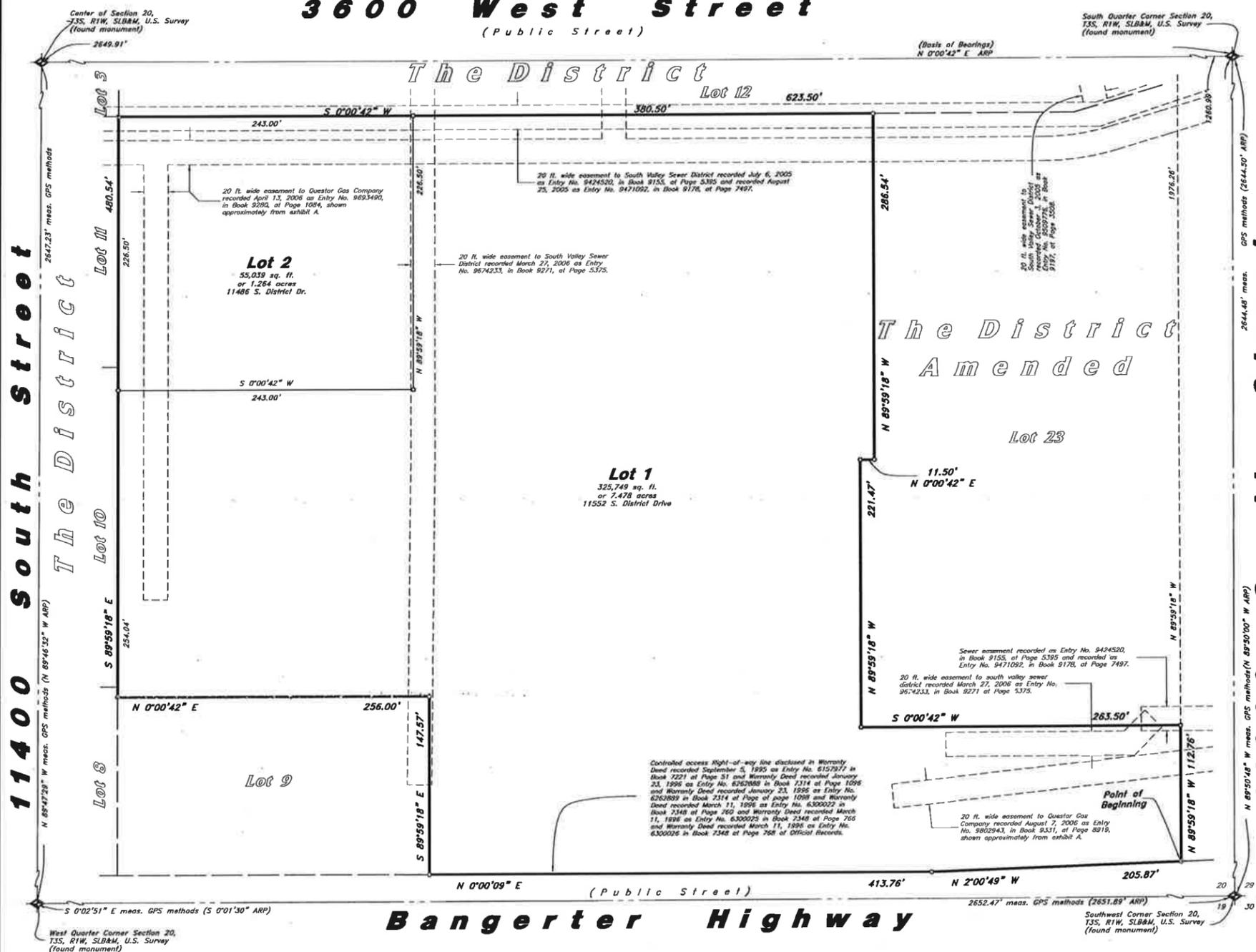


Scale: 1" = 50'



3600 West Street

(Public Street)



Narrative

This Survey and Subdivision plat was requested by Mr. Wade Williams of the Boyer Company for purpose of platting 2 commercial lots.

A line between monuments found for the South Quarter Corner and the Center of Section 20 was assigned the Salt Lake County Area Reference Plot bearing of N 0°00'42" E as the Basis of Bearings.

This property was previously surveyed in 2004 by Great Basin Engineering - South and that survey along with the underlying subdivision have been honored.

Questar Gas Company

Questar approves this plat solely for the purpose of confirming that the plat contains public utility easements. Questar may require other easements in order to serve Questar approves this plat solely for the purposes of approximating the location, boundaries, course and dimension of its rights-of-way and easements and its existing facilities. This approval shall not be construed to warrant or verify the precise location of such items. The rights-of-way and easements are subject to numerous restrictions appearing on the recorded Right-of-Way and Easement (ROWE) or by prescription. Questar may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities including prescriptive rights and other rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat, including those set forth in the Owners Dedication or the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information, including information related to allowed activities within rights of way, please contact Questar's Right-of-Way department at 1-800-366-8532.

South Jordan City Notes:

1. Owners and potential purchasers of property legally described by this plat (the "Property") should familiarize themselves with all notes, lot information, easements and other pertinent information contained within this plat and also with any Conditions, Covenants and Restrictions (CC&R) documents that may be recorded against the Property. Owners and potential purchasers of the Property must comply with all notes, easements, CC&R, and other recorded documents related to this plat, as currently existing or as may from time to time be changed and/or amended. Failure to adhere to the notes, lot information, easements, CC&R, or other documents recorded against the Property could result in financial loss or changes in expected property use.
2. Many areas in the City of South Jordan have groundwater problems due to high or fluctuating water table. City approval of this plat does not constitute representation by the City that building of any specified structure will solve groundwater problems.
3. The Owner certifies that the title report dated _____ which was prepared by Meridian Title Company, was provided to Owner's surveyor and that the plat shows all easements and encumbrances listed in said title report.

South Valley Sewer District Notes:

1. The signature of South Valley Sewer District on this plat does not constitute any guarantee of quality of sanitary sewer service to the property or any approval of sewer lines or facilities. The owner(s) of the property must provide satisfactory plans to the Sewer District for review and approval before connecting to the District's sewer system and will be required to comply with the District's rules and regulations.
2. Shallow Sewer Depth Contractor shall verify sewer lateral depth and set foundation elevation to provide adequate fall into sewer lateral. Buildings with a basement may not have sewer service available for basement.

Rocky Mountain Power Note

Utilities shall have the right to install, maintain and operate their equipment above and below ground and all other related facilities within the Public Utility Easements identified on this plat map as may be necessary or desirable in providing utility services within and without the lots identified herein, including the right of access to such facilities and the right to require removal of any obstructions including structures, trees and vegetation that may be placed within the PUE. The utility may require the lot owner to remove all structures within the PUE at the lot owner's expense, or the utility may remove such structure within the PUE at the lot owner's expense. At no time may any permanent structures be placed within the PUE or any other obstruction which interferes with the use of the PUE without the prior written approval of the utilities with facilities in the PUE.

Easement Approval

QUESTAR	DATE
ROCKY MOUNTAIN POWER	DATE
COMCAST CABLE COMPANY	DATE
QUEST	DATE



ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801 521-8529 - AWengineering.net

Developer

Boyer Company
Wade Williams
90 South 400 West, Suite 200
Salt Lake City, Utah 84101
Phone: 801-521-4781

Surveyor's Certificate

I, Bruce D. Pimpar, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 362256 as prescribed under the Laws of the State of Utah. I further certify that by the authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as

J.C. Penney at The District Subdivision

And that the same has been correctly surveyed and staked on the ground as shown on this plat.

Boundary Description

A part of the Southwest Quarter of Section 20, Township 3 South, Range 1 West, Salt Lake Base and Meridian, U.S. Survey in South Jordan, Salt Lake County, Utah:

Beginning at a point on the East Line of the Bangarter Highway being 1260.90 feet North 0°00'42" East along the Quarter Section Line; and 1976.26 feet North 89°59'18" West from the South Quarter Corner of said Section 20; and running thence along the East Line of said Bangarter Highway the following two courses: North 2°00'49" West 205.87 feet; and North 0°00'42" East 413.76 feet; thence South 89°59'18" East 147.57 feet; thence North 0°00'42" East 256.00 feet; thence South 89°59'18" East 480.54 feet; thence South 0°00'42" West 623.50 feet; thence North 89°59'18" West 286.54 feet; thence North 0°00'42" East 11.50 feet; thence North 89°59'18" West 221.47 feet; thence South 0°00'42" West 263.50 feet; thence North 89°59'18" West 112.76 feet to the point of beginning.

Contains 380,788 sq. ft. or 8.742 acres ± Lots



Date _____
Bruce D. Pimpar
Utah PLS No. 362256

Owner's Dedication

Know all men by these presents that the undersigned owner(s) of the above described tract of land, having caused the same to be subdivided into lots and streets to be hereafter known as

J.C. Penney at The District Subdivision

do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for public use.

In witness whereof I have hereunto set My Hand this _____ day of _____ AD, 2016.

J.C. Penney Properties, Inc.

By: _____
Its: _____

Acknowledgment

State of _____ } ss
County of _____ }
On the _____ day of _____, 20____, personally appeared before me, _____ who being by me duly sworn did say that he/she is the of J.C. Penney Properties, Inc., and that he/she executed the foregoing document on behalf of said corporation by authority of a resolution of its board of directors and he/she did acknowledge to me that the corporation executed the same for the purposes stated therein.

Residing at: _____ Notary Public Full Name: _____
Commission Expires: _____ Commission Number: _____
My Commission Expires: _____
A Notary Public Commissioned in Utah
(If above information is provided, no stamp required per Utah Code, Title 46, Chapter 1, Section 16)

A Notary Public

J.C. Penney at The District Subdivision

Part of the Southwest 1/4 of Section 20,
Township 3 South, Range 1 West, Salt Lake Base and Meridian, U.S. Survey
South Jordan City, Salt Lake County, Utah

Recorded

State of Utah, County of Salt Lake, Recorded and Filed at the Request of _____
Date _____ Time _____ Book _____ Page _____
Fee \$ _____ Salt Lake County Recorder

South Valley Sewer District
Approved this _____ Day of _____ A.D., 20____
South Valley Sewer District

Board of Health
Approved this _____ Day of _____ A.D., 20____
Salt Lake Valley Health Department

South Jordan City Engineer
I hereby certify that this office has examined this plat and it is correct in accordance with information on file in this office.
South Jordan City Engineer Date _____

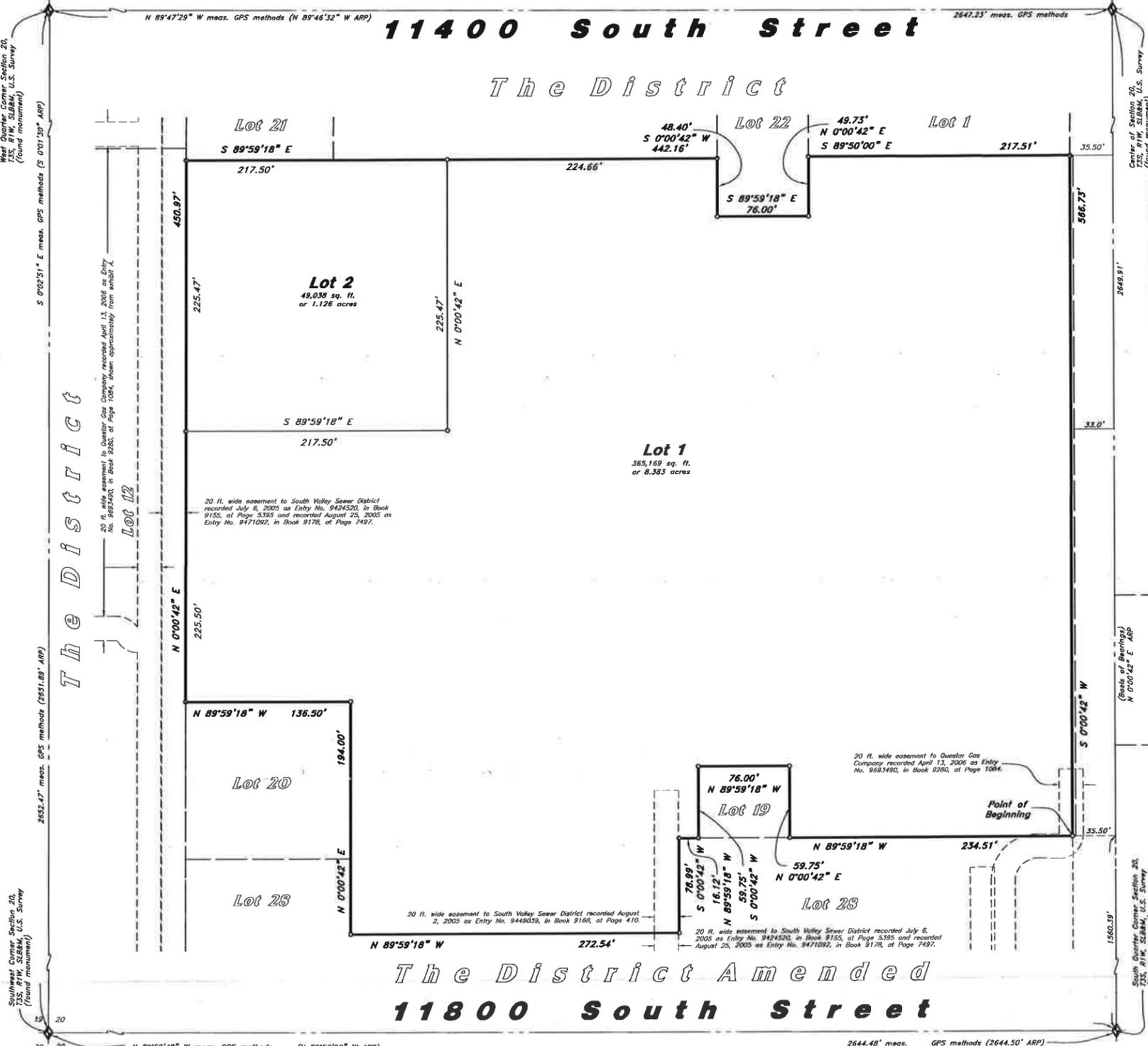
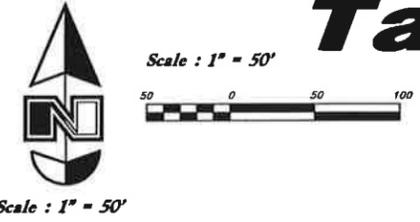
South Jordan City Attorney
Approved as to Form this _____ Day of _____ A.D., 20____
South Jordan City Attorney

Planning Department
Approved this _____ Day of _____ A.D., 20____ by the South Jordan City Planner.
City Planner

South Jordan City Approval
Presented to South Jordan City this _____ Day of _____ A.D., 20____. At which time this subdivision was approved and accepted.
Attest: City Clerk South Jordan City Mayor

Target at The District Subdivision

Part of the Southwest 1/4 of Section 20,
Township 3 South, Range 1 West, Salt Lake Base and Meridian, U.S. Survey
South Jordan City, Salt Lake County, Utah
2016



Narrative

This Survey and Subdivision plat was requested by Mr. Wade Williams of the Boyer Company for purpose of plating 2 commercial lots.

A line between monuments found for the South Quarter Corner and the Center of Section 20 was assigned the Salt Lake County Area Reference Plat bearing of N 0°00'42" E as the Basis of Bearings.

This property was previously surveyed in 2004 by Great Basin Engineering - South and that survey along with the underlying subdivision have been honored.

Legend

- ▲ Salt Lake County Area Reference Plat Section Corner
- Property Line
- - - Easement Line
- - - - - Centerline
- Section Line
- 5/8" Rebar 24" Long with AWA Cap or Nail with AWA brass tag to be set

Questar Gas Company

Questar approves this plat solely for the purpose of confirming that the plat contains public utility easements. Questar may require other easements in order to serve Questar facilities. Questar approves this plat solely for the purposes of approving the location, boundaries, course and dimension of its right-of-way and easements and its existing facilities. This approval shall not be construed to warrant or verify the precise location of such items. The rights-of-way and easements are subject to numerous restrictions appearing on the recorded Right-of-Way and Easement Grant(s) or by prescription. Questar may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities including prescriptive rights and other rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the Owners Dedication or the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information, including information related to allowed activities within rights of way, please contact Questar's Right-of-Way department at 1-800-366-8532.

Rocky Mountain Power Note

Utilities shall have the right to install, maintain and operate their equipment above and below ground and all other related facilities within the Public Utility Easements identified on this plat map as may be necessary or desirable in providing utility services within and without the lots identified herein, including the right of access to such facilities and the right to require removal of any obstructions including structures, trees and vegetation that may be placed within the PUE. The utility may require the lot owner to remove all structures within the PUE at the lot owner's expense, or the utility may remove such structures within the PUE at the lot owner's expense. At no time may any permanent structures be placed within the PUE or any other obstruction which interferes with the use of the PUE without the prior written approval of the utilities with facilities in the PUE.

Easement Approval

QUESTAR	DATE
ROCKY MOUNTAIN POWER	DATE
COMCAST CABLE COMPANY	DATE
QWEST	DATE

South Jordan City Notes:

1. Owners and potential purchasers of property legally described by this plat (the "Property") should familiarize themselves with all notes, lot information, easements and other pertinent information contained with this plat and also with any Conditions, Comments and Restrictions (CCRs) documents that may be recorded against the Property. Owners and potential purchasers of the Property must comply with all notes, easements, CCRs, and other recorded documents related to this plat, as currently existing or as may from time to time be changed and/or amended. Failure to adhere to the notes, lot information, easements, CCRs, or other documents recorded against the Property could result in financial loss or changes in expected property use.
2. Many areas in the City of South Jordan have groundwater problems due to high or fluctuating water table. City approval of this plat does not constitute representation by the City that building at any specified elevation will solve groundwater problems.
3. The Owner certifies that the title report dated _____ which was prepared by Meridian Title Company, was provided to Owner's surveyor and that the plat shows all easements and encumbrances listed in said title report.

South Valley Sewer District Notes:

1. The signature of South Valley Sewer District on this plat does not constitute any guarantee of availability of sanitary sewer service to the property or any approval of sewer lines or facilities of the owner(s) of the property must provide satisfactory plans to the Sewer District for review and approval before connecting to the District's sewer system and will be required to comply with the District's rules and regulations.
2. Shallow Sewer Depths: Contractor shall verify sewer lateral depth and set foundation elevation to provide adequate fall into sewer lateral. Buildings with a basement may not have sewer service available for basement.

Developer

Boyer Company
Wade Williams
90 South 400 West, Suite 200
Salt Lake City, Utah 84101
phone: 801-521-4781



ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801 521-8529 - ANAengineering.net

Surveyor's Certificate

I, Bruce D. Pimper, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 362256 as prescribed under the Laws of the State of Utah. I further certify that by the authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as

Target at The District Subdivision

And that the same has been correctly surveyed and staked on the ground as shown on this plat.

Boundary Description

A part of the Southwest Quarter of Section 20, Township 3 South, Range 1 West, Salt Lake Base & Meridian, U.S. Survey in South Jordan, Salt Lake County, Utah:

Beginning at a point on the West Line of 3600 West Street as it is to be dedicated to 35.50 foot half-width being 1560.39 feet North 0°00'42" East along the Quarter Section Line; and 35.50 feet North 89°59'18" West from the South Quarter Corner of said Section 20; and running thence North 89°59'18" West 234.51 feet; thence North 0°00'42" East 59.75 feet; thence North 89°59'18" West 76.00 feet; thence South 0°00'42" West 59.75 feet; thence North 89°59'18" West 16.12 feet; thence South 0°00'42" West 78.99 feet; thence North 89°59'18" West 272.54 feet; thence North 0°00'42" East 194.00 feet; thence North 89°59'18" West 136.50 feet; thence North 0°00'42" East 450.97 feet; thence South 89°59'18" East 442.16 feet; thence South 0°00'42" West 48.40 feet; thence South 89°59'18" East 76.00 feet; thence North 0°00'42" East 49.75 feet; thence South 89°59'18" East 217.51 feet to the West Line of said 3600 West Street as it is to be dedicated to 35.50 foot half-width; thence South 0°00'42" West 566.73 feet along said West Line to the point of beginning.

Contains 414,207 sq. ft. or 9.509 acres



Owner's Dedication

Know all men by these presents that the undersigned owner(s) of the above described tract of land, having caused the same to be subdivided into lots and streets to be hereafter known as

Target at The District Subdivision

do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for public use.

In witness whereof I have hereunto set My Hand this _____ day of _____ AD, 20____

Target Corporation, a Minnesota corporation

By:
Its:

Acknowledgment

State of _____ County of _____

On the _____ day of _____, 20____, personally appeared before me, the undersigned Notary Public, _____ who being by me duly sworn did say that he/she is the _____ of Target Corporation, a Minnesota corporation and that said instrument was signed in behalf of said corporation and acknowledged to me that said corporation executed the same.

Residing at: _____
Notary Public Full Name: _____ My Commission Expires: _____
Commission Number: _____
A Notary Public Commissioned in Utah
(If above information is provided, no stamp required per Utah Code, Title 46, Chapter 1, Section 16)

Print Name _____ A Notary Public

Target at The District Subdivision

Part of the Southwest 1/4 of Section 20,
Township 3 South, Range 1 West, Salt Lake Base and Meridian, U.S. Survey
South Jordan City, Salt Lake County, Utah

South Valley Sewer District Approved this _____ Day of _____ A.D., 20____ South Valley Sewer District	Board of Health Approved this _____ Day of _____ A.D., 20____ Salt Lake Valley Health Department	South Jordan City Engineer I hereby certify that this office has examined this plat and it is correct in accordance with information on file in this office. South Jordan City Engineer	South Jordan City Attorney Approved as to Form this _____ Day of _____ A.D., 20____ South Jordan City Attorney	Planning Department Approved this _____ Day of _____ A.D., 20____ by the South Jordan City Planner. City Planner	South Jordan City Approval Presented to South Jordan City this _____ Day of _____ A.D., 20____. At which time this subdivision was approved and accepted. Attest: City Clerk _____ South Jordan City Mayor _____	Recorded # State of Utah, County of Salt Lake, Recorded and Filed at the Request of _____ Date _____ Time _____ Book _____ Page _____ Fee \$ _____ Salt Lake County Recorder
--	---	--	---	---	---	--

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 12/13/2016

Application: SANTORINI VILLAGE (TOWNHOMES PHASES 1-E) SUBDIVISION AMENDMENT

Address: 9710 S. Redwood Road

File No.: SUB-AMEND-2016.80

Applicant: Mindy Dansie, DAI

Submitted By: David Mann, Planner II
Shane Greenwood, Assistant City Engineer

Staff Recommendation (Motion Ready):

Approve file SUB-AMEND-2016.80 for the Santorini Village (Townhomes Phase 1-E) Subdivision Amendment.

ACREAGE:	0.26 acres
CURRENT ZONE:	MU-V (Village Mixed Use)
CURRENT USE:	Residential
FUTURE LAND USE PLAN:	Corridor
NEIGHBORING (ZONING)/USES	North – MU-V / Santorini Village South – MU-V / Santorini Village West – MU-V/ Santorini Village East – MU-V / Single Family Residential

BACKGROUND:

The Applicant is seeking approval to amend parcel C of the Santorini Village Phase 1, generally located at 9710 S. Redwood Road. The purpose of this Amendment is to add four additional townhouses to the development. The City Council approved an amendment to the master plan for Santorini Village to change the allowed use for this parcel from commercial to townhouses. The design and layout for these four units will be similar to the other townhouses in the development, with vehicle access off of a private lane. The Applicant has also provided longer driveways for these units and 2 additional parking stalls in order to provide more guest parking in the development.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

- The proposed amended plat meets the requirements of the MU-V Zone as well as the requirements listed in the original approvals including the Development Agreement.
- The Planning Commission may approve a plat amendment if (1) there is good cause; and (2) no public street, right-of-way, or easement is being amended.

- Staff finds there is good cause for the subdivision amendment because it will complete the development of townhouses in Santorini Village.
- Staff finds there are no public streets, ROW's, or easements being amended.

Conclusion:

- Based on the Findings listed above, Staff has reviewed the proposed Subdivision Amendment and determined that the Amendment complies with the Santorini Village Development Agreement and the standard of review for subdivision amendments in the City Code.

Recommendation:

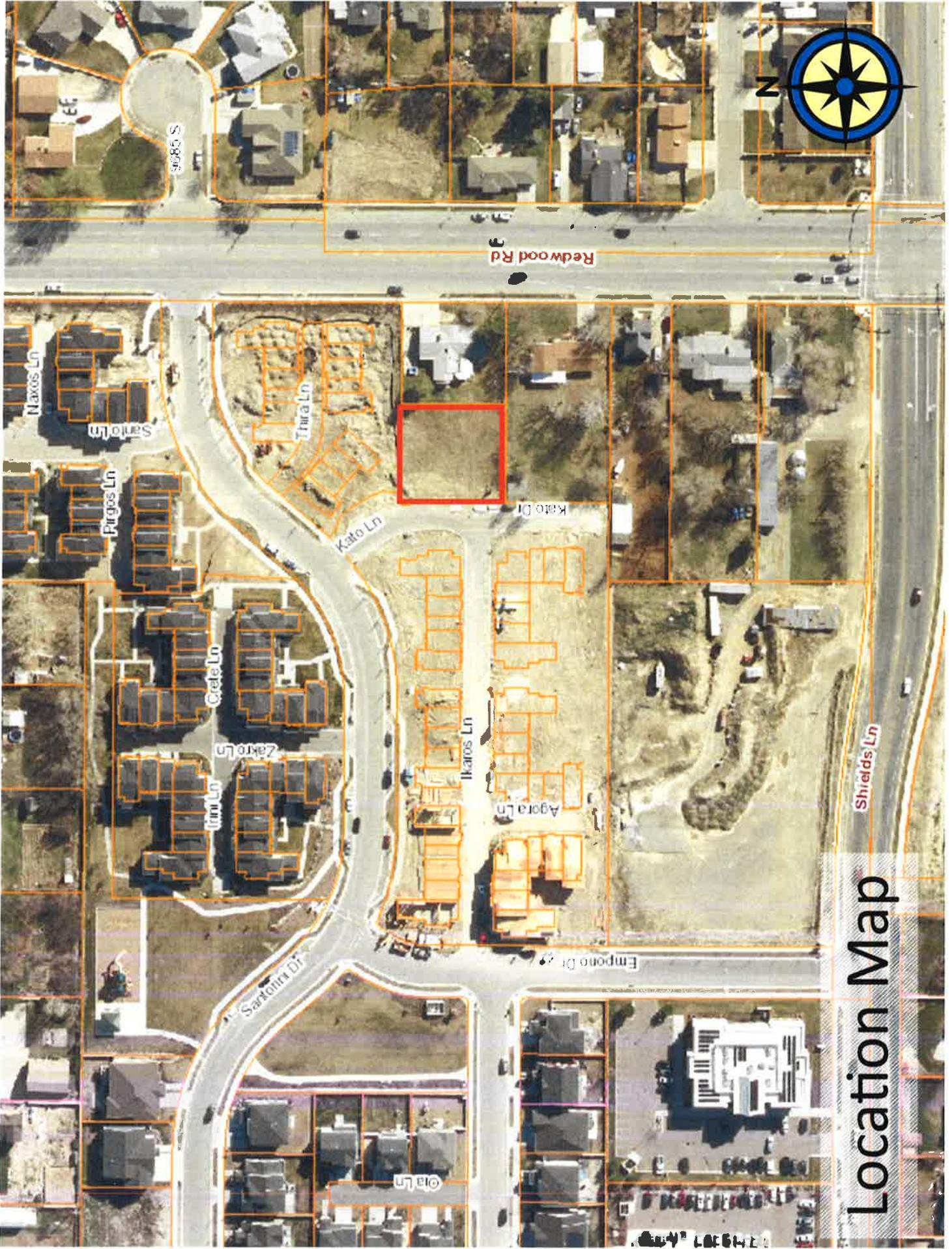
- Staff recommends that the Planning Commission take comments at the public hearing and **approve** File No. SUB-AMEND-2016.80 for the Santorini Village (Townhomes 1-E) subdivision amendment, generally located at 9710 S. Redwood Road, subject to the provision listed, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Deny the Application.
- Modify the provisions for approval.
- Schedule the decision for a later date.

SUPPORT MATERIALS:

- Location Map
- Proposed Plat



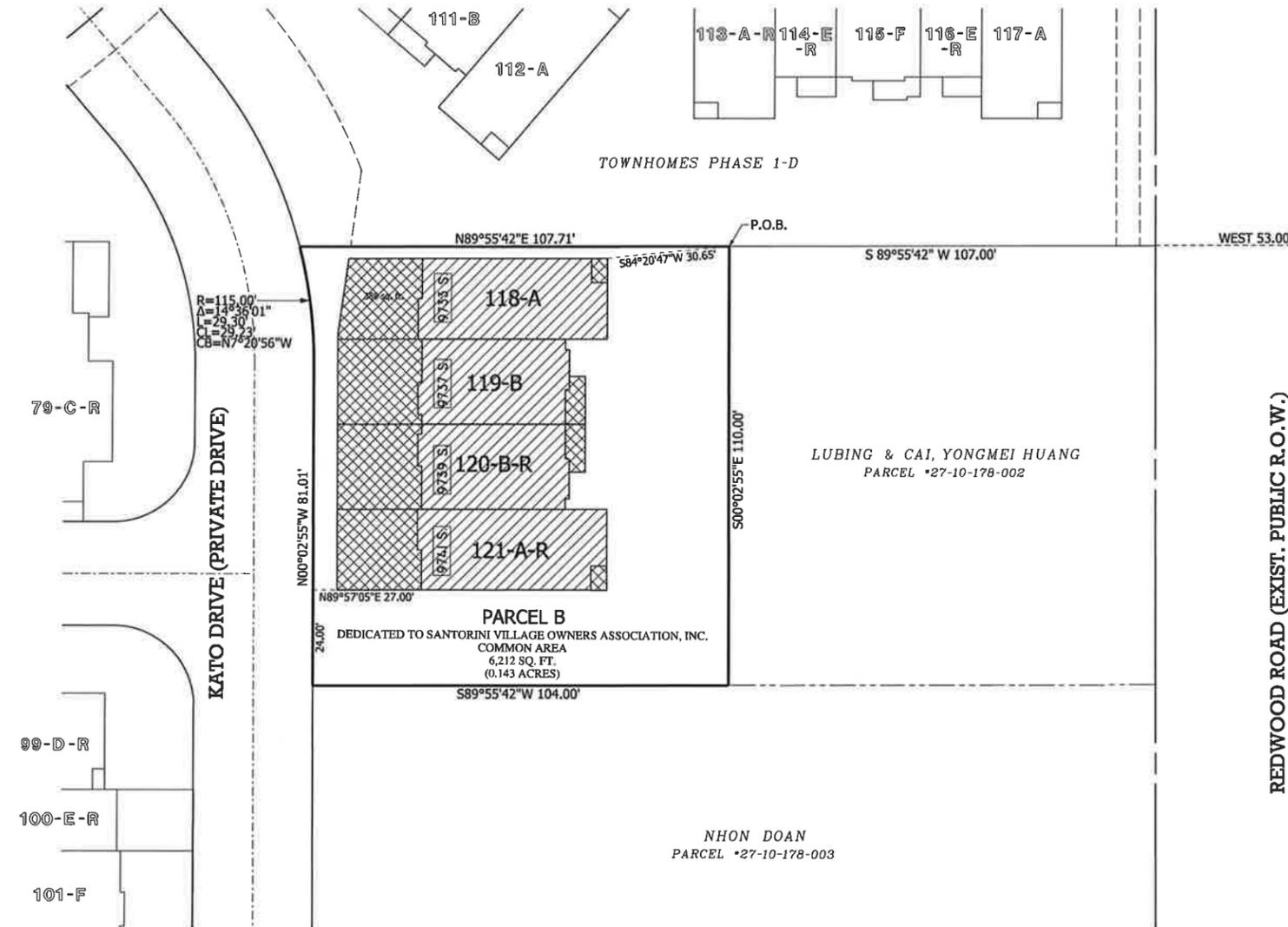
Location Map

SANTORINI VILLAGE (TOWNHOMES PHASE 1-E) AMENDING SANTORINI VILLAGE PHASE 1, PARCEL C

LOCATED IN THE NORTHWEST QUARTER OF SECTION 10,
TOWNSHIP 3 SOUTH, RANGE 1 WEST,
SALT LAKE BASE & MERIDIAN
SOUTH JORDAN, UTAH



NORTH QUARTER CORNER SECTION 10,
TOWNSHIP 3 SOUTH, RANGE 1 WEST,
SALT LAKE BASE & MERIDIAN,
FOUND STANDARD BRASS CAP
IN MONUMENT WELL



NOTES:

- POTENTIAL PURCHASERS OF PROPERTY LEGALLY DESCRIBED ON THIS PLAT ARE ADVISED TO FAMILIARIZE THEMSELVES WITH ALL NOTES, LOT INFORMATION, EASEMENTS AND OTHER PERTINENT INFORMATION CONTAINED WITHIN THIS PLAT AND ALSO WITH ANY CONDITIONS, COVENANTS AND RESTRICTIONS (CC&R) DOCUMENTS RECORDED AGAINST LAND LEGALLY DESCRIBED BY THIS PLAT. FAILURE TO ADHERE TO THESE NOTES, EASEMENTS, CC&R'S OR OTHER DOCUMENTS RECORDED AGAINST THE LAND COULD RESULT IN FINANCIAL LOSSES TO OR CHANGES IN EXPECTED PROPERTY USE OF THE PROPERTY OWNER. PROPERTY OWNERS AND PURCHASERS ARE RESPONSIBLE TO REVIEW AND TO BE IN COMPLIANCE WITH ALL NOTES, EASEMENTS, CC&R'S, AND OTHER DOCUMENTS RELATED TO THIS PLAT, AS CURRENTLY EXISTING OR AS MAY FROM TIME TO TIME BE CHANGED AND/OR AMENDED.
- MANY AREAS IN SOUTH JORDAN CITY HAVE GROUND WATER PROBLEMS DUE TO HIGH OR FLUCTUATING WATER TABLE. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE REPRESENTATION BY THE CITY THAT BUILDING AT ANY SPECIFIED ELEVATION WILL SOLVE GROUNDWATER PROBLEMS, IF ANY.
- "OWNER, CERTIFIES THAT ALL KNOWN OR RECORDED EASEMENTS, CLAIMS OF EASEMENTS OR ENCUMBRANCES LISTED IN THE TITLE REPORT DATED _____, 2016, PREPARED BY _____ ARE SHOWN ON THIS PLAT. OWNER FURTHER CERTIFIES THAT THE LEGAL DESCRIPTION OF THE PROPERTY REFERENCED IN THE TITLE REPORT MATCHES THE DESCRIPTION SHOWN ON THIS PLAT."
- ALL PRIVATE RIGHTS OF WAYS ARE ALSO PUBLIC UTILITY EASEMENTS AND PUBLIC ACCESS RIGHTS OF WAYS.
- LIMITED COMMON AREAS ADJACENT TO ROADWAYS AND ALL COMMON AREAS ARE ALSO A PUBLIC UTILITY EASEMENT.
- THE SIGNATURE OF SOUTH VALLEY SEWER DISTRICT ON THIS PLAT DOES NOT CONSTITUTE ANY GUARANTEE OF AVAILABILITY OF SANITARY SEWER SERVICE TO THE PROPERTY OR ANY APPROVAL OF SEWER LINES OR FACILITIES. THE OWNER(S) OF THE PROPERTY MUST PROVIDE SATISFACTORY PLANS TO THE SEWER DISTRICT FOR REVIEW AND APPROVAL BEFORE CONNECTING TO THE DISTRICT'S SEWER SYSTEM AND WILL BE REQUIRED TO COMPLY WITH THE DISTRICT'S RULES AND REGULATIONS.
- SHALLOW SEWER DEPTHS! CONTRACTOR SHALL VERIFY LATERAL DEPTH AND SET FOUNDATION ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.
- THE TRACT DESCRIBED HEREON IS SUBJECT TO THE ERMS AND CONDITIONS LISTED IN A DOCUMENT ENTITLED "SANTORINI VILLAGE DEVELOPMENT AGREEMENT", RECORDED AS ENTRY NUMBER 11650210 ON 05/28/2013 IN BOOK 10142 AT PAGES 5353-5394 OF THE OFFICIAL RECORDS.

QUESTAR GAS COMPANY

QUESTAR HEREBY APPROVES THIS PLAT SOLELY FOR PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. QUESTAR MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF SERVICE.
APPROVED THIS _____ DAY OF _____, 2016.

BY: _____
TITLE: _____

CENTURYLINK _____ DATE _____
ROCKY MOUNTAIN POWER _____ DATE _____
COMCAST _____ DATE _____

LEGEND:

- SECTION CORNER
- SECTION LINE
- RIGHT OF WAY
- ROAD CENTERLINE
- BOUNDARY LINE
- PRIVATE OWNERSHIP
- LIMITED COMMON



CENTER OF SECTION 10,
TOWNSHIP 3 SOUTH, RANGE 1 WEST,
SALT LAKE BASE & MERIDIAN,
FOUND STANDARD BRASS CAP
IN MONUMENT WELL

SURVEYOR'S CERTIFICATE:

I, LEIF E. ANDERSON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 4854555, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS

SANTORINI VILLAGE (TOWNHOMES PHASE 1-E)
AMENDING SANTORINI VILLAGE PHASE 1, PARCEL C
AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.



LEIF E. ANDERSON
UTAH PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4854555

PROPERTY DESCRIPTION:

PARCEL C, SANTORINI VILLAGE PHASE 1, ON FILE WITH THE SALT LAKE COUNTY RECORDER'S OFFICE AT ENTRY # 11736027, BOOK 2013P, PAGE 200, OR MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT WHICH LIES NORTH 00°02'55" WEST 494.94 FEET ALONG THE QUARTER SECTION LINE AND WEST 53.00 FEET AND SOUTH 89°55'42" WEST 107.00 FEET FROM THE CENTER OF SECTION 10, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; AND TRAVERSING THENCE SOUTH 00°02'55" EAST 110.00 FEET; THENCE SOUTH 89°55'42" WEST 104.00 FEET; THENCE NORTH 00°02'55" WEST 81.01 FEET; THENCE ALONG AN ARC 29.30 FEET TO THE LEFT, HAVING A RADIUS OF 115.00 FEET, THE CHORD OF WHICH IS NORTH 07°20'56" WEST 29.23 FEET; THENCE NORTH 89°55'42" EAST 107.71 FEET TO THE POINT OF BEGINNING.

CONTAINING 11,476 SQ. FT. OR 0.263 ACRES, MORE OR LESS.

BASIS OF BEARINGS:

NORTH 00°02'55" WEST 2639.83 FEET (R) ALONG THE QUARTER SECTION LINE BETWEEN THE CENTER OF SECTION AND THE NORTH QUARTER CORNER OF SECTION 10, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

OWNER'S DEDICATION AND CONSENT TO RECORD:

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOWN AS

SANTORINI VILLAGE (TOWNHOMES PHASE 1-E)
AMENDING SANTORINI VILLAGE PHASE 1, PARCEL C

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY ANY OTHER EASEMENTS AS SHOWN ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN HEREON.

BRYAN FLAMM - MANAGER
MREC DAI SANTORINI, LLC
SANTORINI VILLAGE, LLC - MANAGER
DAI MANAGERS, LLC - MANAGER

DATE

OWNER'S ACKNOWLEDGEMENT:

COUNTY OF SALT LAKE } S.S.
STATE OF UTAH

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2016 BY _____

NOTARY PUBLIC

NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____
A NOTARY PUBLIC COMMISSIONED IN UTAH

**SANTORINI VILLAGE (TOWNHOMES PHASE 1-E)
AMENDING SANTORINI VILLAGE PHASE 1, PARCEL C**

LOCATED IN THE NORTHWEST QUARTER OF SECTION 10,
TOWNSHIP 3 SOUTH, RANGE 1 WEST,
SALT LAKE BASE & MERIDIAN
SOUTH JORDAN, UTAH

DAI PARTNERS, LLC
BRYAN FLAMM
1099 WEST SOUTH JORDAN PARKWAY
SOUTH JORDAN, UTAH 84095
(801) 495-3414

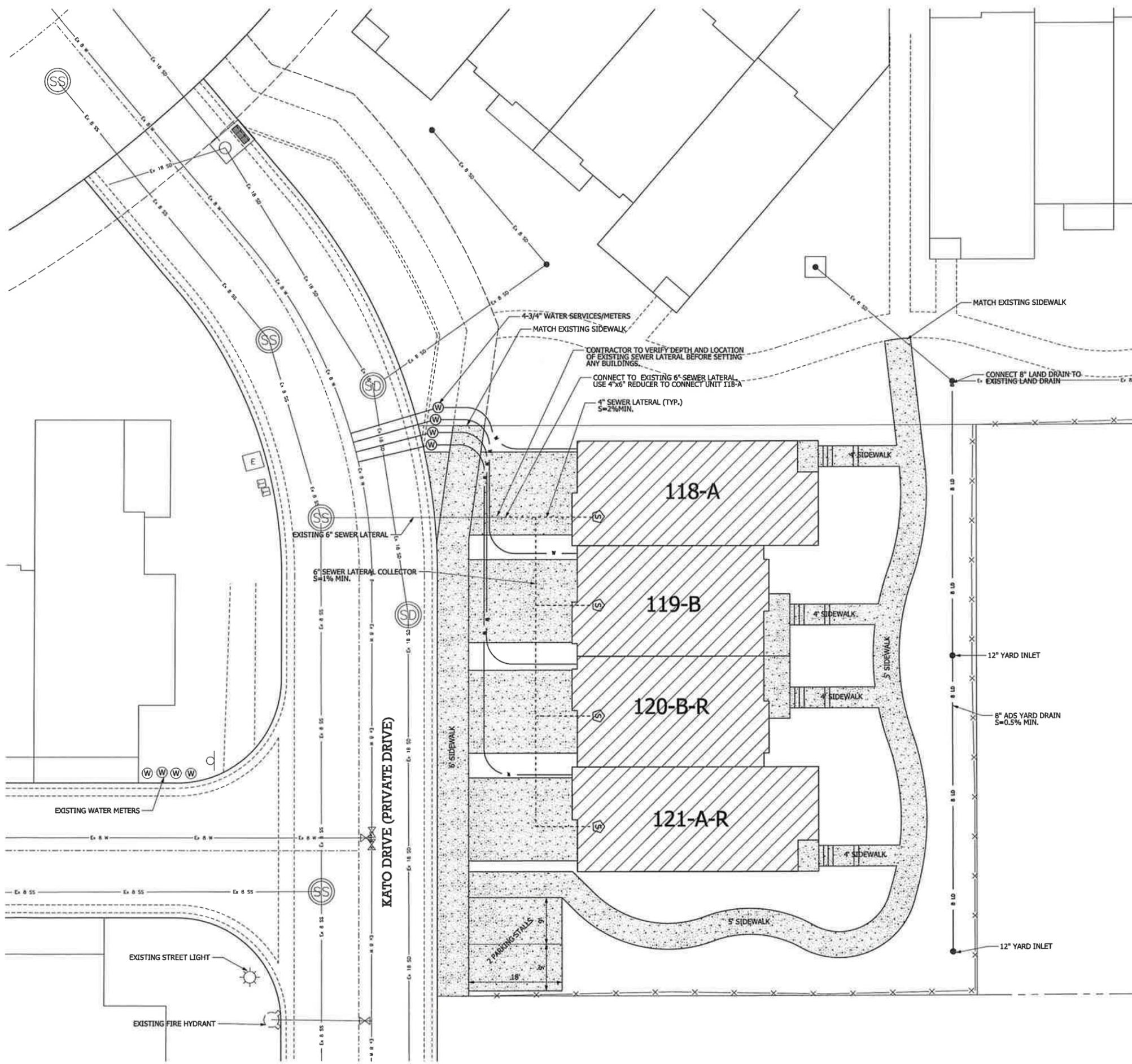
SALT LAKE COUNTY RECORDER
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND
FILED AT THE REQUEST OF: _____

DATE _____ TIME _____ ENTRY _____ BOOK _____ PAGE _____
ATTEST: CLERK _____ RECORDER _____

SHEET 1 OF 2

PL1

CITY PLANNER APPROVED THIS _____ DAY OF _____, 20____ A.D.	OFFICE OF THE CITY ATTORNEY APPROVED AS TO FORM THIS _____ DAY OF _____, 20____ A.D.	SOUTH JORDAN CITY MAYOR APPROVED AS TO FORM THIS _____ DAY OF _____, 20____ A.D.	SOUTH JORDAN CITY ENGINEER I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.	HEALTH DEPARTMENT APPROVED THIS _____ DAY OF _____, 20____ A.D.	SOUTH VALLEY SEWER DISTRICT APPROVED AS TO FORM THIS _____ DAY OF _____, 20____ A.D.	PROTERRA GROUP 1654 Reunion Ave, Suite 10A, South Jordan Utah 84095 Phone: (801) 253-0248 Fax: (801) 253-6139 www.proterragroup.com	SALT LAKE COUNTY RECORDER STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: _____
SOUTH JORDAN CITY PLANNER	CITY ATTORNEY	ATTEST: CITY RECORDER _____ MAYOR _____	SOUTH JORDAN CITY ENGINEER	APPROVED BY _____	GENERAL MANAGER _____		



LEGEND:

- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING WATER LINE
- EXISTING SEWER
- EXISTING STORM DRAIN
- PROPOSED WATER METER
- PROPOSED SEWER LATERAL

NOTES:

1. A. ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- B. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
- C. FOUR FEET MIN. COVER WILL BE REQUIRED OVER ALL SEWER LINES.
2. ALL WATER LATERALS ARE TO BE 3/4" IPS POLY UNLESS OTHERWISE SPECIFIED PER SOUTH JORDAN CITY STANDARDS.
3. ALL SERVICE LATERALS ARE REQUIRED TO HAVE A "BADGER METER WAJDE WITH PIT SET ITRON-ERT MODULE PER SOUTH JORDAN CITY STANDARDS.
4. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES.



SOUTH JORDAN CITY ENGINEER
 Acceptance of plans for construction:
 By: _____ Date: _____

JOB NO. CAN005
 © Proterra Group, Inc. 2016

DRAWN:	DESIGN:	CHECKED:	SURVEYED:	DATE:

REV. NO.	REVISION DESCRIPTION	DATE

**SANTORINI VILLAGE
 (TOWNHOMES PHASE 1-E)
 IMPROVEMENT PLAN**

PROTERRA GROUP
 1654 Reunion Ave. Suite 10A, South Jordan, Utah 84095
 Phone: (801) 253-0248 Fax: (801) 253-6139
 www.proterragroup.com

15/04/15 11:04:15

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 12/13/2016

Application: HUNTER PARK ESTATES PRELIMINARY SUBDIVISION

Address: 9545 South 2200 West

File No: PLPP201600816

Applicant: Mark Woolley

Submitted By: David Mann, Planner II
Shane Greenwood, Assistant City Engineer

Staff Recommendation (Motion Ready):

Approve file no. PLPP201600816 for the subdivision of real property located at 9545 South 2200 West as presented to the Planning Commission, provided that:

- The proposed street is dedicated to the city and lots are addressed according to county specifications.
 - All easements shown where the future public street will be located must be removed or otherwise addressed before final subdivision approval.
-

ACREAGE:	2.65 acres
CURRENT ZONE:	R-2.5
CURRENT USE:	Single Family Residential
FUTURE LAND USE PLAN:	Low Density
NEIGHBORING LU DESIGNATIONS, (ZONING)/USES	North - Low Density Residential, (R-2.5) / Single Family Residential South - Rural, (R-1.8)/ Single Family Residential East - Low Density Residential, (R-2.5)/ Utah Salt Lake Canal West - Low Density Residential, (R-2.5) / Single Family Residential

BACKGROUND:

Mark Woolley has filed an application for a 5-lot residential subdivision on property located at 9545 South 2200 West. The subject property is accessed off of 2200 West by way of a private driveway that also provides access onto the neighboring property to the west. The existing house and buildings on the property will be demolished prior to the subdivision being developed.

ANALYSIS:

The proposed plat shows where a future cul-de-sac could be located if the neighboring property were to be developed into single family lots. The road will be constructed with a dead-end by lots 4 and 5 and a hammerhead turn-around for emergency vehicles at the bend of the road. The existing easement, located on the adjacent parcel, may need to be amended to allow access for a vehicle to turn around on the neighboring property. Fencing will be required along the canal and along the

rear property lines of lots 205-207 in the Georgetown Meadows Phase 2 Subdivision. The Applicant has said that the small, triangular piece of the property, located on the other side of the canal, will either be given to the city or sold to the canal company and will be addressed prior to final subdivision approval.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

- The standard of approval for preliminary subdivisions is that they meet the requirements of the code.
- The proposed subdivision meets the lot size, density, and frontage requirements for the R-2.5 zone.

Conclusion:

- Based on the submitted plans and the findings listed above, the proposal is consistent with the City's General Plan and with the purposes and objectives of the pertinent sections of the City's Development Code and Planning and Land Use Code (specifically section 17.40).

Recommendation:

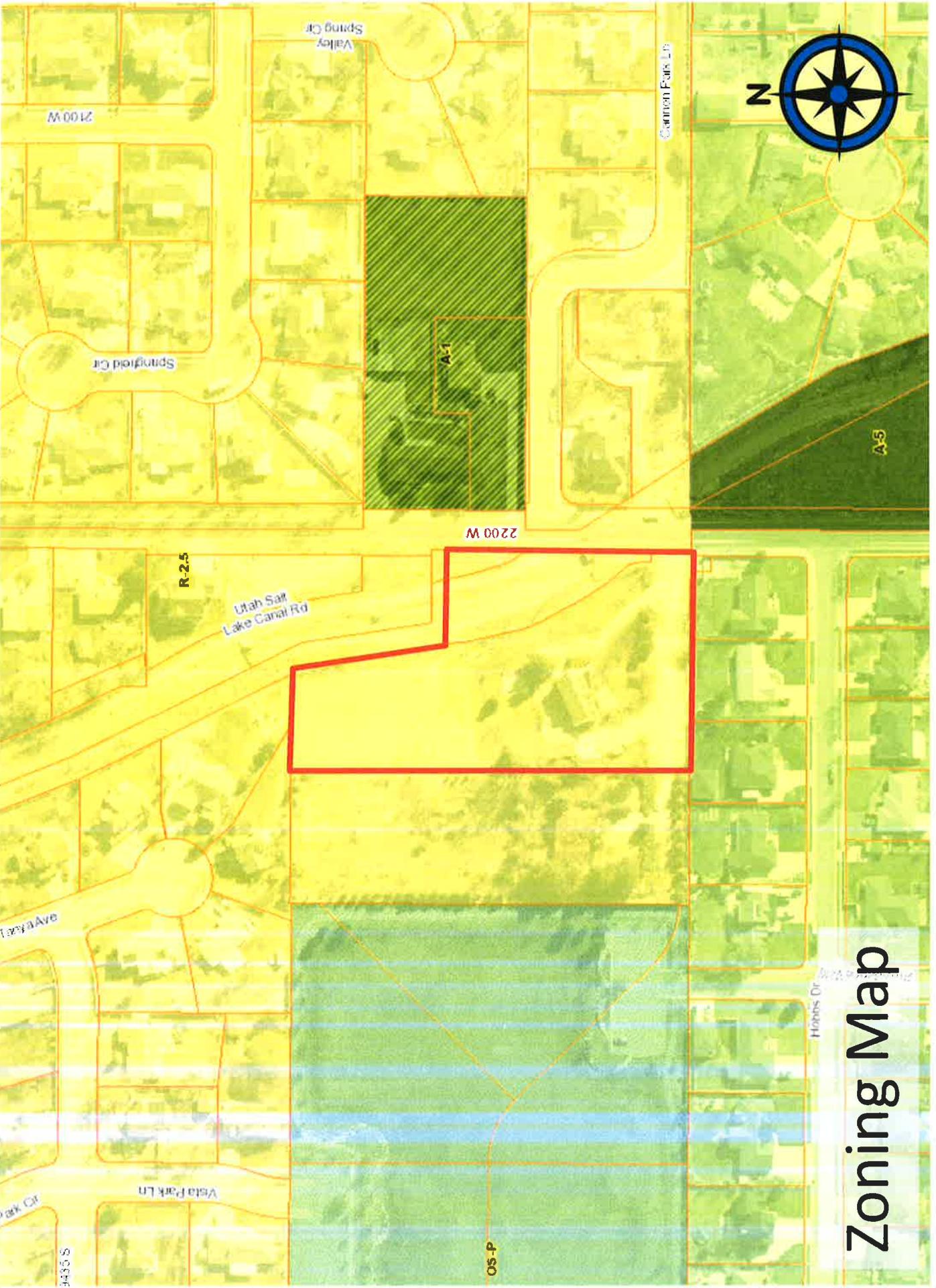
- Based on the Findings and Conclusion listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** File No. PLPP201600816 for the Hunter Estates preliminary subdivision located at 9545 South 2200 West, subject to the provision listed, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Deny the application.
- Propose modification(s) to the application.
- Schedule the application for a decision at some future date.

SUPPORT MATERIALS:

- Location Map
- Zoning Map
- Subdivision Plat



Zoning Map

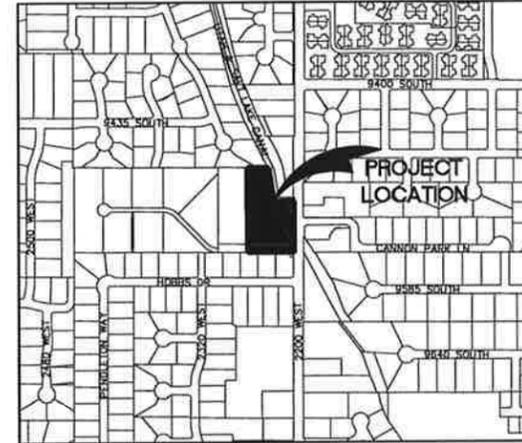


Location Map

HUNTER PARK ESTATES SUBDIVISION



LOCATED IN THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
PRELIMINARY PLAT



VICINITY MAP
SCALE: 1" = 600'
BANDY, UTAH

LEGEND	
	SECTION LINE
	EXISTING ROW CENTERLINE
	PROPERTY BOUNDARY
	ROW CENTERLINE
	CL STREET MONUMENT TO BE INSTALLED
	ADJACENT PROPERTY LINE
	POINT OF BEGINNING
	RIGHT OF WAY
	PROPOSED LOT ADDRESS
	PROPOSED PUBLIC UTILITY EASEMENT/ DRAINAGE EASEMENT
	PROPOSED LOT LINE
	EX FIRE HYDRANT

NORTHEAST CORNER OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN (FOUND BRASS CAP MONUMENT) SITE BENCHMARK ELEVATION= 4467.28

- [1] GRANT OF EASEMENT AND RIGHT OF WAY IN FAVOR OF GEORGE M. BOUTSIS AND MARY JANE BOUTSIS, DATED MARCH 16, 1974 AND RECORDED MARCH 19, 1974 AS ENTRY NO. 2606968 IN BOOK 3530 AT PAGE 276. NOTICE OF TERMINATION OF RIGHT OF WAY, DATED JANUARY 28, 1981 AND RECORDED FEBRUARY 2, 1981 AS ENTRY NO. 3529337 IN BOOK 5208 AT PAGE 280.
 - [2] NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS, AND UTILITIES, AS EVIDENCED IN THAT CERTAIN QUITCLAIM DEED, DATED JANUARY 30, 1981 AND RECORDED FEBRUARY 2, 1981 AS ENTRY NO. 3529338 IN BOOK 5208 AT PAGE 282 AND OTHER INSTRUMENTS OF RECORD.
 - [3] RIGHT OF WAY AND EASEMENT GRANT, IN FAVOR OF MOUNTAIN FUEL SUPPLY COMPANY, TO LAY, MAINTAIN, OPERATE, REPAIR, INSPECT, PROTECT, REMOVE AND REPLACE PIPE LINES, VALVES, VALVE BOXES, AND OTHER GAS TRANSMISSION AND DISTRIBUTION FACILITIES, THROUGH AND ACROSS A PORTION OF THE SUBJECT PROPERTY, SAID RIGHT OF WAY AND EASEMENT GRANT RECORDED MARCH 20, 1981, AS ENTRY NO. 3568587, IN BOOK 5250, AT PAGE 349.
 - [4] NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS, AND UTILITIES, AS EVIDENCED IN THAT CERTAIN QUIT-CLAIM DEED, DATED MAY 5, 1988 AND RECORDED AUGUST 4, 1986 AS ENTRY NO. 4289197 IN BOOK 5788 AT PAGE 2330.
 - [5] RIGHT OF WAY AND EASEMENT GRANT, IN FAVOR OF MOUNTAIN FUEL SUPPLY COMPANY, TO LAY, MAINTAIN, OPERATE, REPAIR, INSPECT, PROTECT, REMOVE AND REPLACE PIPE LINES, VALVES, VALVE BOXES, AND OTHER GAS TRANSMISSION AND DISTRIBUTION FACILITIES, THROUGH AND ACROSS A PORTION OF THE SUBJECT PROPERTY, SAID RIGHT OF WAY AND EASEMENT GRANT RECORDED JANUARY 26, 1989, AS ENTRY NO. 4729450, IN BOOK 6099, AT PAGE 2176.
 - [6] NOTICE OF EASEMENT WHEREIN UTAH AND SALT LAKE CANAL COMPANY IS THE HOLDER OF AN EASEMENT FOR THE LOCATION AND OPERATION OF AN IRRIGATION CANAL KNOWN AS THE UTAH AND SALT LAKE CANAL, DATED JANUARY 27, 2010 AND RECORDED FEBRUARY 5, 2010 AS ENTRY NO. 10892684 IN BOOK 9802 AT PAGE 174.
- SURVEY FINDINGS: AS SHOWN ON THIS SURVEY.

Curve Table				
Curve #	Length	Radius	Delta	Chord Bearing
C1	124.21'	830.54'	008°34'08"	S11°34'09"E
C2	79.85'	347.25'	013°10'30"	S09°52'41"E
C3	93.69'	60.00'	089°27'55"	S44°53'23"E
C4	50.75'	32.50'	089°27'55"	S44°53'23"E
C5	9.05'	15.00'	034°33'37"	S17°07'23"W
C6	121.82'	61.50'	113°18'31"	N22°15'03"W
C7	5.04'	15.00'	019°15'44"	S09°28'27"W
C8	4.01'	15.00'	015°17'53"	S26°45'16"W
C9	84.04'	61.50'	078°17'52"	S04°44'44"E
C10	37.58'	61.50'	035°00'39"	S61°23'56"E
C11	41.32'	830.54'	002°51'02"	S24°13'18"E
C13	100.64'	830.54'	006°56'33"	S19°19'30"E
C14	31.27'	347.25'	005°09'32"	S00°42'40"E

COMCAST _____ DATE _____

ROCKY MOUNTAIN POWER _____ DATE _____

CENTURY LINK _____ DATE _____

QUESTAR _____ DATE _____

QUESTAR APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. QUESTAR MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ASSUMPTION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS, OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT QUESTAR'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8332.

APPROVED THIS _____ DAY OF _____, 20____

QUESTAR GAS COMPANY

BY: _____

TITLE: _____

CITY PLANNING APPROVED AS TO FORM THIS _____ DAY OF _____, A.D., 20____

SOUTH VALLEY SEWER APPROVED THIS _____ DAY OF _____, A.D., 20____ BY SOUTH VALLEY SEWER

BOARD OF HEALTH APPROVED THIS _____ DAY OF _____, A.D., 20____

SOUTH JORDAN CITY PLANNER _____ SOUTH VALLEY SEWER _____ REPRESENTATIVE _____

OFFICE OF THE CITY ATTORNEY APPROVED AS TO FORM THIS _____ DAY OF _____, A.D., 20____

SOUTH JORDAN CITY MAYOR PRESENTED TO SOUTH JORDAN CITY MAYOR THIS _____ DAY OF _____, A.D., 20____ AT WHICH TIME THIS PLAT WAS ACCEPTED.

ATTORNEY FOR SOUTH JORDAN CITY _____ ATTEST: CITY CLERK _____ CITY MAYOR _____

SURVEYOR'S CERTIFICATE:
I, SCOTT W. DERBY, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 186126 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT, BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND THAT I HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS:
HUNTER PARK ESTATES SUBDIVISION

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

DATE _____ SIGNATURE _____

SCOTT W. DERBY
No. 186126
STATE OF UTAH

BOUNDARY DESCRIPTION:
BEGINNING AT A POINT SOUTH 002012°05' WEST, ALONG THE SECTION LINE, 892.83 FEET AND NORTH 88°47'55" WEST 24.75 FEET FROM THE NORTHEAST CORNER OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE NORTH 89°37'20" WEST, ALONG THE NORTH LINE OF GEORGETOWN MEADOWS NO. 2 SUBDIVISION, RECORDED IN BOOK 86 AT PAGE 191, 278.27 FEET; THENCE NORTH 00°09'25" WEST, 503.84 FEET TO THE SOUTH LINE OF PARK PLACE WEST SUBDIVISION, RECORDED IN BOOK 90 AT PAGE 23; THENCE SOUTH 89°33'25" EAST, ALONG SAID SOUTH LINE, 135.75 FEET TO THE WESTERLY RIGHT OF WAY LINE OF THE UTAH AND SALT LAKE CANAL; THENCE SOUTHERLY ALONG SAID CANAL, RIGHT OF WAY THE FOLLOWING TWO (2) COURSES: 1) 1111.11 FEET ALONG THE ARC OF A 347.25 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (CHORD BEARS SOUTH 07°17'55" EAST 110.64 FEET); 2) 87.75 FEET ALONG THE ARC OF A 830.54 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT (CHORD BEARS SOUTH 10°18'41" EAST 87.71 FEET); THENCE SOUTH 89°37'00" EAST 115.23 FEET; THENCE SOUTH 0012°05' WEST 307.82 FEET TO THE POINT OF BEGINNING.

CONTAINS 115,416 SF OR 2.650 ACRES, MORE OR LESS

BASIS OF BEARING:
THE BASIS OF BEARING FOR THIS SURVEY IS SOUTH 0012°05' WEST FROM THE NORTHWEST CORNER OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 1 WEST TO THE WEST QUARTER CORNER OF SAID SECTION 9.

OWNER'S DEDICATION
HUNTER ESTATES SUBDIVISION

KNOWN ALL BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNER(S) OF THE DESCRIBED TRACT OF LAND ABOVE, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO HEREAFTER BE KNOWN AS:
HUNTER ESTATES SUBDIVISION

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, AND WARRANT, DEFEND, AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, OPERATION, AND MAINTENANCE OF THE STREETS AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN FOR THE USE BY ALL SUPPLIERS OF UTILITY OR OTHER NECESSARY SERVICES, IN WITNESS WHEREOF, WE HAVE HEREUNTO SET AFOUR OUR HANDS THIS _____ DAY OF _____, A.D. 20____.

CONSENT TO RECORD
KNOW ALL MEN BY THESE PRESENTS THAT _____ AS CLAIMANT WITH RESPECT TO THE ABOVE TITLED SUBDIVISION, DO HEREBY CONSENT TO THE RECORDATION OF THIS SUBDIVISION PLAT BY THE OWNER(S) OF SAID SUBDIVISION AND DO HEREBY SUBORDINATE INTEREST IN AND TO THE LAND INCLUDED WITHIN EASEMENTS AND RIGHT OF WAYS TO THE PUBLIC USE FOREVER.

FOR: _____

BY: _____ TITLE: _____

INDIVIDUAL ACKNOWLEDGMENT
STATE OF UTAH
COUNTY OF _____
ON THIS _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, _____ WHO
BEING DULY SWORN OR AFFIRMED, DID SAY THAT HE/SHE IS THE SIGNER OF THE WITHIN OWNERS DEDICATION AND THAT SAID DEDICATION WAS SIGNED BY HIM/HER FREELY AND VOLUNTARILY AND FOR THE PURPOSES THEREIN STATED.

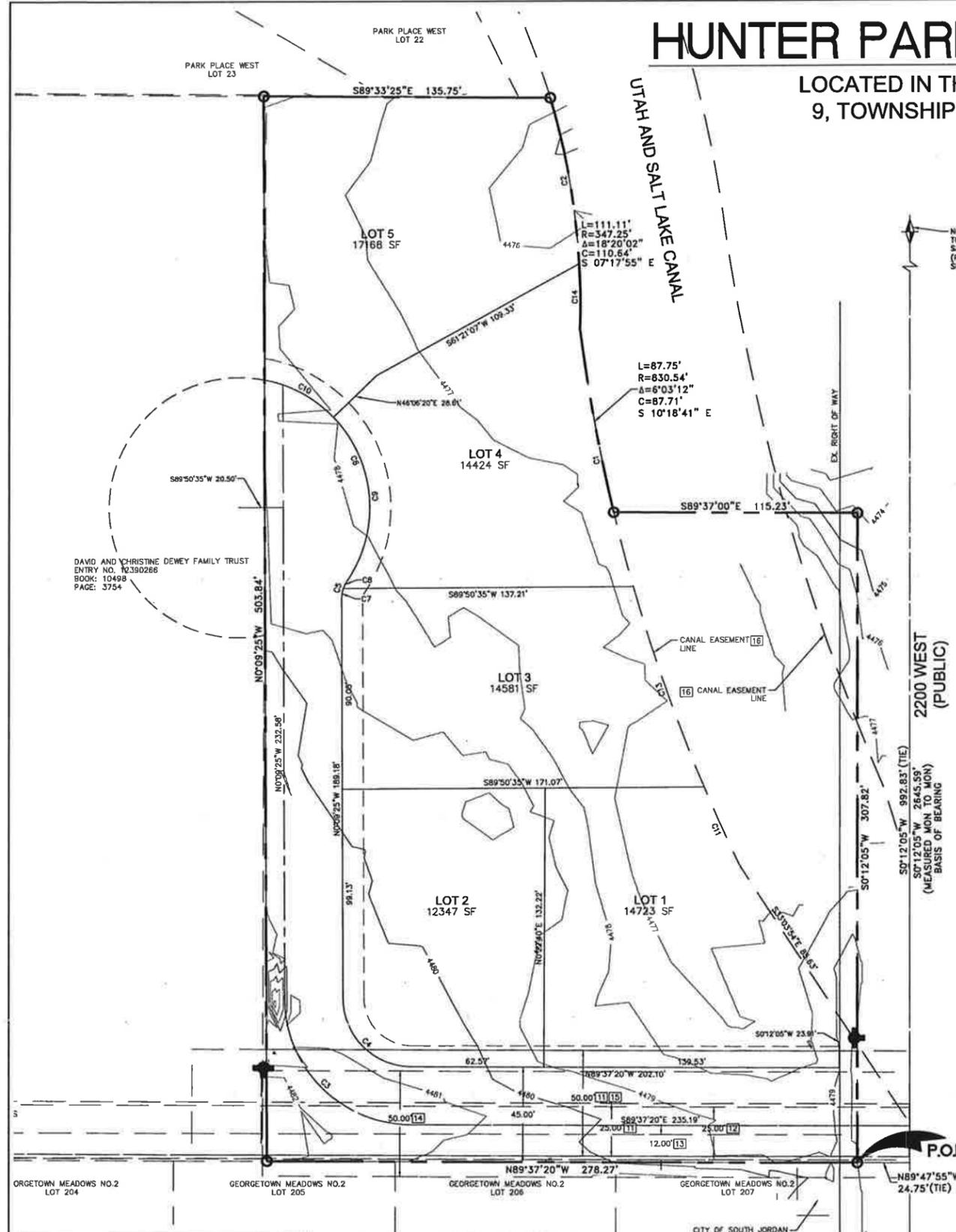
NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

INDIVIDUAL ACKNOWLEDGMENT
STATE OF UTAH
COUNTY OF _____
ON THIS _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, _____ WHO
BEING DULY SWORN OR AFFIRMED, DID SAY THAT HE/SHE IS THE SIGNER OF THE WITHIN OWNERS DEDICATION AND THAT SAID DEDICATION WAS SIGNED BY HIM/HER FREELY AND VOLUNTARILY AND FOR THE PURPOSES THEREIN STATED.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

HUNTER PARK ESTATES SUBDIVISION
LOCATED IN THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

SALT LAKE COUNTY RECORDER
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____
DATE _____ ENTRY _____ BOOK _____ PAGE _____
FEE _____ SALT LAKE COUNTY RECORDER _____



WILDING ENGINEERING
14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84068
801.553.8111
WWW.WILDINGENGINEERING.COM

CITY ENGINEER
I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

SOUTH JORDAN CITY ENGINEER

EAST QUARTER CORNER OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN (FOUND BRASS CAP MONUMENT)

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 12/13/2016

Issue: LA QUINTA HOTEL - SITE PLAN

Address: 511 West South Jordan Parkway

File No: SP-2016.32

Applicant: Nimesh Chaudhari

Submitted By: Brad Sanderson, AICP, Planner III
Chris Clinger, PE, Senior Engineer

Staff Recommendation (Motion Ready): that the Planning Commission approve the La Quinta Site Plan application as proposed.

ACREAGE: 2.15 Acres

CURRENT ZONE: MU-TOD

CURRENT USE: Vacant

FUTURE LAND USE PLAN: Office

NEIGHBORING

LU DESIGNATIONS,

(ZONING)/USES:

North - Natural Open Space (A-1)/ Mulligans Golf Course

South - Mixed Use (MU-TOD)/ South Ridge Townhomes

East - Mixed Use (MU-TOD)/ Vacant

West - Natural Open Space (C-F) Jordan River Corridor

STANDARD OF APPROVAL:

The Planning Commission shall receive public comment at the public hearing regarding the proposed site plan. The Planning Commission may approve, approve with conditions or, if the project does not meet City ordinances, deny the site plan. (City Code § 16.24.050)

BACKGROUND

Nimesh Chaudhari, on behalf of South Jordan Hospitality, LLC, has submitted a site plan application to the City proposing to construct a four-story, 104 bedroom La Quinta hotel 511 West South Jordan Parkway.

The property is located within the Mixed Used Transit Oriented Development (MU-TOD) Zone, which was approved by the City Council in April 2012 subject to a Master Development Plan (MDP), which was required by City Code Section 17.74.040. The Master Development Plan required minimum 4 story office, retail, or vertical mixed use developments be constructed on the lots abutting South Jordan Parkway and South Jordan Gateway.

The hotel will include indoor amenities such as a pool, fitness center, meeting rooms and breakfast accommodations. The City's Architectural Review Committee reviewed the building's architecture and has forwarded a positive recommendation of approval to the Planning Commission. Some glass has since been added to the first floor to meet certain architectural requirements of the MU Zone.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

- Hotels are considered a commercial use per the Master Development Plan and a permitted use as a retail sales and service use, as listed within the MU-TOD Zone.
- Because of the proximity to the Jordan River, City Staff is sensitive to the wildlife that inhabits the nearby area and has therefore required the project to direct exterior lighting downward and away from the Jordan River Corridor. Additionally, a post and rail fence with an animal grade mesh has already been installed along the west property line of the site to mitigate and create some separation or barrier between the project and the river corridor.
- Storm water basins were already constructed for the overall South Ridge Mixed Use development, including this lot.
- The parking requirement for a hotel use is one parking stall per bedroom. The proposal includes 113 stalls for 104 bedrooms.
- The building is approximately 60,000 square feet in size.

Conclusion:

Based on the findings listed above, Staff has made the following conclusions:

- The proposal meets all of the requirements for site plan approval.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and approve the La Quinta site plan as proposed, unless during the hearing facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

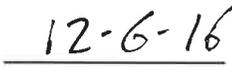
ALTERNATIVES:

- Deny the Application
- Make modification(s) to the Application
- Schedule the Application for a decision at some future date

SUPPORT MATERIALS:

- Aerial Map
- Site Plan & Elevations
- MDP and overall Site Plan


Planning Department


Date



**Subject
Property**

SOUTH JORDAN PKWY

JORDAN GATEWAY



Aerial Map

South Jordan Pkwy

Frontage Rd

Jordan Gtwy

**Future Garden
Ridge Way**

Izabella Ridge Ln

**South Ridge
eighborhoods**

**Monterey
Ridge Way**

**Windsor
Ridge Way**

Frontage Rd

Jordan Gtwy

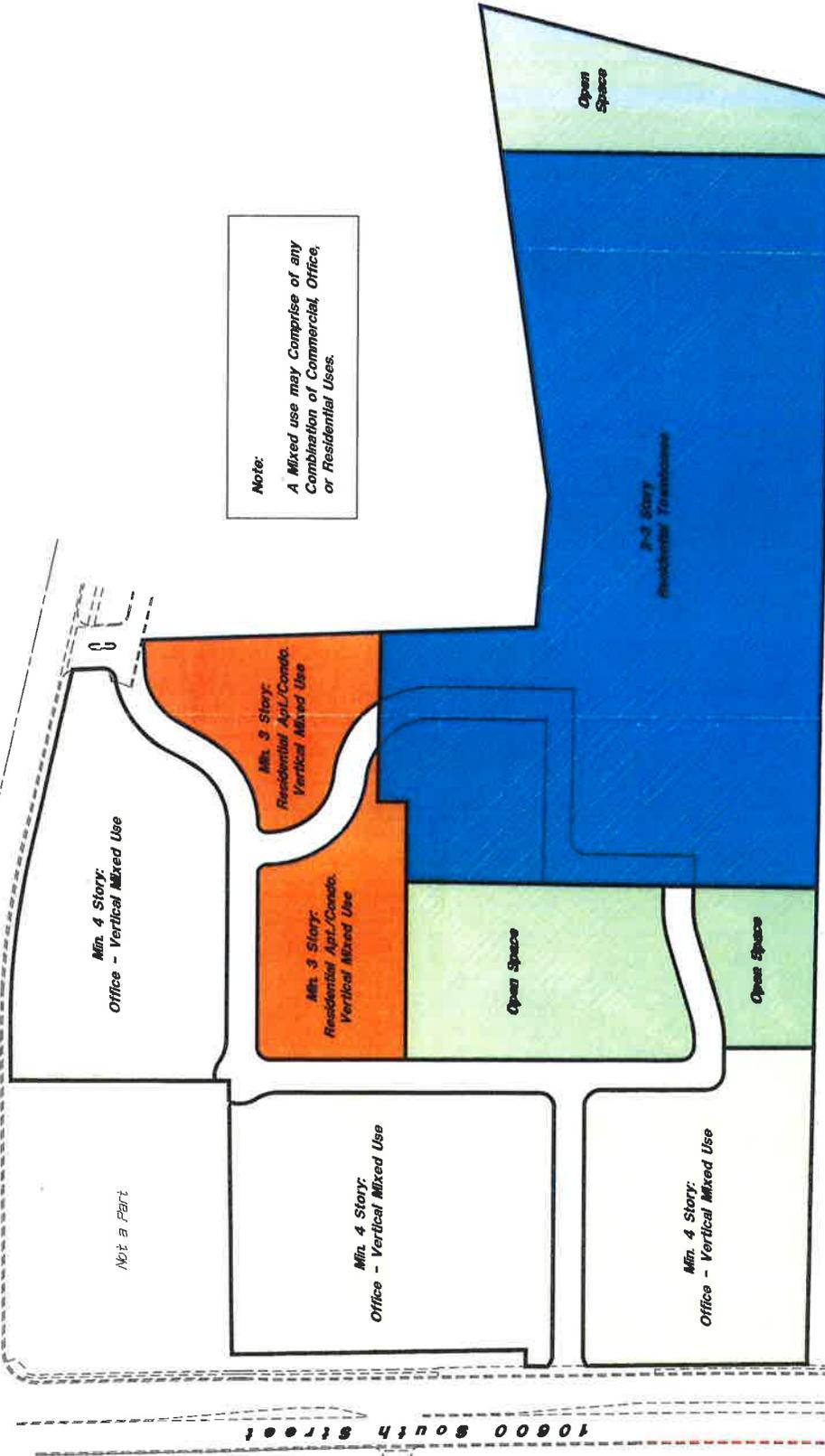
South Ridge

(Master Development Plan)

March 2012



South Jordan Gateway



GREAT BASIN ENGINEERING - SOUTH
CONSULTING ENGINEERS AND LAND SURVEYORS
2010 North Redwood Road, P.O. Box 18242
Salt Lake City, Utah 84116
Tel: 801-488-1222 Fax: 801-488-1551



Master Development Plan
South Ridge
10800 South Street and South Jordan Gateway
South Jordan, Utah

3 Mar, 2012
15677 m

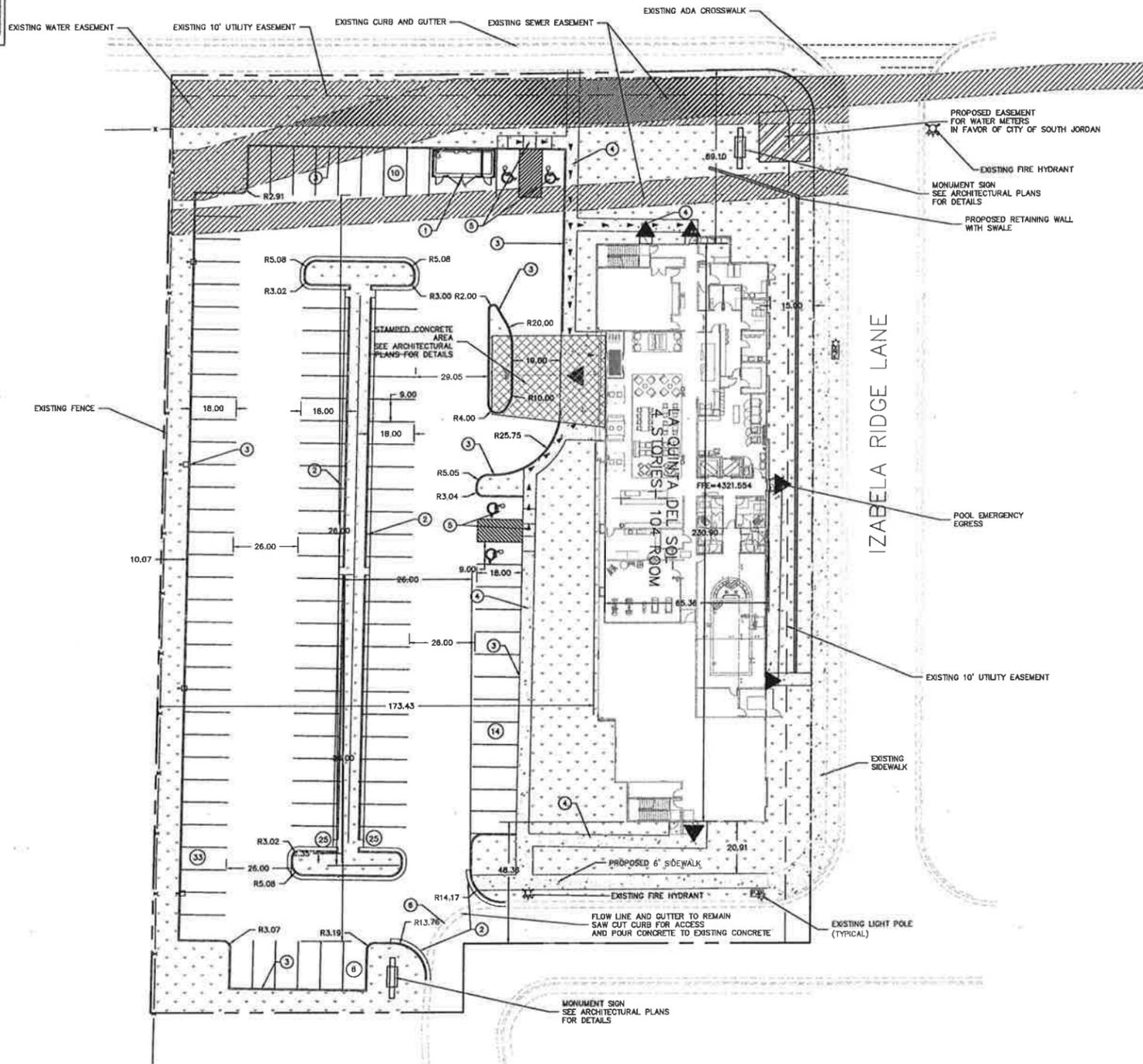
MDP



VICINITY MAP

DEC 05 2016

SOUTH JORDAN PARKWAY



LEGEND

LOT LINES (PROPERTY) ---
 EXISTING CURB AND GUTTER ---
 PROPOSED STANDARD CURB AND GUTTER ---
 EXISTING FENCE ---
 ADA PATH ---
 LANDSCAPE AREA [Pattern] ---
 ASPHALT AREA [Pattern] ---
 CONCRETE AREA [Pattern] ---
 STAMPED CONCRETE AREA [Pattern] ---
 GRADE BREAK GB ---
 INVERT ELEVATION IE ---
 TOP OF GRATE TOG ---
 TOP OF ASPHALT TA ---
 TOP BACK OF CURB TBC ---
 PROPOSED PROP ---
 EXISTING EX ---
 FINISHED GRADE FG ---
 FINISHED FLOOR ELEVATION FFE ---
 BACK OF SIDEWALK BOW

SITE DATA

LOT AREA: 63,436 SF (2.15 ACRES)
 BUILDING AREA: 14,990 SF @ 16.0%
 PAVEMENT AREA: 47,585 SF @ 50.9%
 LANDSCAPE AREA: 30,873 SF @ 33.1%
 ZONE: MU-TOD

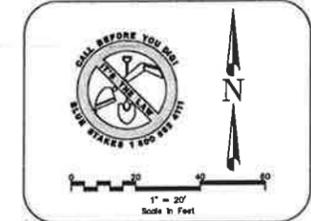
PARKING TABULATION

TOTAL STALLS REQUIRED BY ROOMS (1 PER ROOM): 104 ROOMS = 104 STALLS
 TOTAL STALLS PROVIDED: 113 (4 ADA STALLS)

- DESIGN NOTES:**
- PROPOSED TRASH ENCLOSURE. SEE SHEET C-5.1.
 - INSTALL CURB AND GUTTER PER APWA PLAN 205 TYPE E. SEE SHEET C-5.
 - INSTALL CURB WALL PER APWA PLAN 209 TYPE P. SEE SHEET C-5.
 - INSTALL 5' SIDEWALK PER APWA PLAN 231. SEE SHEET C-5.
 - INSTALL ADA STALLS AND SIGNS PER ADA STANDARDS.
 - INSTALL OPEN DRIVEWAY APPROACH PER APWA PLAN 225. SEE SHEET C-5.

SOUTH JORDAN ENGINEERING NOTE:
 1. CONTRACTOR TO OBTAIN ENCROACHMENT PERMIT FROM SOUTH JORDAN CITY PRIOR TO ANY CONSTRUCTION.

- GENERAL NOTES:**
- CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
 - CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
 - ALL PROPOSED WATER LINES TO HAVE A MINIMUM OF 4' OF COVER
 - ALL SEWER SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER SWSO STANDARDS.
 - WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
 - ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
 - SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
 - ALL WORK TO BE ACCORDING TO CITY STANDARDS.



SOUTH JORDAN CITY ENGINEER APPROVAL:
 BY: _____ DATE: _____

NO.	DESCRIPTION	DATE	BY

LEGEND

LEGEND ENGINEERING, LLC
 100 WEST 100 NORTH, SUITE 200-201
 HEBER CITY, UT 84032, TEL: 435-884-0000, FAX: 435-884-0001

PROFESSIONAL ENGINEER
LONNY R. REED
 No. 50769
 12/02/14
 STATE OF UTAH

MWT

ARCHITECTURE
 URBAN PLANNING
 INTERIORS
 HOTELS/ HOUSING/ MIXED USE
 1800.630.3750

LA QUINTA DEL SOL
 SITE PLAN
 511 W SOUTH JORDAN PKWY
 SOUTH JORDAN, UT

PROJECT NO.: 16.203
 DATE: Dec 02, 2016
 DRAWN BY: CJ
 CHKD. BY: LR

SHEET C-2

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 12/13/2016

Issue: THE FLATS AT THE DISTRICT
SITE PLAN, CONDITIONAL USE PERMIT, & DESIGN GUIDELINE
BOOK

Address: 11743 South 3648 West

File No: SP-2015.42

Applicant: David George

Submitted By: Brad Sanderson, Planner III, AICP
Jared Francis, Senior Engineer

Staff Recommendation (Motion Ready):

Approve The Flats at the District site plan, conditional use permit and design guideline book subject to the following site plan requirements and conditions of approval as listed below:

Site Plan Requirements:

1. Applicant shall record all subdivision and condo plats prior to building construction so as to not have lot lines bisecting buildings.
2. All site plan improvements shall be per the approved plans.
3. Private CC&R's shall be submitted to the City for legal review.

Conditions of Approval:

1. The site plan is subject to a condominium plat approval.

ACREAGE: 2.57Acres

CURRENT ZONE: BH-MU

CURRENT USE: Vacant

FUTURE LAND USE PLAN: Corridor

NEIGHBORING

LU DESIGNATIONS, (ZONING)/USES:

North - Corridor (BH-MU)/ Retail businesses

South - (Riverton City) /Low Density Residential (C-N)/
Vacant

East - Corridor (BH-MU)/ Vacant parcel, Office, and
Maverick Fuel

West - Corridor (BH-MU)/ Sand Tropez Condos

STANDARD OF APPROVAL:

The Planning Commission shall receive public comment at the public hearing regarding the proposed site plan. The Planning Commission may approve, approve with conditions or if the project does not meet City ordinances, deny the site plan. (City Code § 16.24.050)

CONDITIONAL USE REVIEW:

A use is conditional because it may have unique characteristics that detrimentally affect the zone and therefore are not compatible with other uses in the zone, but could be compatible if certain conditions are required that mitigate the detrimental effect.

To impose a condition, the detrimental effect must be identified and be based on substantial evidence, not simply a suspicion or unfounded concern. Any condition must be the least restrictive method to mitigate the detrimental effect. Further, under City Code Section 17.84.090.A:

1. A conditional use may be commenced and operated only upon:
 - a. Compliance with all conditions of an applicable conditional use permit;
 - b. Observance of all requirements of this title relating to maintenance of improvements and conduct of the use or business as approved; and
 - c. Compliance with all applicable local, state, and federal laws.
2. A conditional use permit may be revoked by the city council at any time due to the permittee's failure to commence or operate the conditional use in accordance with the requirements of subsection A.1 of this section.

No conditional use permit shall be revoked until after a public hearing is held before the city council. The permittee shall be notified in writing of such hearing. The notification shall state the grounds for complaint, or reasons for revocation, and the time and location of the hearing. At the hearing, the permittee shall be given an opportunity to be heard and may call witnesses and present evidence on his or her behalf. Upon conclusion of the hearing, the City Council shall determine whether or not the permit should be revoked.

BACKGROUND:

David George, on behalf of District Properties LC, has submitted a site plan, conditional use permit and design guideline book for residential condos and apartments on 2.57 acres of property located at 11743 South 3648 West, within the Bangerter Highway Mixed Use (BH-MU) Zone, also known as The District.

The Applicant submitted a complete application in November 2015, which was prior to the adoption of Resolution R2016-12, a "notice of pending ordinance," which notified the public that the City Council was considering adopting Ordinance 2016-05. The City Council subsequently adopted Ordinance 2016-5 on May 3, 2016, which removed residential uses as a conditional use in the BH-MU Zone. Therefore, City Staff reviewed this application under the previous BH-MU Zoning Code, which allowed multi-family residential with a maximum density of eight units per acre based on the gross acreage of the applicable master development plan adopted as part of a development agreement.

The District was approved in conjunction with a development agreement and master development plan, which were most recently amended in 2010. The Master Development Plan (MDP) outlined the type, quantity, and approximate location of certain uses (see MDP attached). The MDP

permitted up to 1,600 dwelling units. There are currently 1,147 existing dwelling units in the District

The Proposal:

The project consists of 64 one bedroom and 56 two bedroom units, inter-mixed between two four-story buildings, totaling 120 residential units. The buildings are oriented toward the street with large windows and balconies giving it a “village style design.” Because the BH-MU Zone requires two different land use housing types, the Applicant is proposing in a separate application a condominium plat for the south building.

Parking and Access: The site will have some surface parking but the majority of the parking will be located within an adjacent, two level parking structure. Because the grade of the site naturally slopes from north to south, the upper parking deck will be accessed from 11700 South and will only be two to three feet above existing grade. The lower parking deck will be accessed from 11800 South through a shared access with Maverick. The lower parking deck is directly accessible to either building by elevators or stairs. Based on the unit types, there are 238 parking stalls required and there are 239 total parking stalls being provided, which includes 25% extra for guest parking. Each unit has at least one covered parking stall.

The City hired a traffic engineering firm to conduct a traffic study, and the study concluded that this project would not cause significant impacts to the traffic flows on the neighboring streets and intersections. As recommended by the study, District View Drive (a private street) will be widened to adequately accommodate two travel lanes and on-street parking along one side. “No parking” signs will be added to the west side of District View Drive. A portion of 11700 South will also be widened to accommodate additional on-street parking.

Architecture: The BH-MU Zone requires the Applicant to submit a design guideline book as part of the development proposal. The Design Guideline Book (DGB) includes a project overview, site plan, landscaping, amenities, and building architecture and elevations (see DGB attached). The building elevations were previously reviewed by the City’s Architecture Review Committee and received a positive recommendation.

The project amenities include: outdoor sports court, playground, benches, pool, sundeck, and some indoor common areas such as a fitness center, game room, club room and leasing offices.

Landscaping and Fencing: Street trees and tree grates will be added to the east side of District View Drive to help buffer the west side of the buildings. A four foot tall wrought iron fence will be built along a portion of the north side of the property as a barrier between 11700 South and the playground area. There will be a six foot tall masonry fence along the entire east property line.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

1. The District contains 200 total acres.
2. Per the BH-MU Zone, four story buildings are prohibited within 400 feet of a single family residential zone. The distance between the proposed buildings and nearest single family residential zone, within South Jordan, is roughly 460 feet.

3. The Flats at the District including District View Drive, i privately owned and maintained, so there will not be any need for parking enforcement, waste management, and snow removal by the City.
4. In addition to the onsite amenities, the City has a retention basin/open space area located near 11800 S. and 3600 W. for additional recreation.
5. Condominiums and apartments are two different housing land use types even though their function is similar. The Applicant is proposing a condominium plat for the south building and surrounding area in order to meet the BH-MU requirement for two different housing land use types, as stated within Resolution No. R2010-07, First Amendment to Development Agreement, Section 17.70.030 Conditional Uses;

“... multi-family residential, (projects with more than one housing land use type with ‘village’ style design, building height and architecture), maximum eight (8) units per acre of the gross acreage of the Master Development Plan...”

6. Roughly 75% of the allowed residential units within The District have been already been built with only a few parcels available for development.

Conclusions:

Based on the above findings, Staff has made the following conclusions:

1. The proposed uses, including number of units, is within the parameters of the District Master Development Plan,
2. A multi-family use is only allowed through a conditional use, if there is more than one housing land use type. As such, the proposal is subject to the approval of a condominium plat approval as proposed.
3. Per the traffic analysis, the proposal is not anticipated to have a detrimental impact to the surrounding streets and intersections.
4. The site plan meets all requirements listed within the BH-MU Zone and Development Agreement.

Recommendation:

Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and approve the site plan, conditional use, and design guideline book for The Flats at the District, subject to the conditions and requirements listed above, unless during the hearing facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Deny the proposal
- Add to or modify the listed requirements for approval
- Schedule the decision for a later date

SUPPORT MATERIALS:

- Aerial Map
- Zoning Map
- District Master Development Plan
- Proposed Plans

- Elevations
- Design Guideline Book
- Traffic Study
- Resolution R2010-07, First Amendment to Development Agreement (available upon request)

A handwritten signature in black ink that reads "Brad Sanderson". The signature is written in a cursive style with a horizontal line underneath it.

Brad Sanderson
Planner III, AICP

Bangerter Highway

Bangerter Hwy North

3860 W

3840 W

11800 South

11700 S

11500 S

11800 S

3700 W

3650 W

11700 South

3600 West

3600 W

Jordanian Dr

Artistic Cir

Anthem Cir

Union Station Cir

Union Station Ln

Monument Cir

Kemper Cir

Loma Ln

History Dr

11580 S

11520 S

Aerial Map

Subject Property

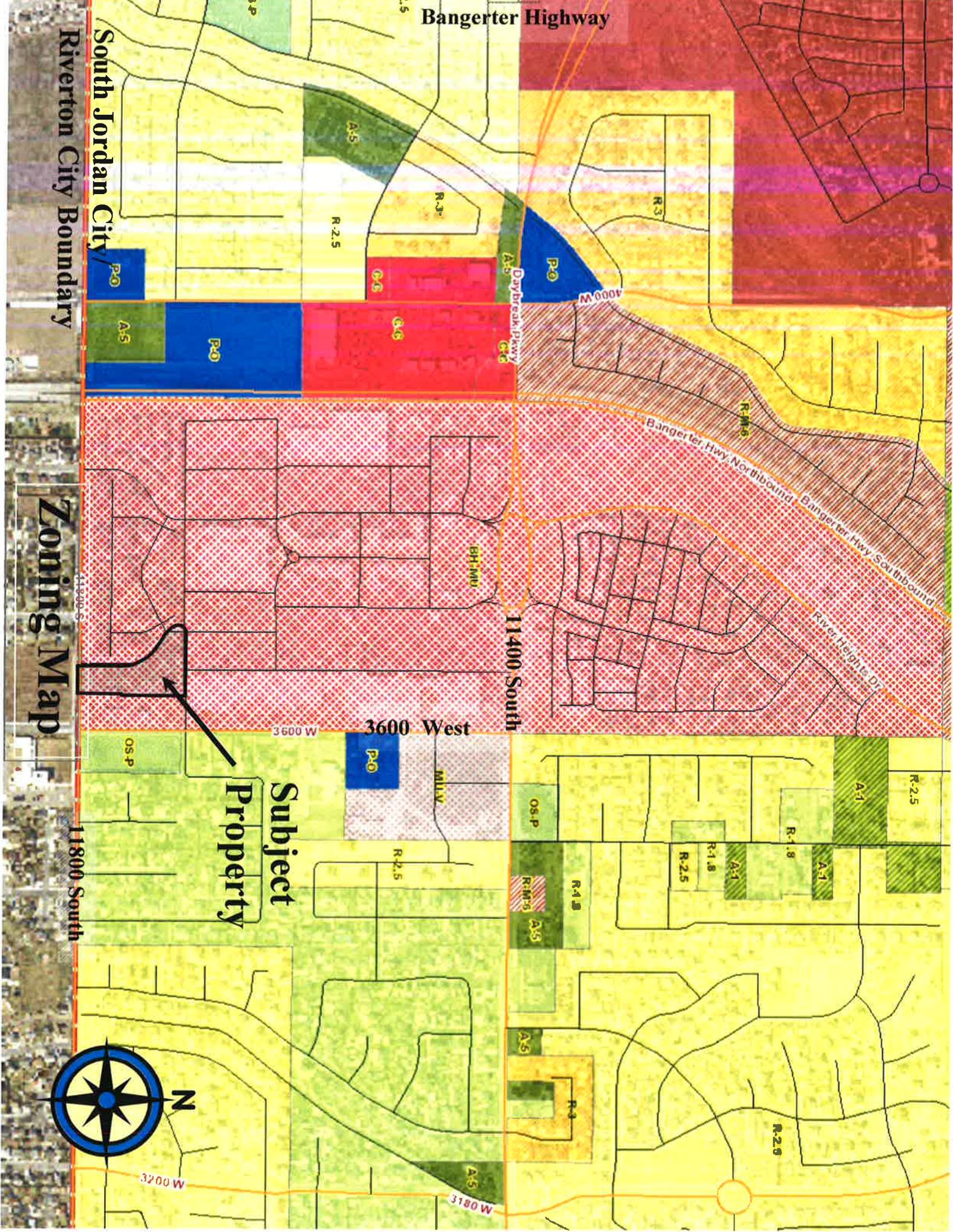


Bangerter Highway

South Jordan City
Riverton City Boundary

Zoning Map

Subject
Property

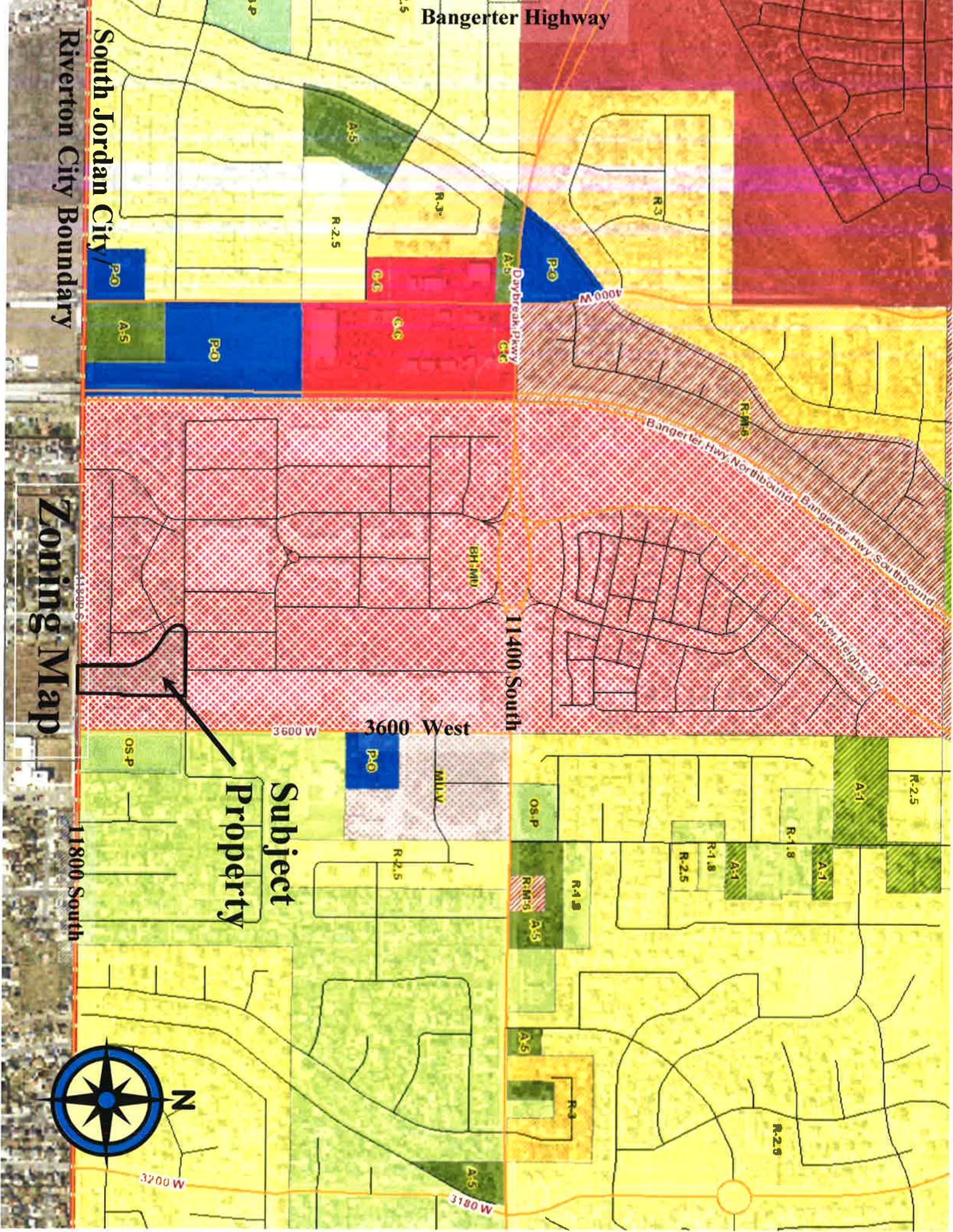


Bangerter Highway

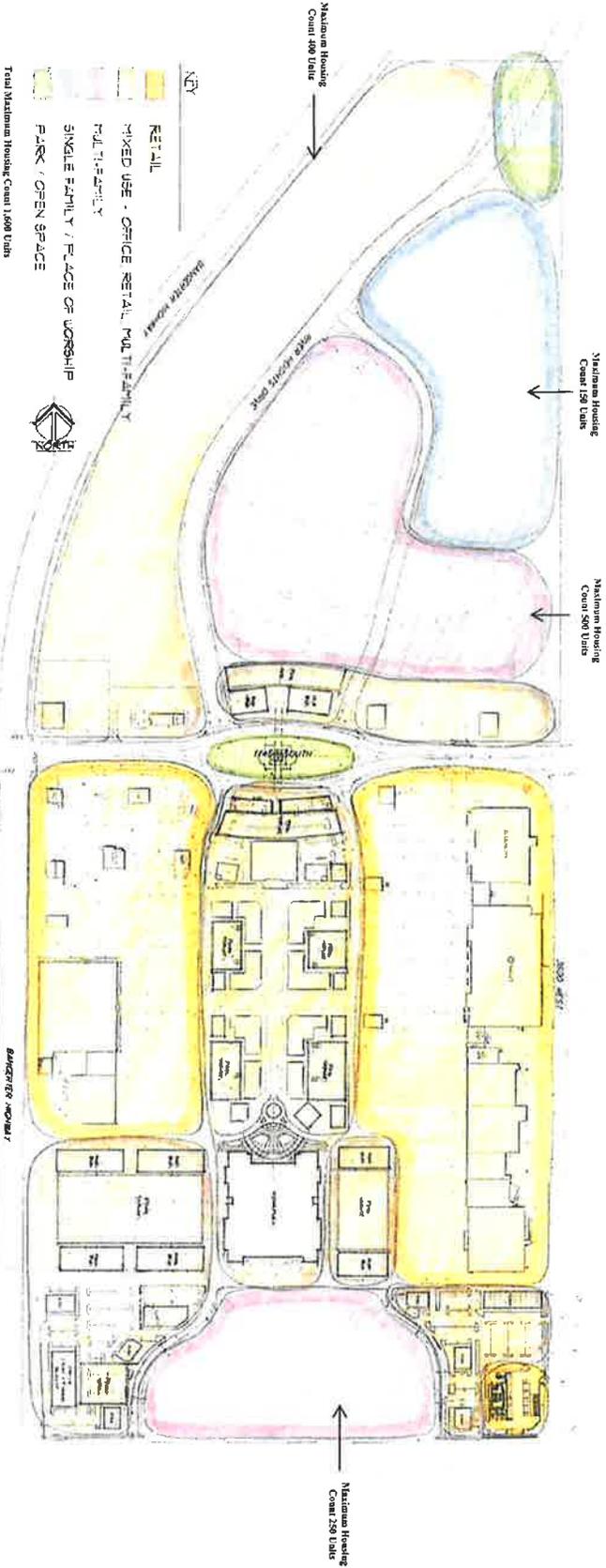
South Jordan City
Riverton City Boundary

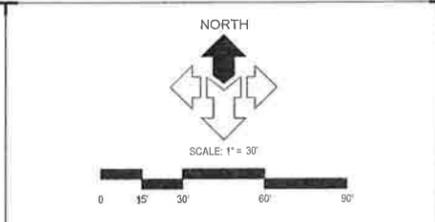
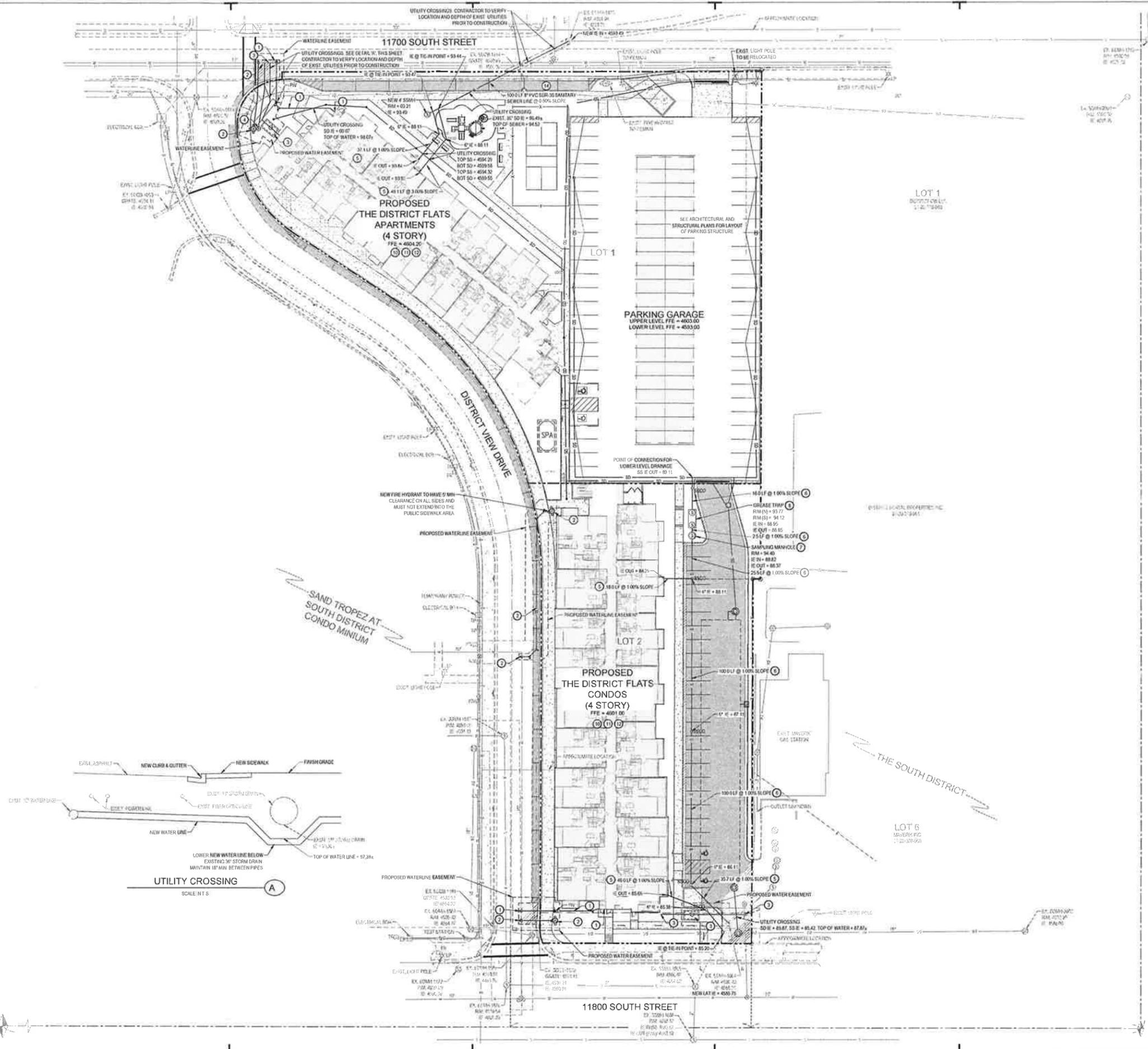
Zoning Map

Subject
Property



BHMU Master Development Plan (page 1 of 4) (Land Use Plan)





GENERAL NOTES:
 CONTRACTOR TO COORDINATE WITH LANDSCAPE AND IRRIGATION PLANS WHEN INSTALLING HARDSCAPE FOR SLEEVES AND LOCATIONS.
 CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS.
 ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH SOUTH JORDAN CITY STANDARDS & SPECIFICATIONS.
 ALL NEW SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICTS DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
 CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
 FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.
 CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO BUILDING WITH CENTURY LINK. A PVC CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE IS REQUIRED FOR SERVICE THROUGH PROPERTY. COORDINATE SIZES AND LOCATION WITH CENTURY LINK.
 CONTRACTOR IS TO SUBMIT PLAN TO QUESTAR GAS FOR DESIGN OF GAS LINE SERVICE. CONTRACTOR TO COORDINATE WITH QUESTAR GAS FOR CONTRACTOR LIMITS OF WORK VERSUS QUESTAR GAS LIMITS.
 LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.
 UTILITY ALERT PHONE NUMBERS:
 WATER: SOUTH JORDAN CITY
 SEWER: SOUTH VALLEY SEWER DISTRICT
 NATURAL GAS: QUESTAR GAS
 ELECTRICAL POWER: ROCKY MOUNTAIN POWER
 TELEPHONE: CENTURY LINK

- KEYED NOTES:**
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS
1. INSTALL 6" PVC FIRE LINE FROM EXISTING WATER LINE TO HW AND 4" DIP CLASS 52 FIRE LINE WITH POLYWRAP FROM HW TO BUILDING, INCLUDING ALL FITTINGS AND THRUST BLOCKING. HOT TAP CONNECTION TO EXISTING WATER LINE. SEE SOUTH JORDAN CITY STANDARD DETAIL 3012, SHEET CS 03 FOR TRENCHING AND SOUTH JORDAN CITY STANDARD DETAIL 3060, SHEET CS 03 FOR THRUST BLOCKING. INSTALL PW FOR SOUTH JORDAN CITY STANDARDS.
 2. INSTALL 6" PVC C-900 DR. 18" BLUE FIRE LINE AND FIRE HYDRANT ASSEMBLY COMPLETE. HOT TAP CONNECTION TO EXISTING WATER LINE. SEE SOUTH JORDAN CITY STANDARD DETAIL 3060 AND 3065, SHEET CS 03. HYDRANTS WILL HAVE 5' OF CLEARANCE FROM ALL OBSTRUCTIONS.
 3. 3" IPS POLY WATER SERVICE LINE AND METER SET, PER SOUTH JORDAN CITY DRAWINGS 3067 AND 3107, SHEET CS 03. HOT TAP CONNECTION TO EXISTING WATER LINE. TRENCHING PER SOUTH JORDAN CITY STANDARD DETAIL 3010, SHEET CS 03.
 4. 1-1/2" LANDSCAPE IRRIGATION METER SET AND RPZ BACKFLOW PREVENTER. SEE SOUTH JORDAN CITY STANDARD DRAWING 3060 AND 3065, SHEET CS 03 FOR DETAILS.
 5. 6" PVC SDR-35 SANITARY SEWER LATERAL @ 1.00% MIN. SLOPE, INCLUDING CLEANOUTS AT 100-FOOT MAXIMUM SPACING. FOR SANITARY WASTE ONLY. CONNECT TO 8" MAIN WITH WYE CONNECTION. SEE SOUTH VALLEY SEWER DISTRICT DETAIL 'SS-1A', SHEET CS 04 FOR TRENCHING AND DETAIL 'SS-3A', SHEET CS 04 FOR CLEANOUT.
 6. 6" PVC SDR-35 SANITARY SEWER LATERAL @ 1.00% MIN. SLOPE, INCLUDING CLEANOUTS AT 100-FOOT MAXIMUM SPACING. FOR GREASE TRAP WASTE ONLY. SANITARY WASTE. SEE SOUTH VALLEY SEWER DISTRICT DETAIL 'SS-1A', SHEET CS 04 FOR TRENCHING AND DETAIL 'SS-3A', SHEET CS 04 FOR CLEANOUT.
 7. 5" DIAMETER SEWER SAMPLING MANHOLE PER SVSD DETAIL PT-2. SEE SHEET CS 03.
 8. 800 GALLON GREASE INTERCEPTOR PER SVSD DETAIL PT-11, SHEET CS 03. RESIDENCE TIME = 60 GAL / 10 GPM = 60 MINUTES. ASSUMES 10 GPM MAX FLOW. 30 MINUTES REQUIRED. CHECKS OK.
 9. LIGHT POLE. SEE ARCHITECTURAL PLANS FOR DETAILS.
 10. NATURAL GAS LINE. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION BY QUESTAR GAS WITH OTHER CONSTRUCTION.
 11. TELEPHONE LINE. CONTRACTOR TO PROVIDE TRENCHING 30" DEEP X 24" WIDE FOR CENTURY LINK AND THEN BACKFILL AS REQUIRED.
 12. UNDERGROUND CABLE AND POWER LINES. CONTRACTOR TO COORDINATE WITH COMCAST AND ROCKY MOUNTAIN POWER.
 13. INSTALL STREET LIGHT PEDESTAL PER SOUTH JORDAN CITY STANDARDS AND SPECIFICATIONS. SEE ELECTRICAL PLAN FOR DETAILS AND SPECIFICATION.
 14. 8" PVC SDR-35 SANITARY SEWER LINE, INCLUDING ALL FITTINGS. SEE SOUTH VALLEY SEWER DISTRICT DETAIL 'SS-1A', SHEET CS 04 FOR TRENCHING.

SEWER DESIGN: FLATS APARTMENTS / CONDOS
 60 UNITS PER BUILDING
 ASSUMPTIONS:
 2.50 PERSONS PER UNIT
 100 GALLONS/CAPITADAY
 PEAK FACTOR=(18+SQRT P)/(4+ SQRT P)=4.19
 P=POPULATION IN 1000'S= 60 x 2.50/1000=0.15
 AVERAGE FLOW
 RESIDENTIAL= 60 x 2.50 x 100=15,000 GAL/DAY=0.02 CFS
 PEAK FLOW
 Qpeak= AVERAGE FLOW x PEAK FACTOR=0.02 x 4.19=0.08 CFS
 CAPACITY OF 6" PIPE 12 FULL @ 1.0% MIN=0.3 CFS
 REDD=0.08 CFS

APPROVED BY SOUTH JORDAN CITY ENGINEER
 SOUTH JORDAN CITY ENGINEER DATE

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.
Call 801.662.4111
 NOTICE!
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

MCNEIL ENGINEERING
 Economic and Sustainable Design, Professionals You Know and Trust
 8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcneilengineering.com
 Civil Engineering • Consulting & Landscape Architecture
 Structural Engineering • Land Surveying & HDS



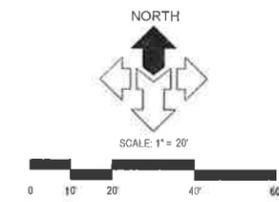
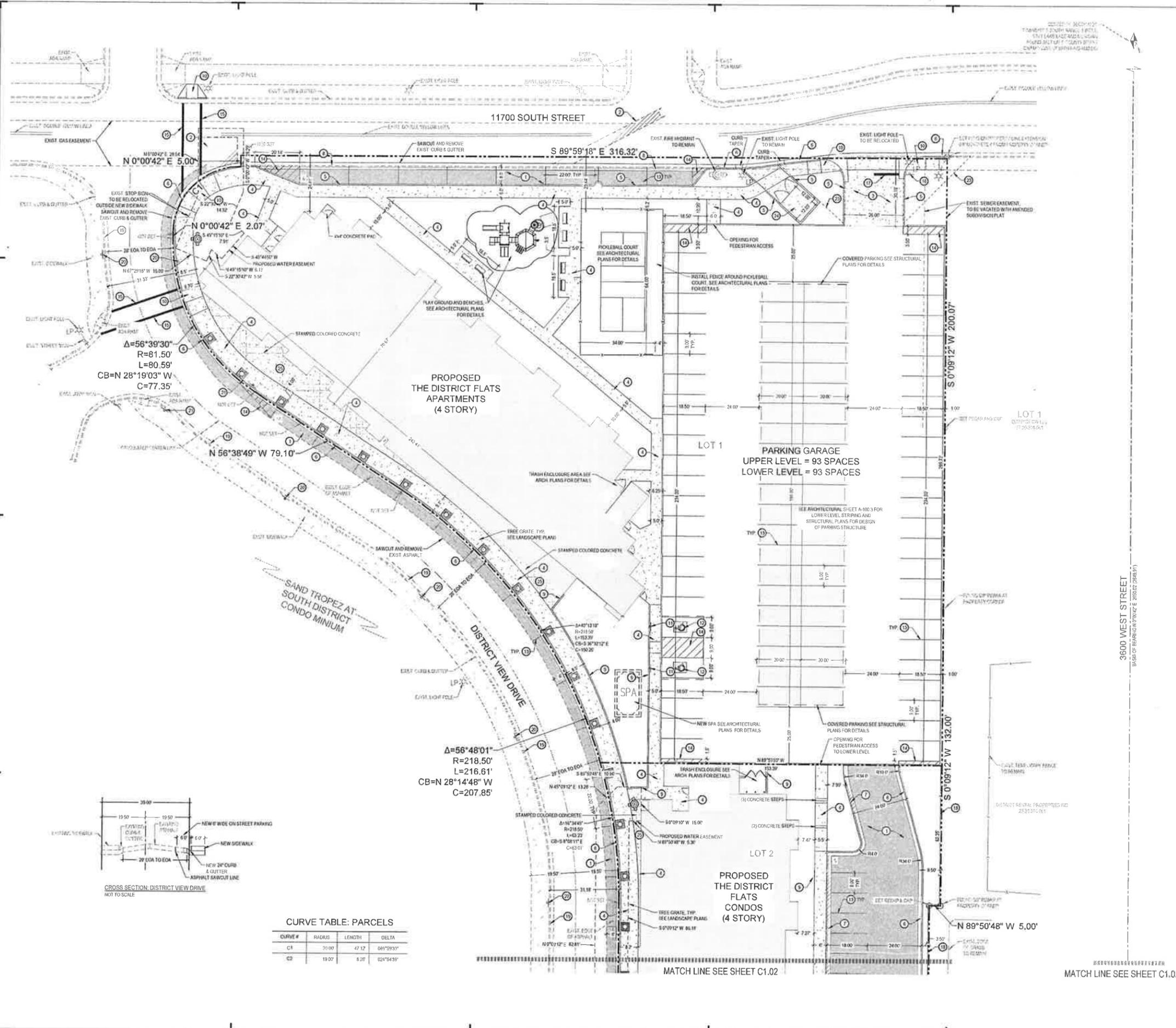
THE FLATS AT THE DISTRICT
 11743 S. DISTRICT VIEW DRIVE
 SOUTH JORDAN, UTAH
 SW 1/4 OF SECTION 20, TOWNSHIP 3 SOUTH, RANGE 1 WEST, S.L.B.&M.

REV	DATE	DESCRIPTION

PROJECT NO: 15101
 DRAWN BY: JKS
 CHECKED BY: RJP
 DATE: 11-28-2016

SITE UTILITY PLAN
C4.01

C:\Users\jmcneil\OneDrive\Documents\Projects\15101 - phasing\Rev. Nov. 28, 2016 - 6:25pm



GENERAL NOTES:

- ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED
- SEE ARCHITECTS SITE PLAN FOR ADDITIONAL INFORMATION
- SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING
- ALL WORK TO COMPLY WITH GOVERNING AGENCIES STANDARDS AND SPECIFICATIONS
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS
- EXISTING LOTS 2, 3 & 4 TO BE CONSOLIDATED

KEYED NOTES:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS

- STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL 'C1', SHEET C5 01
- ASPHALT T-PATCH PER APWA PLAN NO. 256
- CONCRETE PAVEMENT WITH GRANULAR BASE PER DETAIL 'C2', SHEET C5 01
- CONCRETE SIDEWALK SEE APWA DETAIL '231', SHEET C5 02
- CONCRETE CURB WALL SEE DETAIL 'D3', SHEET C5 01
- 24" CONCRETE CURB AND GUTTER SEE DETAIL 'D1', SHEET C5 01
- 24" CONCRETE RELEASE CURB AND GUTTER SEE DETAIL 'D2', SHEET C5 01
- 30" WIDE CONCRETE WATERWAY SEE DETAIL 'X2', SHEET C5 01
- CONCRETE RETAINING WALL SEE DETAIL 'C5', SHEET C5 01
- ADA RAMP WITH DETECTABLE WARNING SURFACE SEE APWA PLAN NO. 236 (SHEET 3 OF 3), SHEET C5 02 FOR RAMP DETAIL AND APWA PLAN NO. 236, SHEET C5 02 FOR DETECTABLE WARNING SURFACE
- ADA PARKING SIGN SEE DETAIL 'B3', SHEET C5 01
- PAINTED ADA SYMBOL SEE DETAIL 'B2', SHEET C5 01
- 4" WIDE SOLID YELLOW PARKING STALL STRIPE LINES
- 4" WIDE SOLID YELLOW PEDESTRIAN STRIPE LINES
- 12" WIDE SOLID WHITE PEDESTRIAN CROSSWALK
- NEW 24" STOP SIGN SEE MUTCD DETAIL R1-1
- PAINTED 12" WIDE SOLID WHITE STOP BAR AND WORD "STOP"
- 8" HIGH DECORATIVE MASONRY FENCE SEE ARCHITECTURAL SHEET A-100 3 FOR MORE DETAIL
- NO PARKING ALLOWED PAINT CURB WITH RED EPOXY PER SOUTH JORDAN CITY STANDARDS
- INSTALL NO PARKING ANY TIME (WITH DOUBLE HEADED ARROW) R1-1 SIGNS PER MUTCD STANDARDS AS SHOWN ON PLAN MANAGEMENT COMPANY IS RESPONSIBLE FOR ENFORCING TOWING PER CENRS
- INSTALL NO PARKING ANY TIME (WITH SINGLE HEADED ARROW POINTING LEFT) R1-1 SIGN PER MUTCD STANDARDS AS SHOWN ON PLAN MANAGEMENT COMPANY IS RESPONSIBLE FOR ENFORCING TOWING PER CENRS
- INSTALL NO PARKING ANY TIME (WITH SINGLE HEADED ARROW POINTING RIGHT) R1-1 SIGN PER MUTCD STANDARDS AS SHOWN ON PLAN MANAGEMENT COMPANY IS RESPONSIBLE FOR ENFORCING TOWING PER CENRS
- 30' x 30' SITE TRIANGLE
- INSTALL DUMPSTER ENCLOSURE SEE ARCHITECTURAL PLANS FOR DETAILS
- STAMPED COLORED CONCRETE SIDEWALK SEE APWA DETAIL '231', SHEET C5 02

PARKING CALCULATION TABLE

PARKING REQUIRED:

- (50) 1 BEDROOM UNITS AT 1.5 STALLS PER UNIT = 75 STALLS
- (50) 2 BEDROOM UNITS AT 2.0 STALLS PER UNIT = 100 STALLS
- (100) TOTAL UNITS AT 0.25 STALLS PER UNIT (GUEST PARKING) = 25 STALLS
- TOTAL PARKING STALLS REQUIRED = 200 STALLS
- TOTAL ADA STALLS REQUIRED = 6 STALLS
- TOTAL COVERED STALLS REQUIRED = 120 STALLS

PARKING PROVIDED:

- PARKING GARAGE (UPPER LEVEL) = 93 STALLS
- PARKING GARAGE (LOWER LEVEL) = 93 STALLS
- OTHER ON-SITE PARKING = 10 STALLS
- TOTAL PARKING STALLS PROVIDED = 196 STALLS
- TOTAL ADA STALLS PROVIDED = 6 STALLS
- TOTAL COVERED STALLS PROVIDED = 135 STALLS

RECORD DESCRIPTION

ALL OF LOTS 2, 3 AND 4 OF THE SOUTH DISTRICT SECOND AMENDED SUBDIVISION AS RECORDED ON FILE AT THE SALT LAKE COUNTY RECORDER #1102778, BOOK 2019, PAGE 142

LEGEND

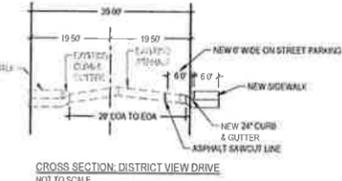


APPROVED BY SOUTH JORDAN CITY ENGINEER
 SOUTH JORDAN CITY ENGINEER _____ DATE _____

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY!

Call Before You Dig
 1-800-662-4111

NOTICE!
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL SURFED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS



CURVE TABLE: PARCELS

CURVE #	RADIUS	LENGTH	DELTA
C1	30.00'	47.12'	069°59'30"
C2	19.00'	6.20'	024°54'39"

MCNEIL ENGINEERING
 Economic and Sustainable Designs. Professionals You Know and Trust.
 8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.235.7700 mcnengineering.com
Civil Engineering • Consulting & Landscape Architecture
 Structural Engineering • Land Surveying & HDS



THE FLATS AT THE DISTRICT
11743 S. DISTRICT VIEW DRIVE
SOUTH JORDAN, UTAH
 SW 1/4 OF SECTION 20, TOWNSHIP 3 SOUTH, RANGE 1 WEST, S.1.B.&M.

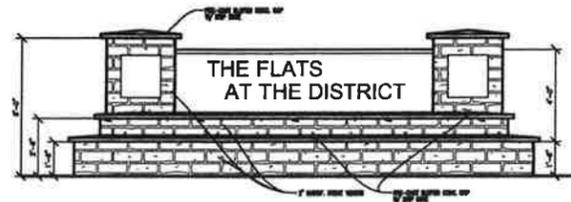
REVISIONS

REV	DATE	DESCRIPTION

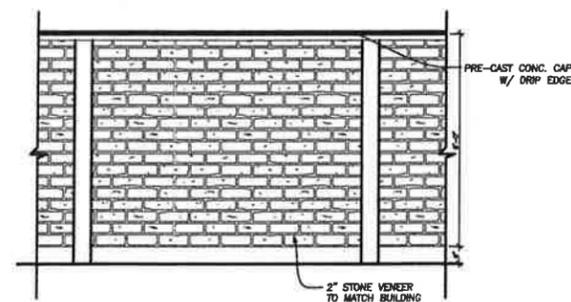
PROJECT NO: 15101
 DRAWN BY: JKS
 CHECKED BY: RJP
 DATE: 11-28-2016

HORIZONTAL CONTROL PLAN NORTH
C1.01

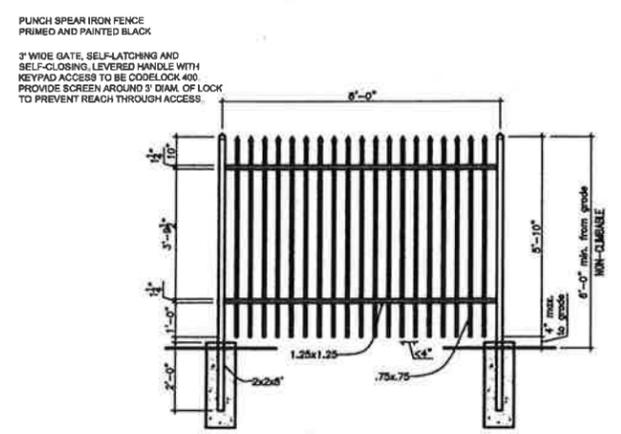
C:\Users\rbuckley\OneDrive\Documents\15101 - platng Job Nov. 28, 2016 - 4/26/16



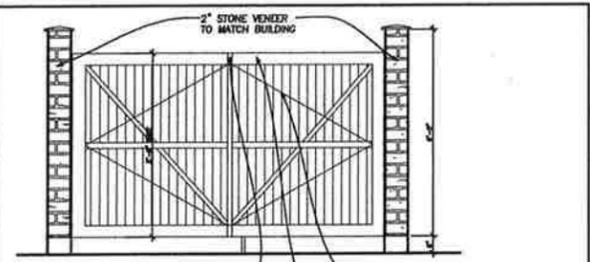
3 ENTRY MONUMENT SIGN
A-100.3 SCALE: 1/16" = 1'-0"



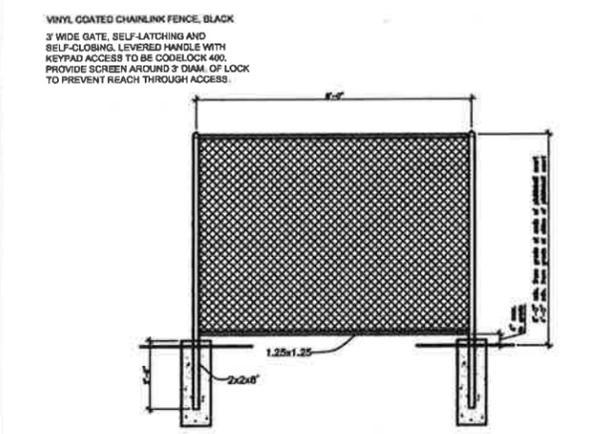
2 6' TALL DECORATIVE MASONRY FENCE
A-100.3 SCALE: 1/16" = 1'-0"



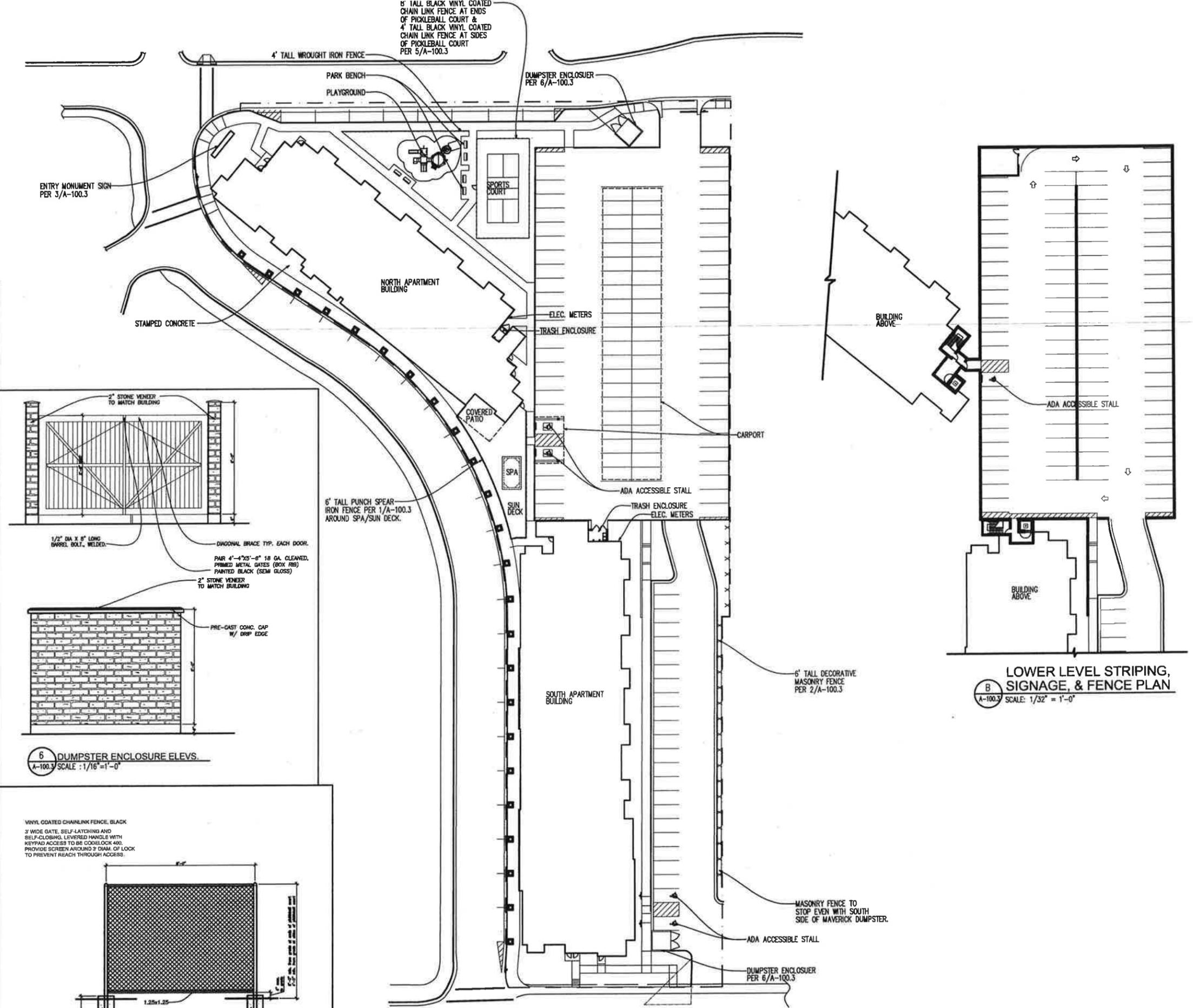
1 PUNCH SPEAR FENCE ELEVATION
A-100.3 SCALE: 1/16" = 1'-0"



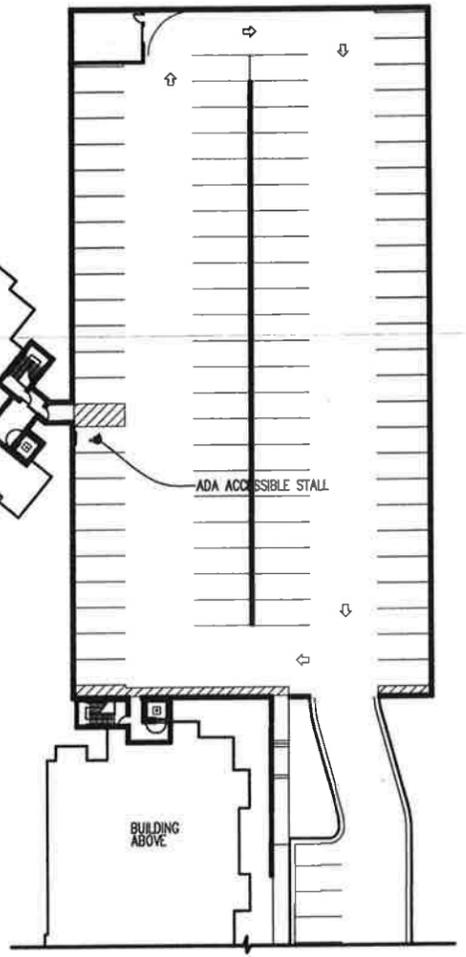
6 DUMPSTER ENCLOSURE ELEV.
A-100.3 SCALE: 1/16" = 1'-0"



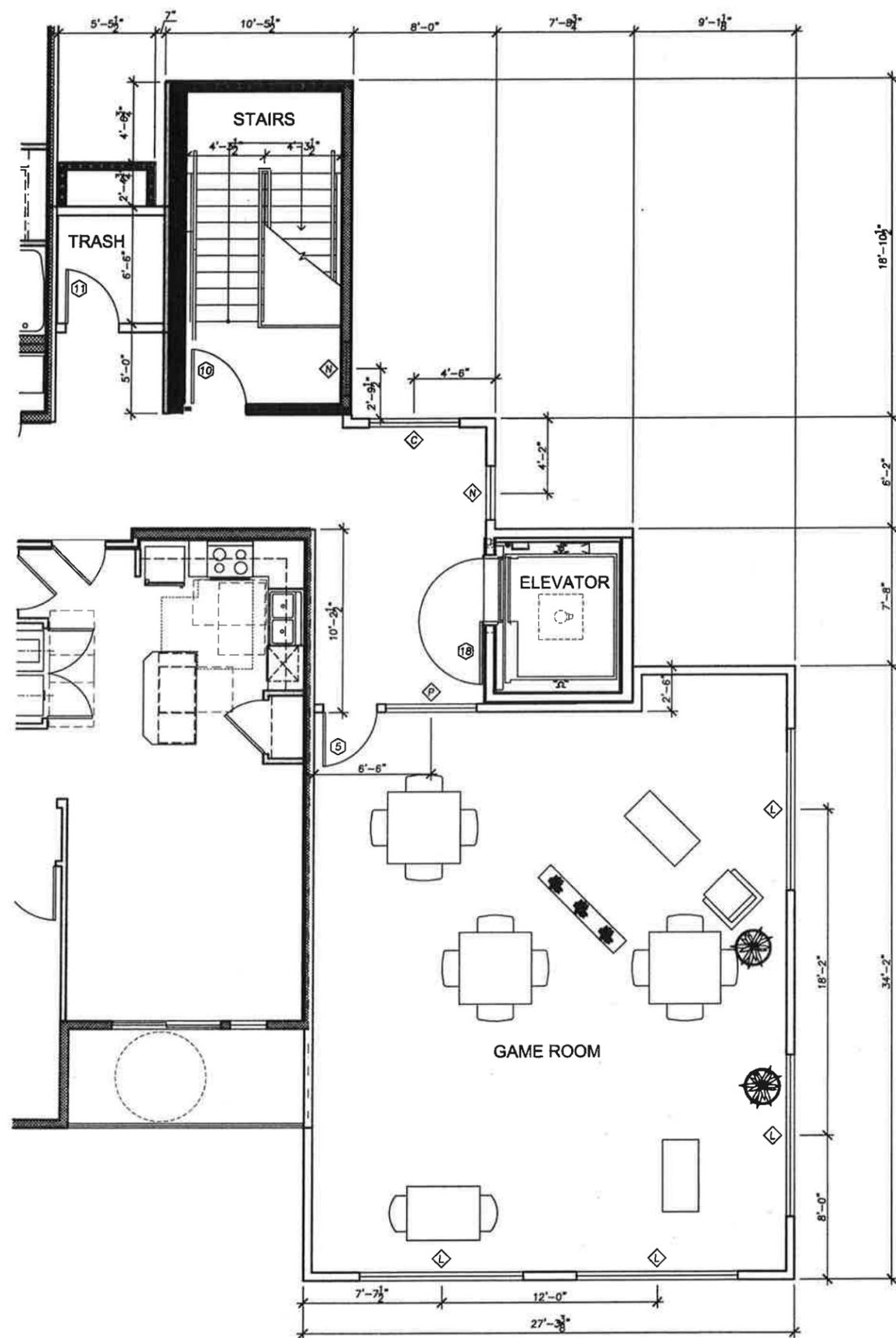
5 BLACK VINYL COATED CHAIN-LINK FENCE ELEVATION
A-100.3 SCALE: 1/16" = 1'-0"



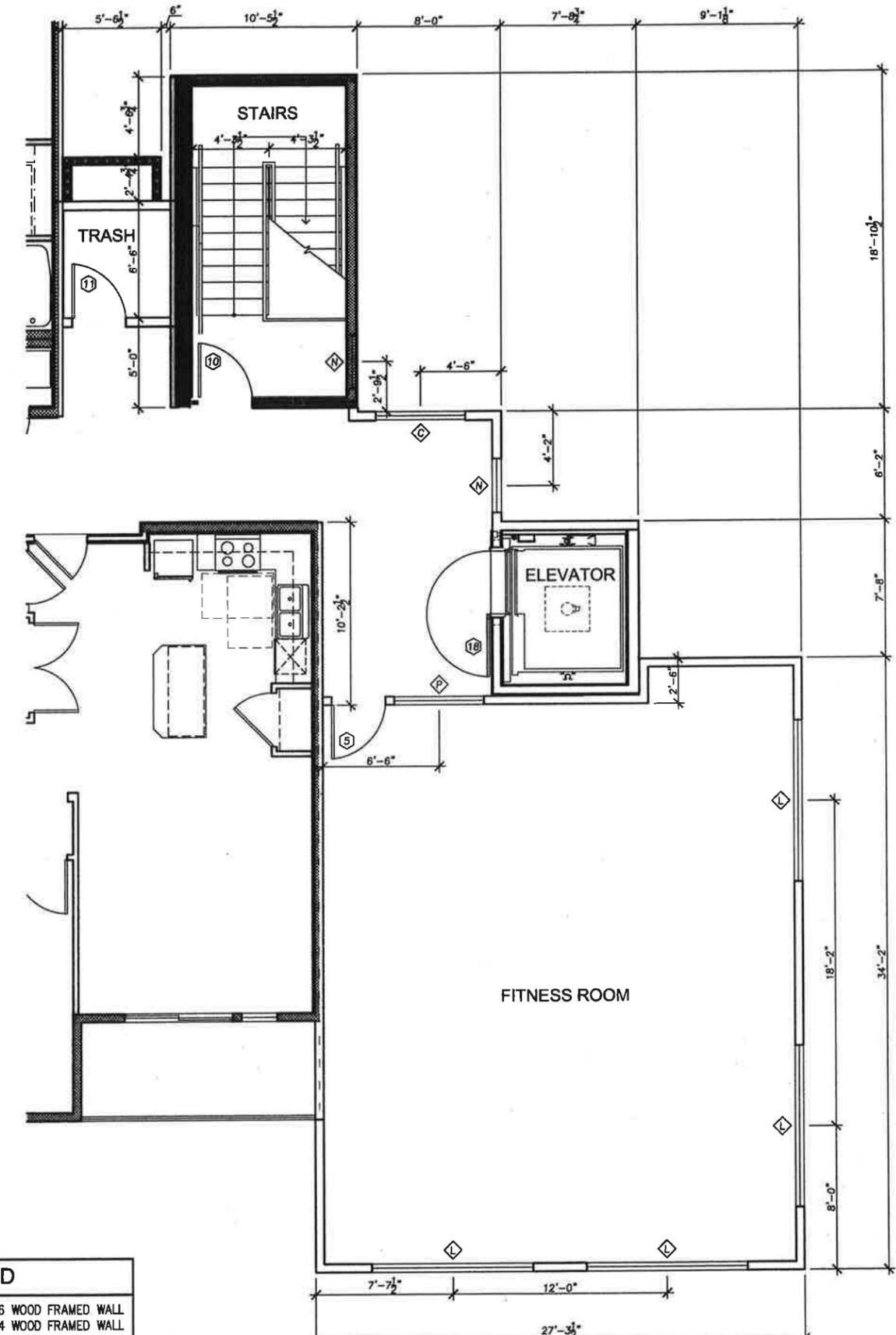
A UPPER LEVEL & SURFACE STRIPING & FENCE PLAN
A-100.3 SCALE: 1/32" = 1'-0"



B LOWER LEVEL STRIPING, SIGNAGE, & FENCE PLAN
A-100.3 SCALE: 1/32" = 1'-0"



B
 NORTH BUILDING
 3RD FLOOR CLUBROOM
 A-102.4 SCALE: 1/4" = 1'-0"



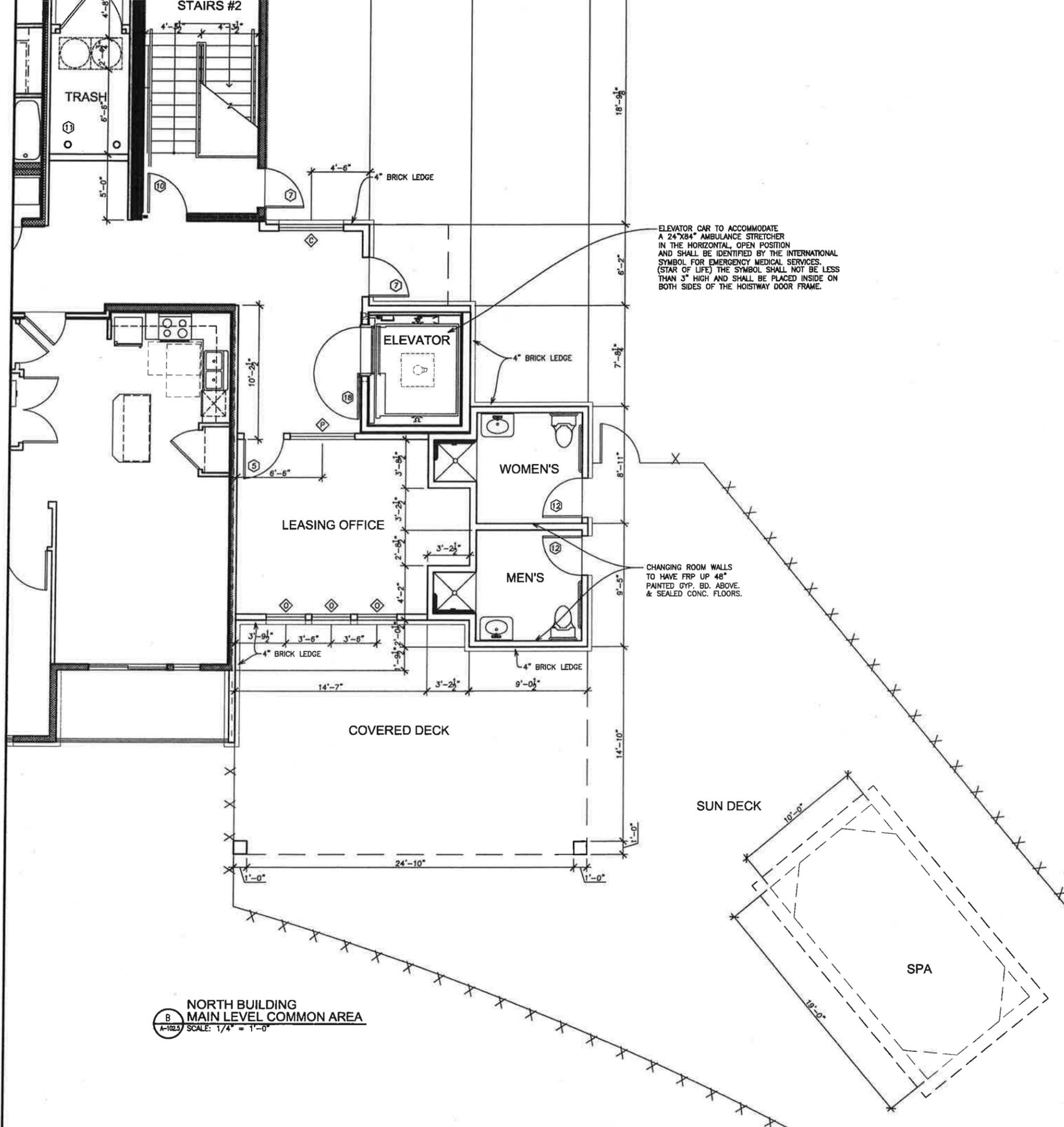
A
 NORTH BUILDING
 2ND FLOOR FITNESS AREA
 A-102.4 SCALE: 1/4" = 1'-0"

KEY LEGEND

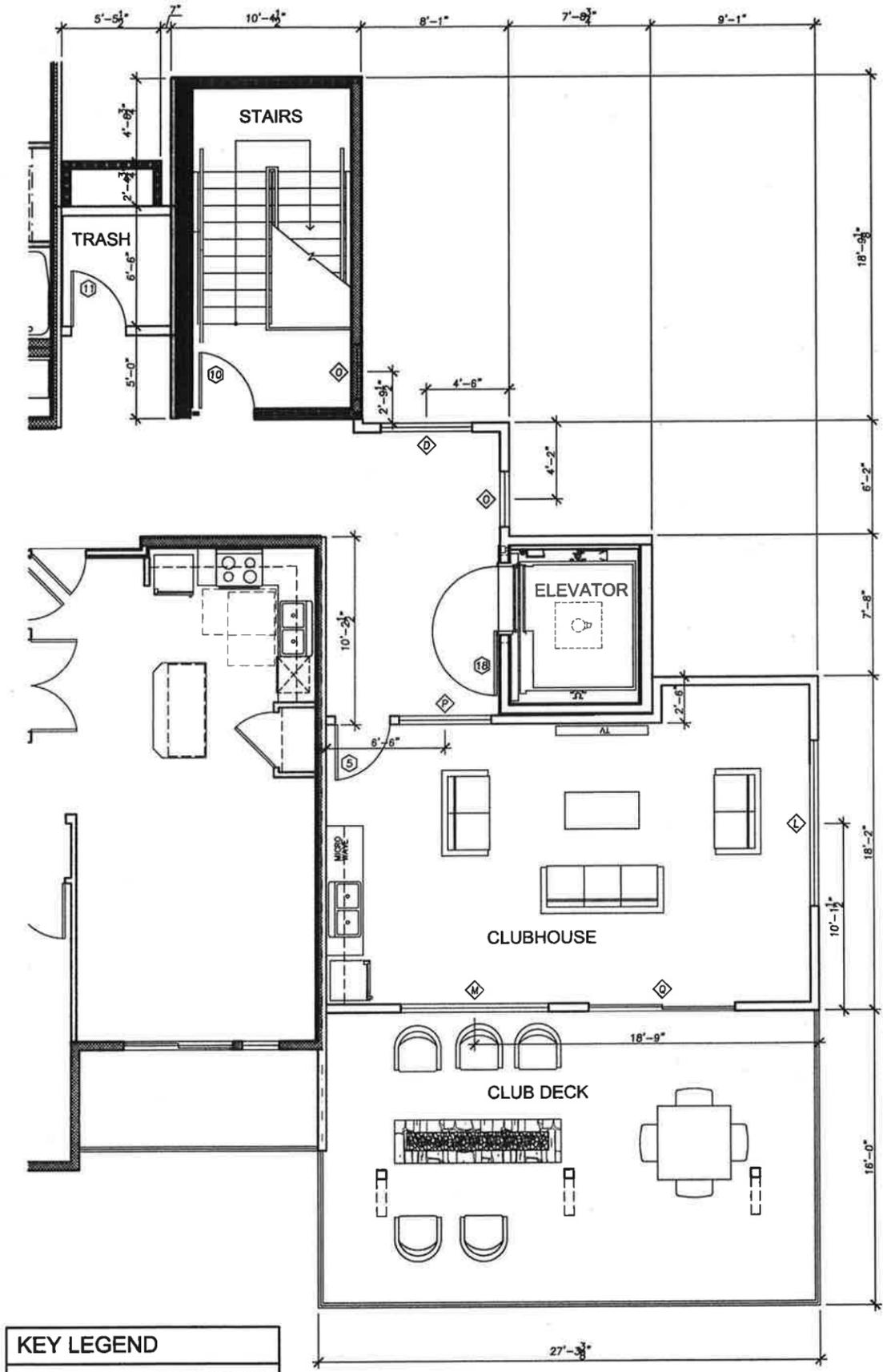
- : INDICATES 2x6 WOOD FRAMED WALL
- : INDICATES 2x4 WOOD FRAMED WALL
- : 5-5/8" LT. GA. STEEL STUD WALL
- : 3-5/8" LT. GA. STEEL STUD WALL
- : C.I.P. CONC. WALL
- : WINDOW SYMBOL, SEE SHEET A-202.
- : DOOR SYMBOL, SEE SHEET A-202.

SEE SHEET A-202 FOR FINISH SCHEDULE.

NOTE: DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.



B
 NORTH BUILDING
 MAIN LEVEL COMMON AREA
 A-1023 SCALE: 1/4" = 1'-0"



KEY LEGEND

- : INDICATES 2x6 WOOD FRAMED WALL
- : INDICATES 2x4 WOOD FRAMED WALL
- : 5-5/8" LT. GA. STEEL STUD WALL
- : 3-5/8" LT. GA. STEEL STUD WALL
- : C.I.P. CONC. WALL
- : WINDOW SYMBOL, SEE SHEET A-202.
- : DOOR SYMBOL, SEE SHEET A-202.

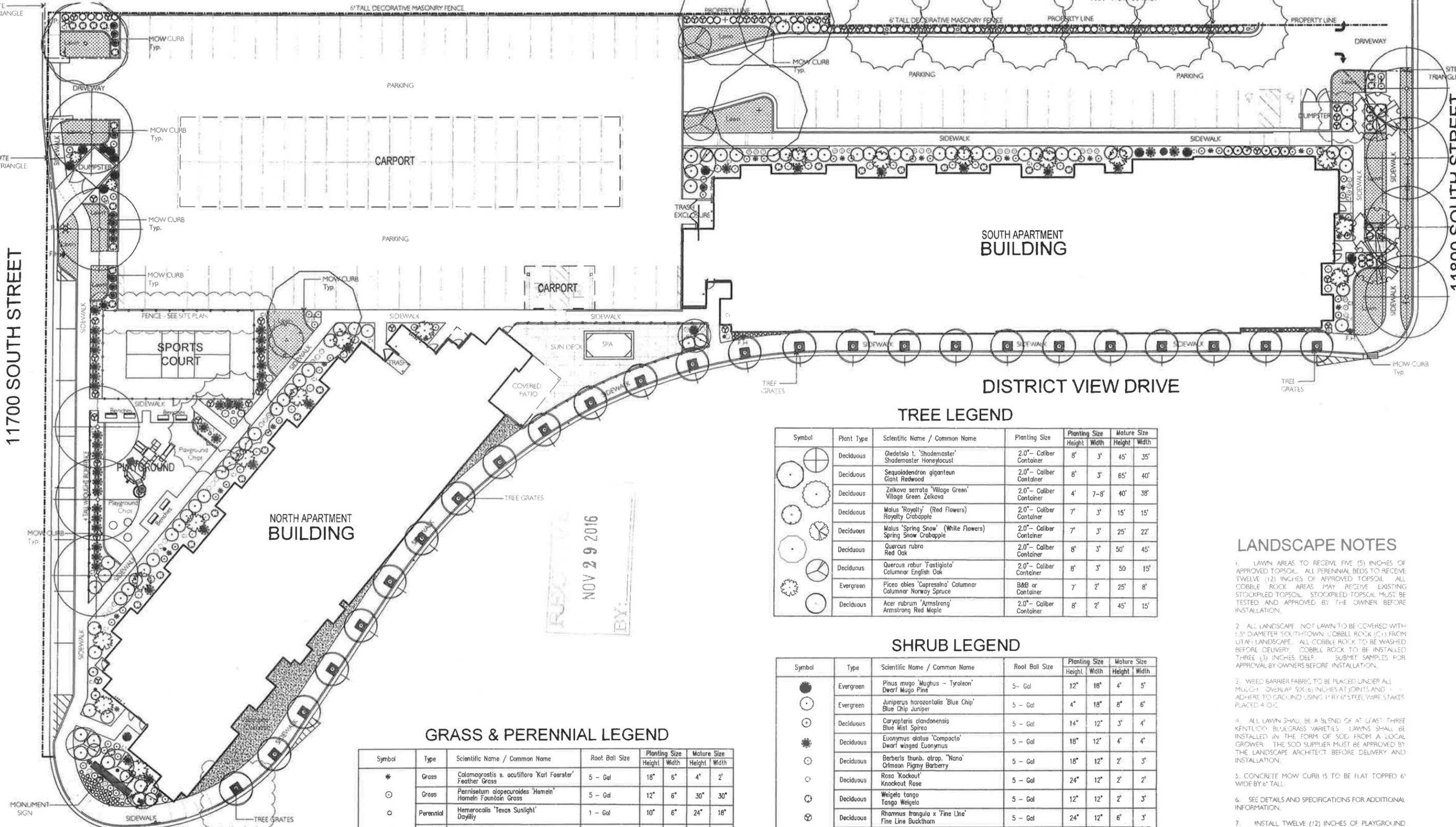
SEE SHEET A-202 FOR FINISH SCHEDULE.

NOTE: DIMENSIONS ARE TO FACE OF STUD.

A
 NORTH BUILDING
 4TH FLOOR COMMON AREA
 A-1023 SCALE: 1/4" = 1'-0"

11700 SOUTH STREET

11800 SOUTH STREET



SOUTH APARTMENT BUILDING

NORTH APARTMENT BUILDING

DISTRICT VIEW DRIVE

TREE LEGEND

Symbol	Plant Type	Scientific Name / Common Name	Planting Size	Planting Size		Mature Size	
				Height	Width	Height	Width
	Deciduous	Quedalis t. 'Shademaster' Shademaster Honeylocust	2.0" - Caliber Container	8'	3'	45'	35'
	Deciduous	Sequoiadendron giganteum Giant Redwood	2.0" - Caliber Container	8'	3'	65'	40'
	Deciduous	Zelkova serrata 'Village Green' Village Green Zelkova	2.0" - Caliber Container	4'	7-8'	40'	38'
	Deciduous	Malus 'Royalty' (Red Flowers) Royalty Crabapple	2.0" - Caliber Container	7'	3'	15'	15'
	Deciduous	Malus 'Spring Snow' (White Flowers) Spring Snow Crabapple	2.0" - Caliber Container	7'	3'	25'	22'
	Deciduous	Quercus rubra Red Oak	2.0" - Caliber Container	8'	3'	50'	45'
	Deciduous	Quercus robur 'Fastigiata' Columnar English Oak	2.0" - Caliber Container	8'	3'	50'	15'
	Evergreen	Picea abies 'Capressina' Columnar Norway Spruce	B&B or Container	7'	2'	25'	8'
	Deciduous	Acer rubrum 'Armstrong' Armstrong Red Maple	2.0" - Caliber Container	8'	2'	45'	15'

SHRUB LEGEND

Symbol	Type	Scientific Name / Common Name	Root Ball Size	Planting Size		Mature Size	
				Height	Width	Height	Width
	Evergreen	Pinus mugo 'Mughus - Tyrolea' Dwarf Mugo Pine	5 - Gal	12"	18"	4'	5'
	Evergreen	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	5 - Gal	4"	18"	8"	6"
	Deciduous	Caryopteris clandonensis Blue Mist Spirea	5 - Gal	14"	12"	3'	4'
	Deciduous	Euonymus alatus 'Compacta' Dwarf winged Euonymus	5 - Gal	18"	12"	4'	4'
	Deciduous	Berberis thunb. atrop. 'Nana' Crimson Pigny Barberry	5 - Gal	18"	12"	2'	3'
	Deciduous	Rosa 'Knockout' Knockout Rose	5 - Gal	24"	12"	2'	2'
	Deciduous	Weigela tango Tango Weigela	5 - Gal	12"	12"	2'	3'
	Deciduous	Rhamnus frangula x 'Fine Line' Fine Line Buckthorn	5 - Gal	24"	12"	6'	3'
	Deciduous	Cornus sericea 'Kelsey' Kelsey Dwarf Dogwood	5 - Gal	4"	18"	3'	3'

GRASS & PERENNIAL LEGEND

Symbol	Type	Scientific Name / Common Name	Root Ball Size	Planting Size		Mature Size	
				Height	Width	Height	Width
	Grass	Calamagrostis s. acutiflora 'Karl Foerster' Feather Grass	5 - Gal	18"	6"	4'	2'
	Grass	Pennisetum alopecuroides 'Hameln' Hameln Fountain Grass	5 - Gal	12"	6"	30"	30"
	Perennial	Hemerocallis 'Texas Sunlight' Daylily	1 - Gal	10"	6"	24"	18"
	Grass	Panicum virgatum 'Shenandoah' Shenandoah Switch Grass	1 - Gal	10"	6"	3'	3'

LANDSCAPE NOTES

- LAWN AREAS TO RECEIVE FIVE (5) INCHES OF APPROVED TOPSOIL. ALL PERENNIAL BEDS TO RECEIVE TWELVE (12) INCHES OF APPROVED TOPSOIL. ALL COBBLE ROCK AREAS MAY RECEIVE EXISTING STOCKPILED TOPSOIL. STOCKPILED TOPSOIL MUST BE TESTED AND APPROVED BY THE OWNER BEFORE INSTALLATION.
- ALL LANDSCAPE NOT LAWN TO BE COVERED WITH 1.5" DIAMETER SOUTHTOWN COBBLE ROCK (C1) FROM UTAH LANDSCAPE. ALL COBBLE ROCK TO BE WASHED BEFORE DELIVERY. COBBLE ROCK TO BE INSTALLED THREE (3) INCHES DEEP. SUBMIT SAMPLES FOR APPROVAL BY OWNERS BEFORE INSTALLATION.
- WEED BARRIER FABRIC TO BE PLACED UNDER ALL MULCH. OVERLAP SIX (6) INCHES AT JOINTS AND ADHERE TO GROUND USING 1" BY 6" STEEL WIRE STAKES PLACED 4' O.C.
- ALL LAWN SHALL BE A BLEND OF AT LEAST THREE KENTUCKY BLUEGRASS VARIETIES. LAWNS SHALL BE INSTALLED IN THE FORM OF SOD FROM A LOCAL GROWER. THE SOD SUPPLIER MUST BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE DELIVERY AND INSTALLATION.
- CONCRETE MOW CURB IS TO BE FLAT TOPPED 6" WIDE BY 6" TALL.
- SEE DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- INSTALL TWELVE (12) INCHES OF PLAYGROUND CHIPS IN THE PLAYGROUND.
- ALL GROUND MECHANICAL EQUIPMENT SHALL BE LANDSCAPED AROUND.

NOV 29 2016

LANDSCAPE PLAN

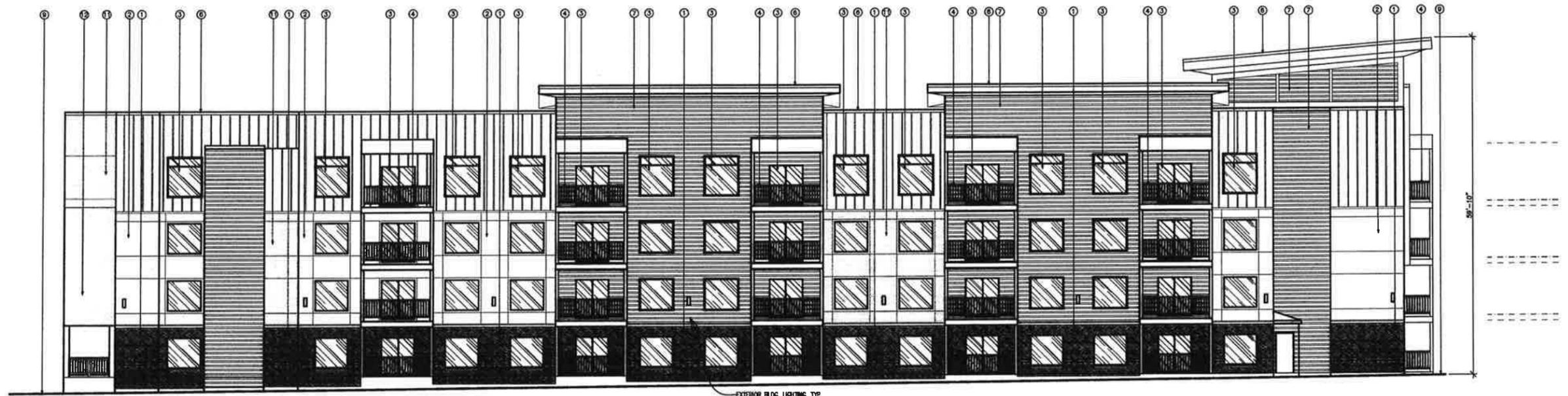
SCALE 1" = 20'-0"



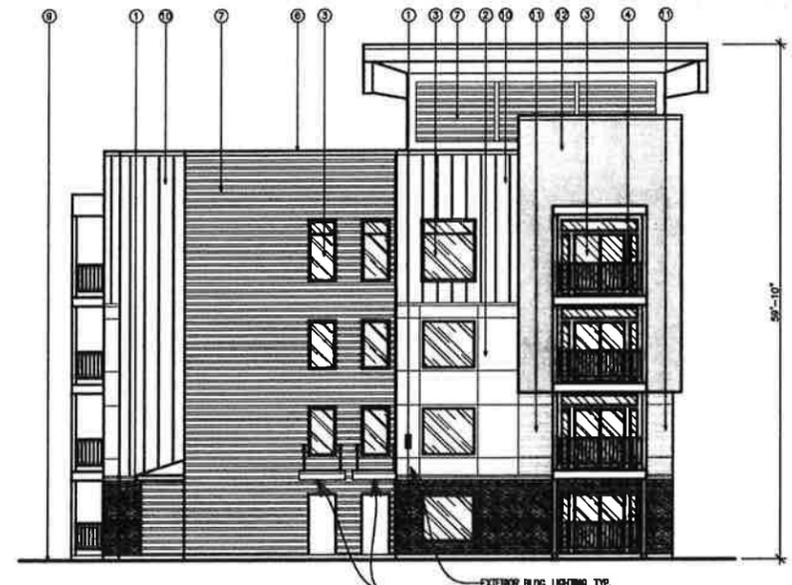
1. BRICK MORTAR, ATTACH GALLY. BRICK TIES TO WALL STUDS. EA. TIE SHALL NOT SPAN MORE THAN 2 SOL. FT. BRICK TIES SHALL BE METAL ATTACHED TO MORTAR. JT. HORIZ. LAP ALL JTS. W/ 6" HORIZ. JT. HORIZ. BY A MIN. OF 2". INSTALL CORROSION RESISTANT FLASHING FROM FINISH OF THE 1ST 3 COURSES & TO EXTEND 1/2" MIN. BEYOND FINISH FACE. PROVIDE 3/16" KEEP HOLES 33" o.c. COLOR = RED MEDIUM.
2. STUCCO SYSTEM (1 COAT) OVER WIRE LATH OVER (2) LAYERS GRADE 10 FELL OR HOUSE WRAP OVER STRUCTURAL SHEATHING. STUCCO SYSTEM TO BE APPROVED MANUFACTURER PER IS REPORT #1004, OR CITY/ARCHITECT APPROVED EQUAL. PREPARE SUBSTRATE & INSTALL PER MANUFACTURER'S INSTRUCTIONS, INCLUDING CONTROL JOINTS. COLOR = WHITE/TAPE 087103
3. ONE GLAZED WOOD SLIDING WINDOWS & PATIO DOORS. SEE DETAIL 9/1-301. GALAX ALL AROUND.
4. 42" TALL POWDER COATED AWNINGS
5. GALVANNEED FLASHING WITH DRIP EDGE.
6. GALVANNEED SLOPED METAL CAP FLASHING WITH DRIP EDGE.
7. 2.0 METAL PANELS. INSTALL PER MANUFACTURER'S SPECS. COLOR = METAL ON 087103
8. ALUMINUM STOREFRONT GLAZING SYSTEM
9. FINISH GRADE PER CIVL. DIMENSIONS.
10. EXTERIOR SIGN METAL. SIGNAL. FACTORY KYNAR PAINTED. COLOR = SIGNALS 087103
11. STUCCO SYSTEM (1 COAT) OVER WIRE LATH OVER (2) LAYERS GRADE 10 FELL OR HOUSE WRAP OVER STRUCTURAL SHEATHING. STUCCO SYSTEM TO BE APPROVED MANUFACTURER PER IS REPORT #1004, OR CITY/ARCHITECT APPROVED EQUAL. PREPARE SUBSTRATE & INSTALL PER MANUFACTURER'S INSTRUCTIONS, INCLUDING CONTROL JOINTS. COLOR = GLEN RED SHWOOD
12. FLAT PANEL, FOLDED SEAM METAL SIDING. ZINC-ALUM



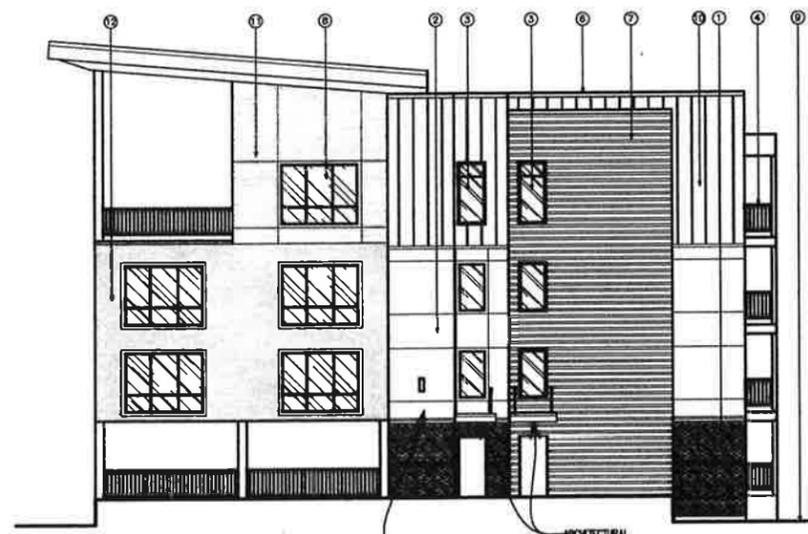
A WEST ELEVATION
A-201.1 SCALE: 3/32" = 1'-0"



B EAST ELEVATION
A-201.1 SCALE: 3/32" = 1'-0"

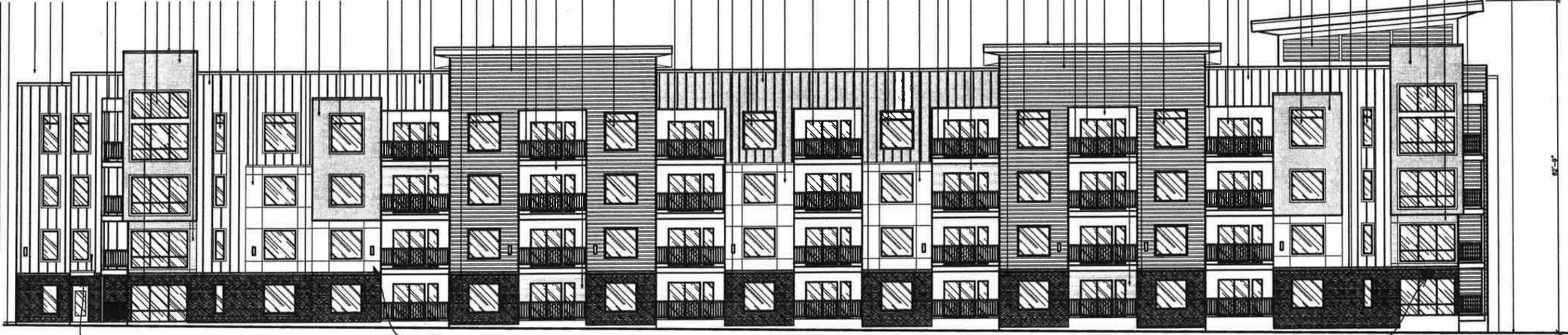


D NORTH ELEVATION

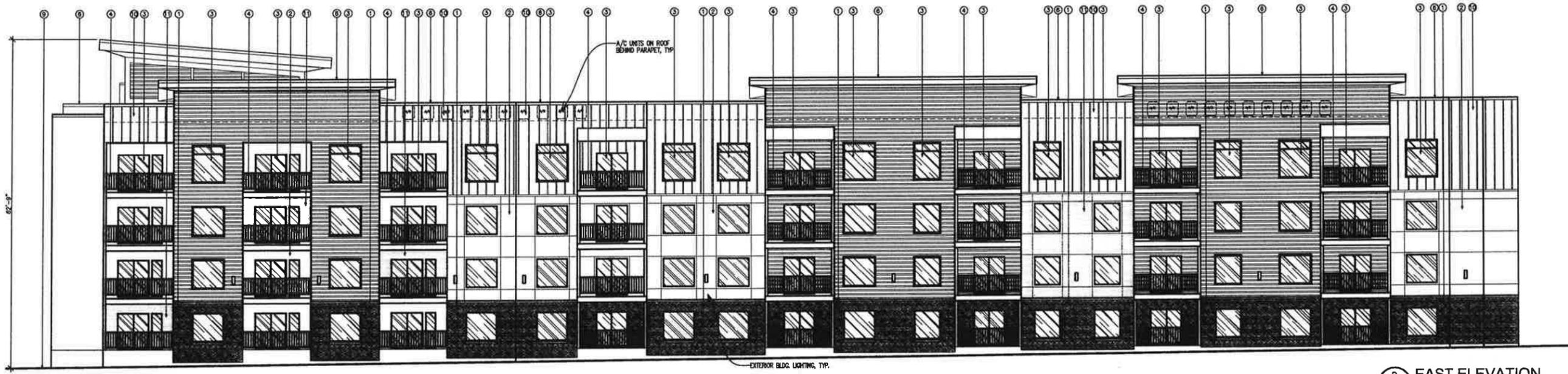


C SOUTH ELEVATION

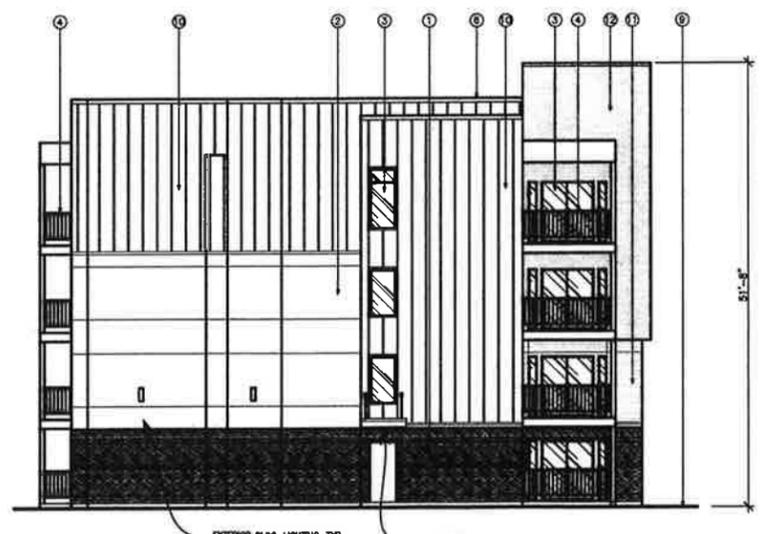
1. BRICK VENEER ATTACH GALV. BRICK TIES TO WALL STUDS. EA. TIE SHALL NOT SUPPORT MORE THAN 2 SQ. FT. BRICK TIES SHALL BE METAL ATTACHED TO HORIZ. JT. REINF. LAP ALL JTS. W/ #6 HORIZ. JT. REINF. BY A MIN. OF 2". INSTALL CORROSION RESISTENT FLASHING FROM FINISH UP THE 1ST 3 COURSES & TO EXTEND 1/2" MIN. BEYOND FINISH FACE. PROVIDE 3/16" DEEP HOLES 33" O.C.
2. STUCCO SYSTEM (1 COAT), OVER WIRE LATH, OVER (2) LAYERS GRADE 70 FELY OR HOUSE WRAP, OVER STRUCTURAL SHEATHING. STUCCO SYSTEM TO BE APPROVED MANUFACTURER PER IS REPORT #1094, OR CITY/ARCHITECT APPROVED EQUAL. PROVIDE SUBSTRATE & INSTALL PER MANUFACTURER'S INSTRUCTIONS, INCLUDING CONTROL JOINTS. COLOR = BRITISH 387143
3. 80% GLAZED VINYL SLIDING WINDOWS & PATIO DOORS, SEE DETAIL 9/A-303. DRINK ALL AROUND.
4. 42" TALL POWDER COATED RAILINGS
5. GALVANIZED FLASHING WITH DRIP EDGE.
6. GALVANIZED SLOPED METAL GAP FLASHING WITH DRIP EDGE.
7. ZINC METAL FLASHING, PER MANUFACTURER'S SPECS. COLOR = BROWN 387143
8. ALUMINUM STOREFRONT GLAZING SYSTEM
9. FINISH GRADE PER CIVIL DRAWINGS.
10. EXTERIOR SEAM METAL SING, FACTORY FINISH PAINTED. COLOR = CHARCOAL 387143
11. STUCCO SYSTEM (1 COAT), OVER WIRE LATH, OVER (2) LAYERS GRADE 70 FELY OR HOUSE WRAP, OVER STRUCTURAL SHEATHING. STUCCO SYSTEM TO BE APPROVED MANUFACTURER PER IS REPORT #1094, OR CITY/ARCHITECT APPROVED EQUAL. PROVIDE SUBSTRATE & INSTALL PER MANUFACTURER'S INSTRUCTIONS, INCLUDING CONTROL JOINTS. COLOR = CALUM RED 387143
12. FLAT PANEL, FOLDED SEAM METAL SING, ZINC-ALUM



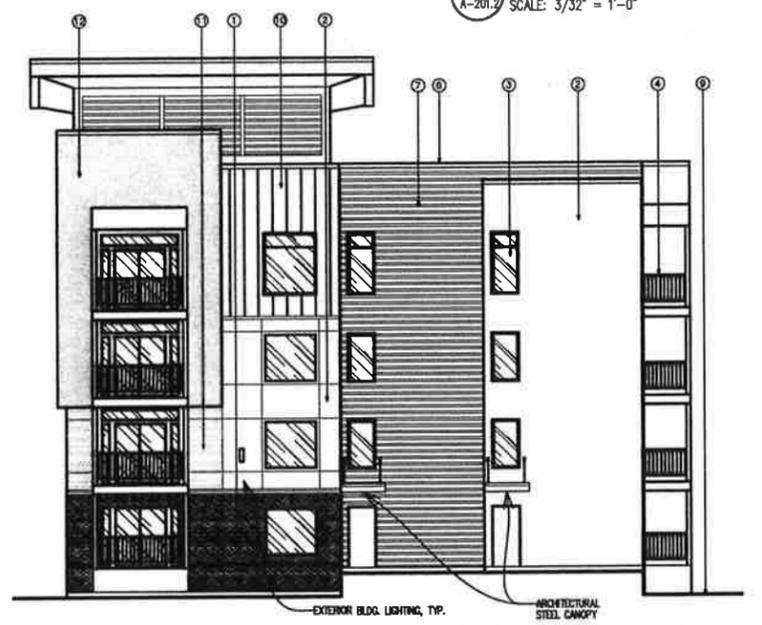
A WEST ELEVATION
A-201.2 SCALE: 3/32" = 1'-0"



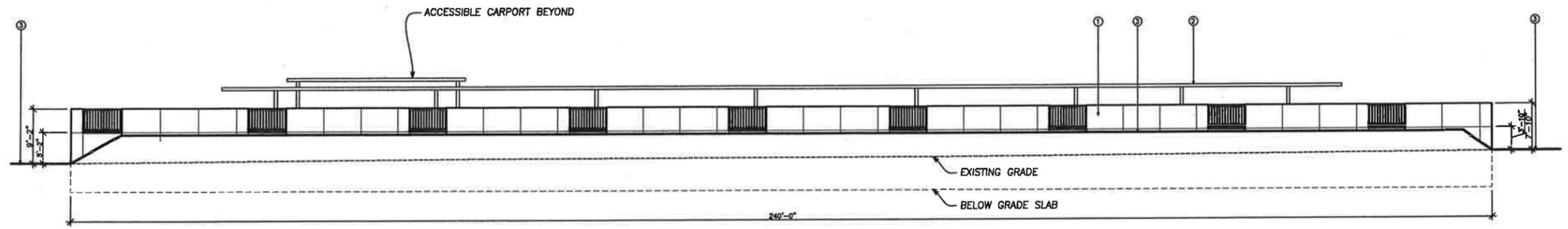
B EAST ELEVATION
A-201.2 SCALE: 3/32" = 1'-0"



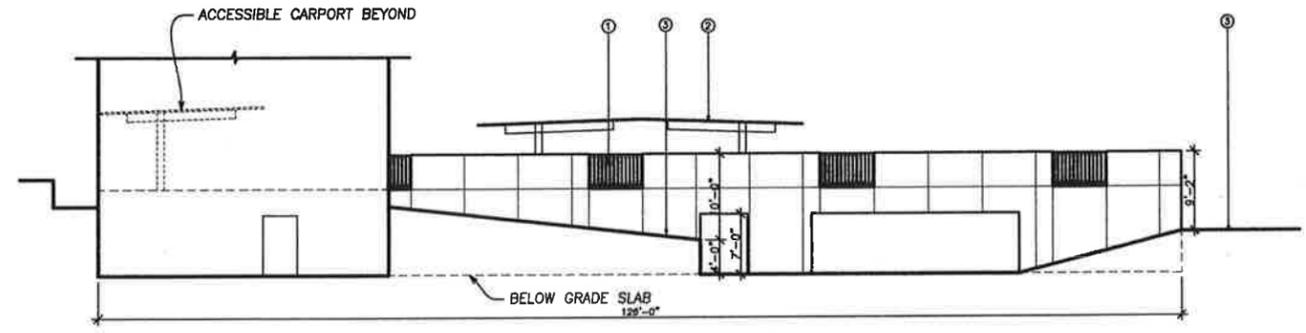
D NORTH ELEVATION



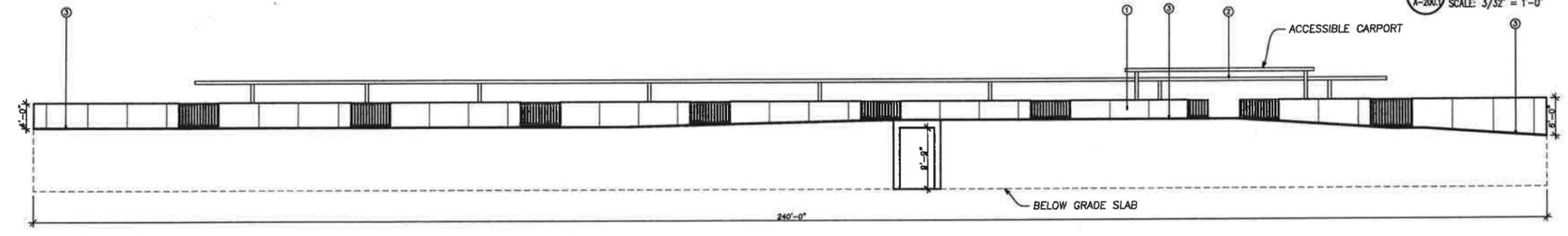
C SOUTH ELEVATION



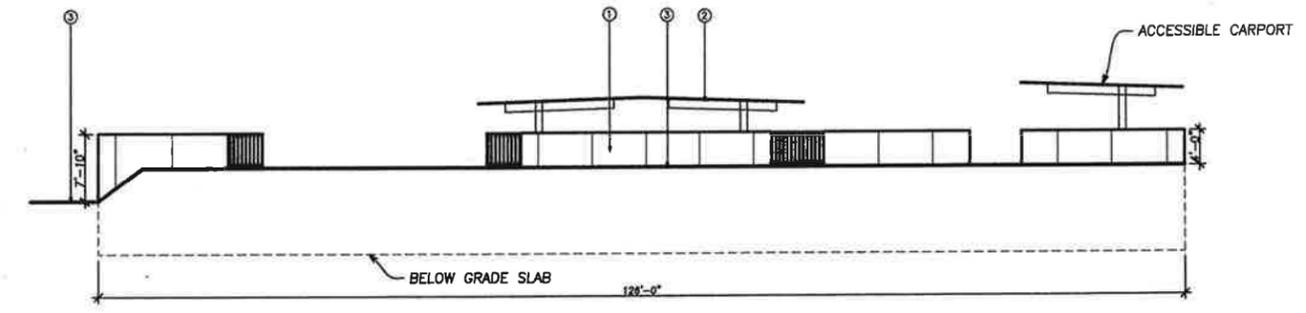
A EAST ELEVATION
A-200.1 SCALE: 3/32" = 1'-0"



B SOUTH ELEVATION
A-200.1 SCALE: 3/32" = 1'-0"



C WEST ELEVATION
A-200.1 SCALE: 3/32" = 1'-0"



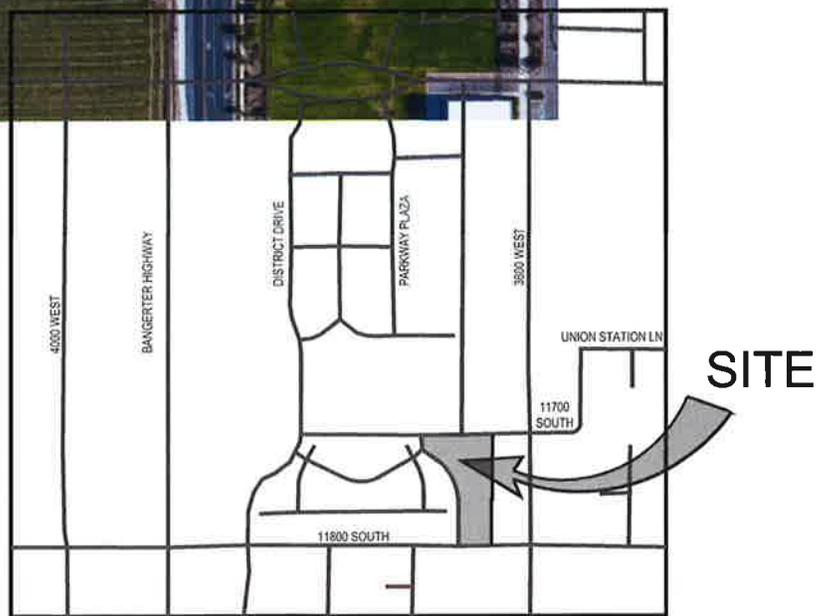
D NORTH ELEVATION
A-200.1 SCALE: 3/32" = 1'-0"

DESIGN GUIDELINES BOOK

The Flats at the District



Vicinity Map & Proximity



VICINITY MAP
N.T.S.

PROJECT OVERVIEW

PROJECT OVERVIEW

The Flats at The District Apartment Community will consist of 120 Studio, 1 Bedroom, and 2 Bedroom units. 52 units will be in the north building and 68 will be in the south building. Here are some key concepts:

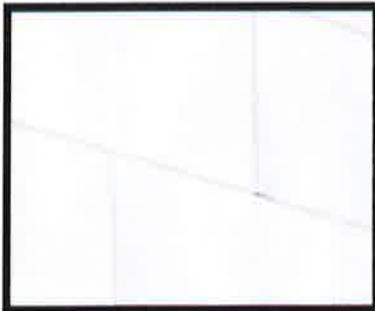
- **Professional Property Management:** The entire project will be maintained and managed by a HUD approved, multi-family experienced, professional property management company.
- **Security:** The security of the residents have been given high priority. Access to all buildings will be through a secure electronic access system.
- **Covered Parking:** Parking will be provided in a secure 2-story parking structure and some surface parking. The majority of the parking stalls will be covered either by a parking structure or carports.
- **Fenced Amenities:** Many provided amenities such as the covered patio, sun deck, spa, and sports court will be located within secure fencing with an electronic access system.
- **Exterior Materials:** The apartment buildings have been designed with low maintenance materials including brick, metal siding, and a reduced amount of stucco.



Tuttle and Associates, Inc.
ARCHITECTS

The Flats at the District
North Building - West Elevation

Material Board



Flat Panel, Folded Seam
Metal Siding, Zinc-Alum



Brick - 853 Andiron



7.2 Metal Panels - Slate Gray



Stucco - Whitetail
SW7103



Standing Seam - Charcoal
Gray



Stucco - Cajun Red
SW0006

ELEVATIONS
AND
FLOORPLANS

DATE	NOV. 6, 2018
PROJECT	
CLIENT	
ARCHITECT	

EXTERIOR ELEVATIONS PARKING STRUCTURE

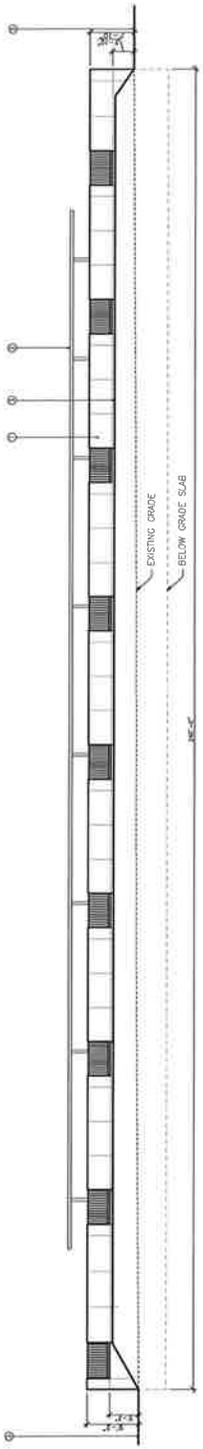
The Flats at the District
South Jordan, Utah



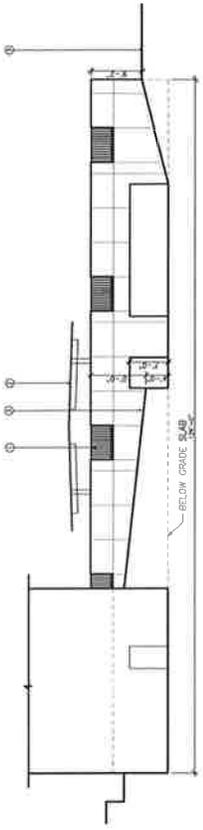
Fullwood Architects, Inc.
ARCHITECTS
1400 SOUTH 1000 WEST, SUITE 100
SALT LAKE CITY, UT 84119
PHONE: 313.555.1234
FAX: 313.555.5678

LEGEND

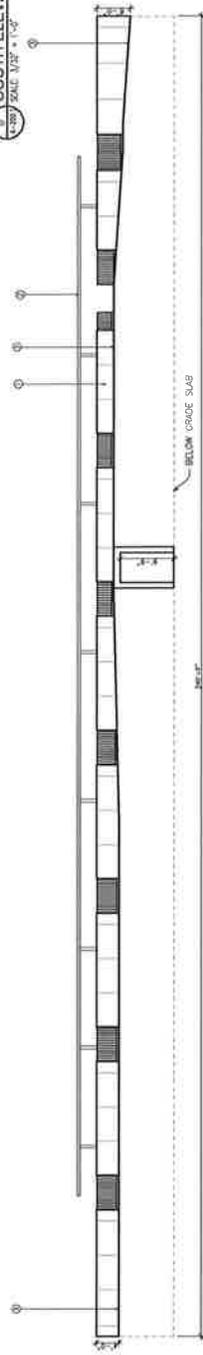
- 1. EXISTING GRADE
- 2. NEW GRADE
- 3. FINISH GRADE



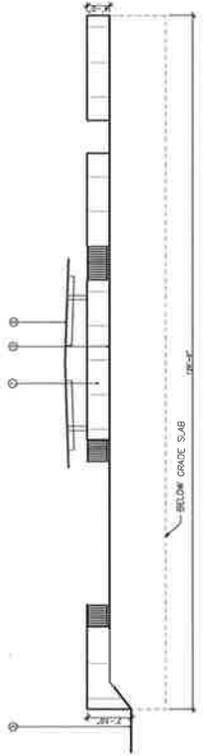
A. EAST ELEVATION
SCALE: 3/32" = 1'-0"



B. SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

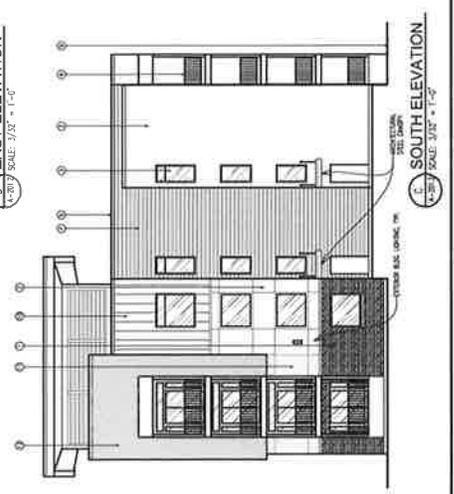
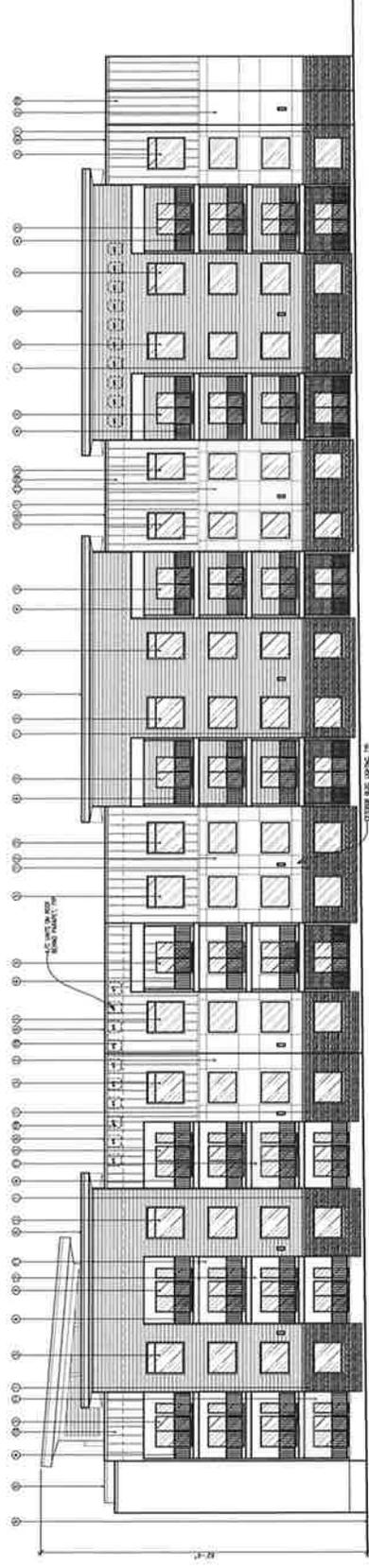
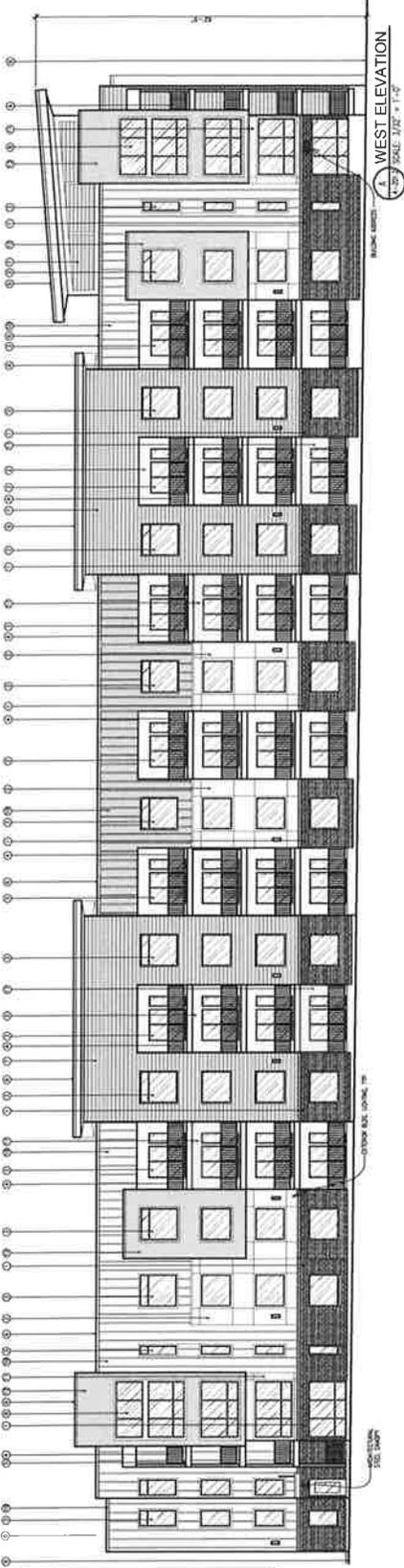


C. WEST ELEVATION
SCALE: 3/32" = 1'-0"



D. NORTH ELEVATION
SCALE: 3/32" = 1'-0"

- LEGEND**
1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 2. FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED.
 3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES AND REGULATIONS.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND REGULATIONS.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES AND REGULATIONS.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODES AND REGULATIONS.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ELECTRICAL CODES AND REGULATIONS.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODES AND REGULATIONS.
 11. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH AND SAFETY CODES AND REGULATIONS.
 12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENVIRONMENTAL AND SUSTAINABILITY CODES AND REGULATIONS.



Utland Architects, Inc.
ARCHITECTS
1000 SOUTH 2000 WEST
SALT LAKE CITY, UT 84119
PHONE: 313.222.1111
WWW.UTLANDARCHITECTS.COM



South Jordan, Utah

The Flats at the District

EXTERIOR ELEVATIONS
SOUTH BUILDING

DATE: 6.2016
PROJECT: A-201.2

A-201.2



THE FLATS AT THE DISTRICT
 11743 S. DISTRICT VIEW DRIVE
 SOUTH JORDAN, UTAH
 SW 1/4 OF SECTION 20, TOWNSHIP 3 SOUTH, RANGE 1 WEST, S.1.B.8.M.

REVISIONS

REV	DATE	DESCRIPTION
1	11/15/2017	ISSUED FOR PERMIT
2	01/10/2018	REVISIONS TO PERMIT
3	02/01/2018	REVISIONS TO PERMIT

HORIZONTAL CONTROL PLAN NORTH
C1.01

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE UTAH CONSTRUCTION CODES AND ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
3. ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
4. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
5. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE ROAD OR DRIVE UNLESS OTHERWISE NOTED.
6. ALL CURVES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE UTAH STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
7. ALL ELEVATIONS ARE IN FEET UNLESS OTHERWISE NOTED.
8. ALL FINISH GRADES SHALL BE AS SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.
9. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE APPLICABLE AGENCIES.

KEYED NOTES:

1. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
2. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE ROAD OR DRIVE UNLESS OTHERWISE NOTED.
3. ALL CURVES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE UTAH STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
4. ALL ELEVATIONS ARE IN FEET UNLESS OTHERWISE NOTED.
5. ALL FINISH GRADES SHALL BE AS SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.
6. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
7. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE APPLICABLE AGENCIES.
8. ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE UTAH CONSTRUCTION CODES AND ORDINANCES.

RECORD DESCRIPTION

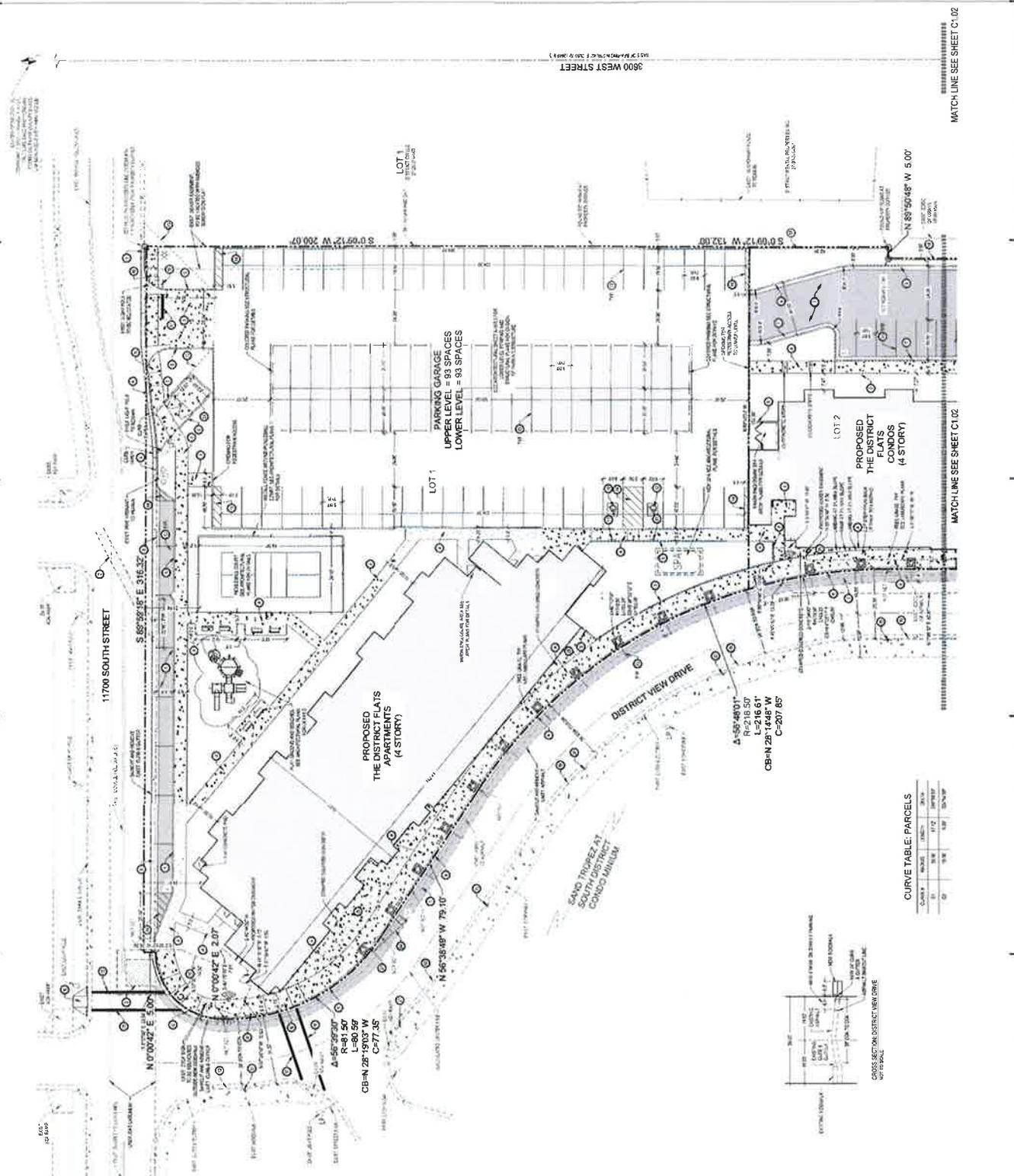
THIS PLAN IS A RECORD DRAWING OF THE HORIZONTAL CONTROL PLAN FOR THE PROJECT. IT IS TO BE USED AS A REFERENCE FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

Call Djs
 801-487-1111

NOTICE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

APPROVED BY SOUTH JORDAN CITY ENGINEERS

DATE: 02/01/2018



VICINITY MAP AND PROXIMITY

SIDEWALK PLAN
AND
LANDSCAPE PLAN



11700 SOUTH

NORTH
APARTMENT
BUILDING

TOT LOT
SPORTS
COURT

SPA

DISTRICT VIEW DRIVE

SOUTH
APARTMENT
BUILDING

11800 SOUTH

Aten's Drive

k-Adventure
First St



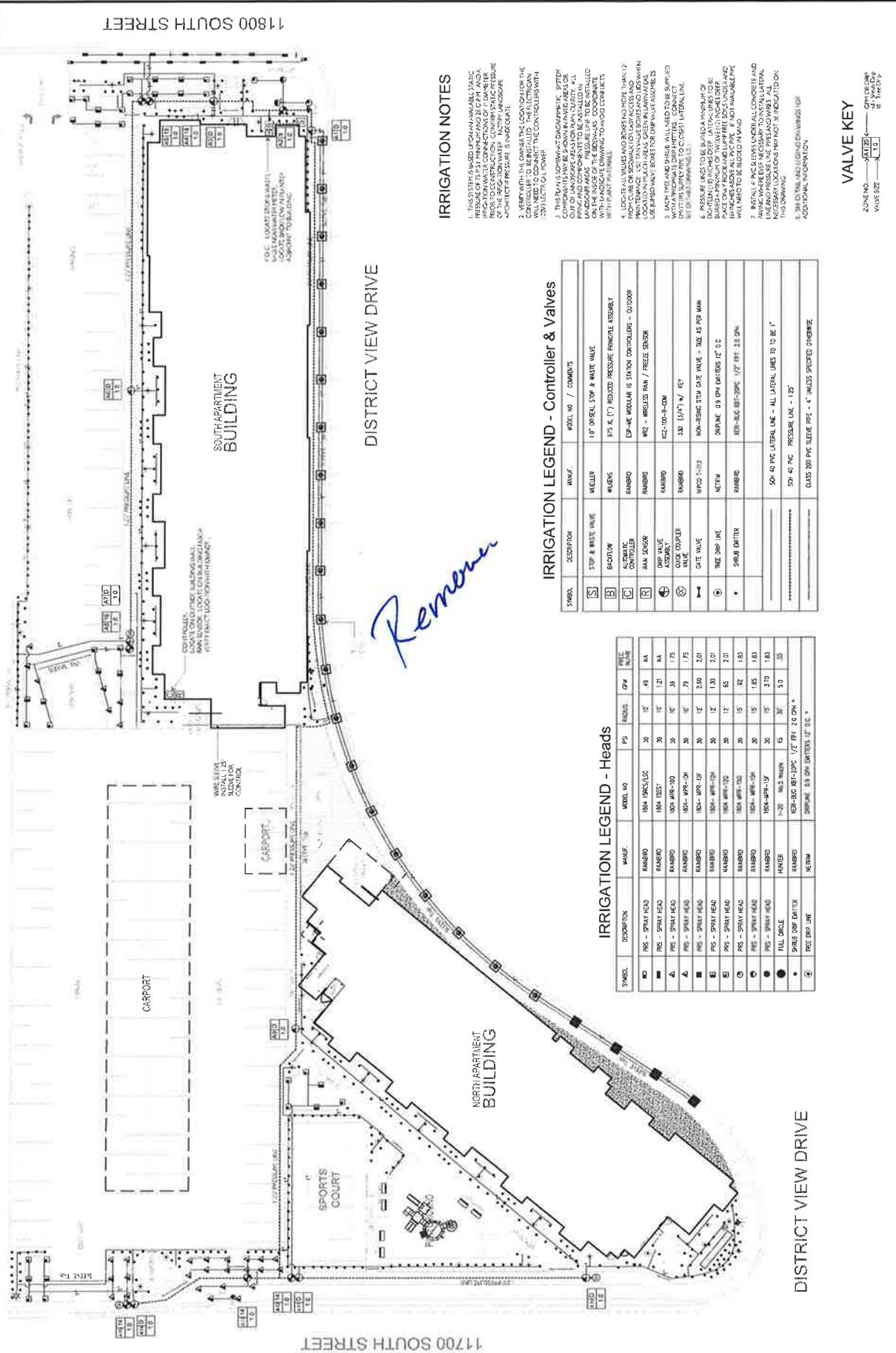
DISTRICT PROPERTY LLC
OWNER

DESIGN
earthwise
IRIGATION - PLANNING
801-619-4040
PROJECT: 1717 SOUTH STREET

IRRIGATION PLAN
THE FLATS at THE DISTRICT
1717 S. DISTRICT VIEW DRIVE
SOUTH JOHNS, UTAH

DATE	BY	DESCRIPTION
07/15/2018	C. WICKLER	DESIGN
07/21/18	C. WICKLER	REVISED
07/21/18	C. WICKLER	REVISED
07/21/18	C. WICKLER	REVISED

Scale: 1"=20'-0"
Sheet No: 1 of 3
Drawing No: L2.1



IRRIGATION NOTES

1. THIS SYSTEM IS DESIGNED TO MAINTAIN A STATIC PRESSURE OF 17 PSI MINIMUM AND 20 GPM AND A FLOW RATE OF 1.5 GPM PER 100 SQUARE FEET OF THE IRRIGATION WATER. THE IRRIGATION WATER PRESSURE IS INDICATED IN THE IRRIGATION PLAN.
2. VERIFY WITH THE OWNER THE LOCATION FOR THE VALVE AND CONTROLLER. THE CONTROLLER SHALL BE INSTALLED IN A LOCATION THAT IS PROTECTED FROM THE ELEMENTS AND ACCESSIBLE TO THE OPERATOR.
3. THIS PLAN IS APPROXIMATE. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION PLAN AND THE IRRIGATION PLAN SHALL BE REVISED TO REFLECT THE ACTUAL FIELD CONDITIONS.
4. LOCATE ALL VALVES AND BOXES IN ACCORDANCE WITH THE IRRIGATION PLAN AND THE IRRIGATION PLAN SHALL BE REVISED TO REFLECT THE ACTUAL FIELD CONDITIONS.
5. EACH TRIP AND SHIELD SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION PLAN AND THE IRRIGATION PLAN SHALL BE REVISED TO REFLECT THE ACTUAL FIELD CONDITIONS.
6. PRESSURE LINES TO BE BURIED A MINIMUM OF 18" BELOW FINISHED GRADE AND SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION PLAN AND THE IRRIGATION PLAN SHALL BE REVISED TO REFLECT THE ACTUAL FIELD CONDITIONS.
7. ALL PRESSURE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION PLAN AND THE IRRIGATION PLAN SHALL BE REVISED TO REFLECT THE ACTUAL FIELD CONDITIONS.
8. ALL PRESSURE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION PLAN AND THE IRRIGATION PLAN SHALL BE REVISED TO REFLECT THE ACTUAL FIELD CONDITIONS.
9. ALL PRESSURE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION PLAN AND THE IRRIGATION PLAN SHALL BE REVISED TO REFLECT THE ACTUAL FIELD CONDITIONS.
10. ALL PRESSURE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION PLAN AND THE IRRIGATION PLAN SHALL BE REVISED TO REFLECT THE ACTUAL FIELD CONDITIONS.

IRRIGATION LEGEND - Controller & Valves

SYMBOL	DESCRIPTION	MANUF.	MODEL NO. / COMMENTS
S	STOP & WASTE VALVE	MULLER	1" OREILL STOP & WASTE VALVE
B	BACKFLOW PREVENTER	RAMBO	1" OREILL STOP & WASTE VALVE
C	CONTROLLER	ESP-RE	ESP-RE MODULAR IRIGATION STATION CONTROLLER - OUTDOOR
D	RAIN SENSOR	RAI-2	RAI-2 WIRELESS RAIN / FREEZE SENSOR
E	RAIN SENSOR	KC2-00-9-00M	KC2-00-9-00M
F	COAX COUPLER	130	1/2" (1/4" x) KEY
G	GATE VALVE	WPCD 1-1/2	NON-RISING STEM GATE VALVE - SIZE AS PER MAN
H	TRIP DWP LINE	NETEM	SHRINK 1/2" OPI BARBERS 1/2" OPI
I	SHRUB DWP LINE	RAMBO	NETEM 1/2" OPI BARBERS 1/2" OPI
J	50' 40' PVC LATERAL LINE		50' 40' PVC LATERAL LINE - ALL LATERAL LINES TO BE 1"
K	50' 40' PVC PRESSURE LINE - 12"		50' 40' PVC PRESSURE LINE - 12"
L	GLASS 90° PVC SLEEVE PEE - 4"		GLASS 90° PVC SLEEVE PEE - 4" UNLESS SPEC'D OTHERWISE

VALVE KEY

ZONE NO. - [Symbol] - CHN DWP
VALVE SIZE - [Symbol] - R Freeby



Remove

IRRIGATION LEGEND - Heads

SYMBOL	DESCRIPTION	MANUF.	MODEL NO.	PSI	RADIUS	OPI	TRAIL VALVE
A	PRS - SPRAY HEAD	RAMBO	1804-1804-1804	30	10'	49	1/4"
B	PRS - SPRAY HEAD	RAMBO	1804-1804-1804	30	10'	121	1/4"
C	PRS - SPRAY HEAD	RAMBO	1804-1804-1804	30	10'	39	1/4"
D	PRS - SPRAY HEAD	RAMBO	1804-1804-1804	30	10'	79	1/4"
E	PRS - SPRAY HEAD	RAMBO	1804-1804-1804	30	12'	230	2.0"
F	PRS - SPRAY HEAD	RAMBO	1804-1804-1804	30	12'	130	2.0"
G	PRS - SPRAY HEAD	RAMBO	1804-1804-1804	30	12'	65	2.0"
H	PRS - SPRAY HEAD	RAMBO	1804-1804-1804	30	15'	92	1.83"
I	PRS - SPRAY HEAD	RAMBO	1804-1804-1804	30	15'	145	1.83"
J	PRS - SPRAY HEAD	RAMBO	1804-1804-1804	30	15'	370	1.83"
K	FULL ORBIT	NETEM	1/2" OPI BARBERS 1/2" OPI	15	30'	5.0	3.0"
L	TRIP DWP LINE	NETEM	SHRINK 1/2" OPI BARBERS 1/2" OPI				

IRRIGATION PLAN
SCALE: 1"=20'

AMENITIES

AMENITIES AND PEDESTRIAN CONNECTIONS

The Flats at The District is situated within a few hundred yards of The District Shopping Center, Megaplex Theaters, and Maverick gas and convenience store. Residents will have quick and easy access to the shopping and entertainment provided.

On the south end of the project, a sidewalk provides pedestrian access to 11800 South along the south side of The Flats extending eastward toward Maverick and the 3600 West intersection. On the north end of the project, a sidewalk and crosswalks will provide pedestrian access to 11700 South at the northwest corner of the property providing access to The District shopping center and the Megaplex Theater.

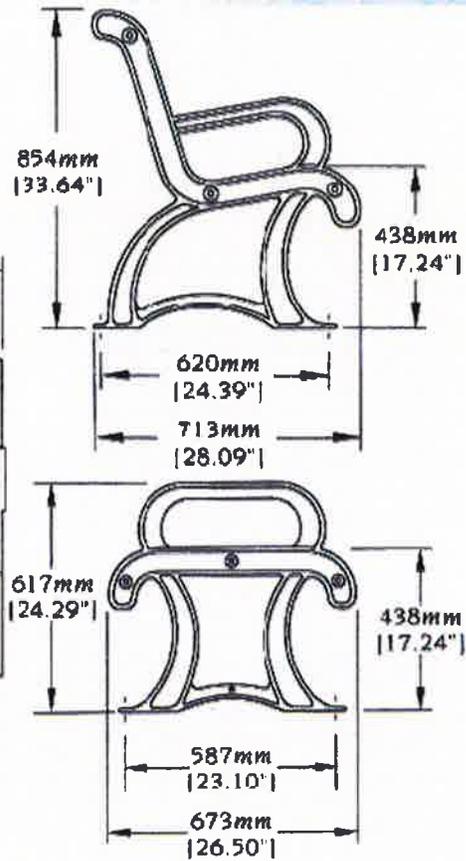
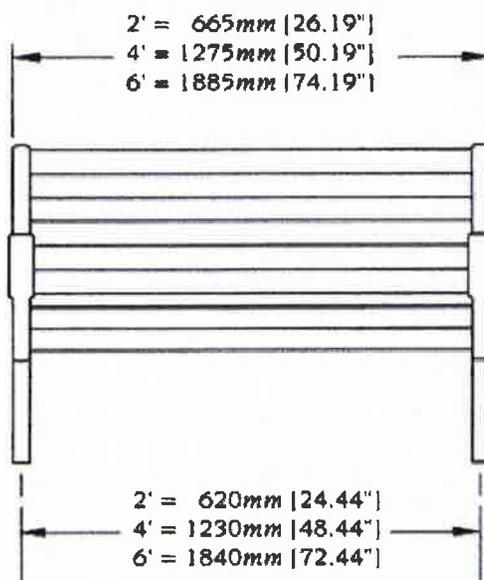
Within the project, a fenced sports court and playground will be provided with benches installed adjacent to each on a concrete pads to provide a convenient and comfortable place for parents or spectators to sit and watch their children and others play. Covered Parking will also be provided for the residents. Between the two buildings will be a fenced sun deck, covered patio, and spa accessible with a keypad, as a secure added amenity for the residents. Other amenities provided within the buildings will be a clubhouse, fitness room, and game room.

The north/south orientation of the buildings will ensure that the majority of units will have views to the Wasatch mountains to the east and the Oquirrh mountains to the west.

Park Benches



Cast Frame Wood Bench



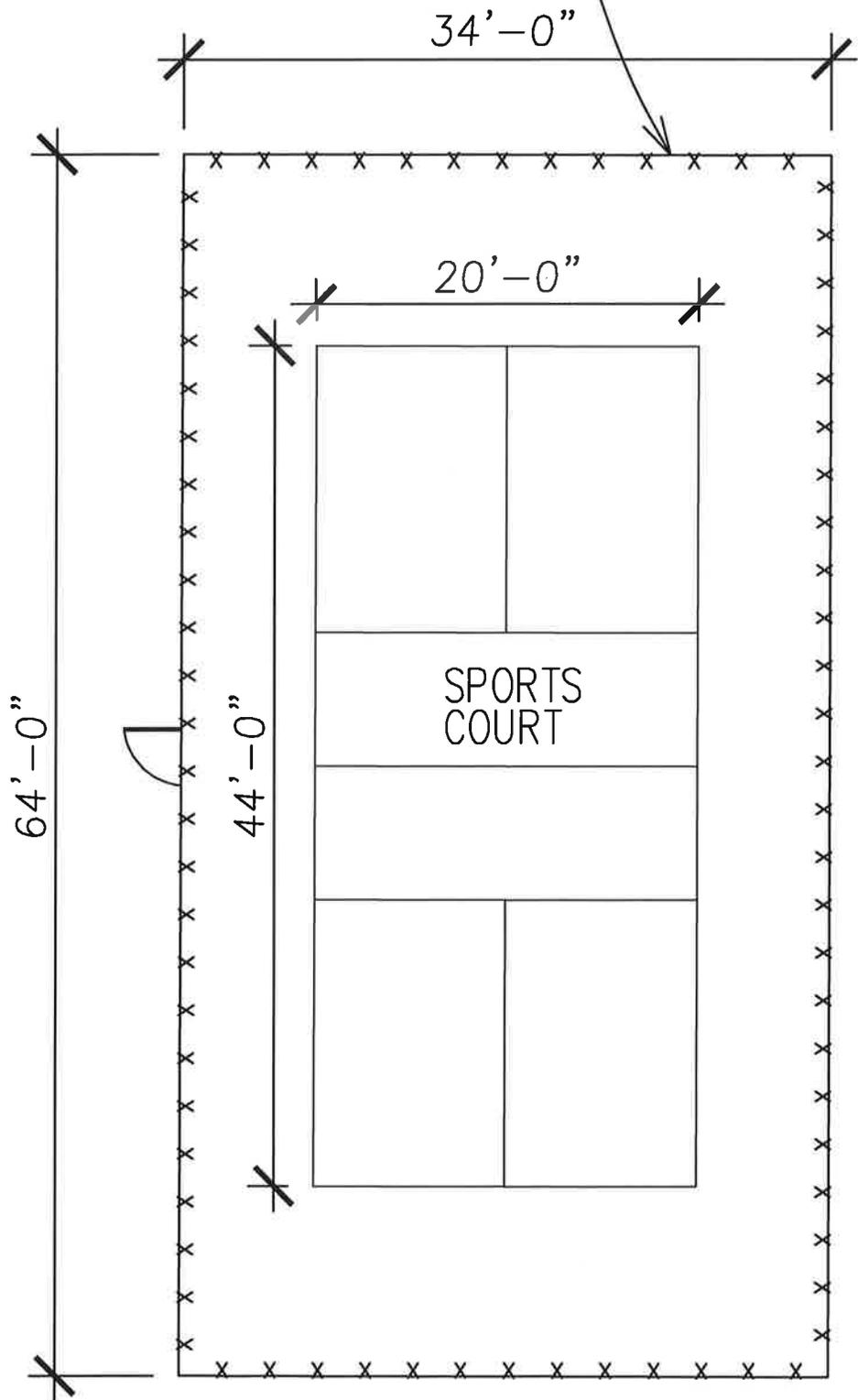
Photograph of Playground (example)



Tot Lot Equipment



8' TALL BLACK VINYL COATED
CHAIN LINK FENCE AT ENDS
OF PICKLEBALL COURT &
4' TALL BLACK VINYL COATED
CHAIN LINK FENCE AT SIDES
OF PICKLEBALL COURT



The Flats at the District

Traffic Impact Study

South Jordan, Utah

Prepared by:



Submitted to:

South Jordan City Engineering

May 30, 2016

EXECUTIVE SUMMARY

This study addresses the traffic impacts associated with the proposed The Flats at the District development (proposed development) located at the intersection of 11800 South and District View Drive in South Jordan, Utah.

The proposed development consists of two 4 story apartment buildings with a total of 120 units. Resident parking will be located on a two story parking structure. Access for the upper parking structure will be located on 11700 south. Access for the lower parking structure will share the existing Maverick gas station access on 11800 South.

Conclusions

The proposed development will generate approximately 61 total AM trips, 74 total PM trips and 798 total daily trips.

All stop controlled intersections are expected to operate with an overall intersection level of service A. The intersection of 11800 South/3600 West will operate at an overall intersection level of service B. The longest stop controlled delay is the shared southbound approach at the Maverick access. The expected average delay is 16.9 seconds and is due to the southbound left turn movements.

The increase delay due to proposed development will be minimal at the study intersections.

Recommendations

This traffic study primarily addressed intersection delays at the study intersections. Since the study intersections are built out and they operate at an acceptable level of service with project traffic added, no recommendations are made.

Additional considerations

Additional traffic considerations would include on street parking along District View Drive. From the perspective of convenience, it is likely that people will park along District View Drive even if there is sufficient onsite parking. It is recommended that District view drive either be widened to 36 feet (face of curb to face of curb width) to accommodate on-street parking along the east side of the road or that a no parking zone be established on the east side of the current 28' cross section.

The angle crosswalk at 11700 South and District View Drive should also be considered. It is recommended that a perpendicular cross walk be installed by reconstruction the pedestrian ramp on the north side of 11700 South.

TABLE OF CONTENTS

I. INTRODUCTION 1

A. PURPOSE 1

B. SCOPE 1

C. ANALYSIS METHODOLOGY 1

D. LEVEL OF SERVICE STANDARDS 3

II. EXISTING CONDITIONS 3

A. PURPOSE 3

B. ROADWAY SYSTEM..... 3

C. TRAFFIC VOLUMES 4

D. LEVEL OF SERVICE ANALYSIS 6

III. PROJECT CONDITIONS 6

A. PURPOSE 6

B. PROJECT DESCRIPTION..... 7

C. TRIP GENERATION 7

D. TRIP DISTRIBUTION AND ASSIGNMENT..... 7

IV. EXISTING PLUS PROJECT CONDITIONS 9

A. PURPOSE 9

B. TRAFFIC VOLUMES 9

C. LEVEL OF SERVICE ANALYSIS 9

D. MITIGATION MEASURES..... 11

V. CONCLUSIONS/RECOMMENDATIONS..... 12

APPENDIX 13

LIST OF TABLES

Table 1: Level of Service Definition for Intersections 3

Table 2: Existing Peak Hour Level of Service 6

Table 3: Trip Generation 7

Table 4: Existing Plus Project Peak Hour Level of Service 12

LIST OF FIGURES

Figure 1: Project Location 2

Figure 2: Existing AM and PM Peak Hour Volumes..... 5

Figure 3: Project AM and PM Peak Hour Volumes and Trip Distribution 8

Figure 4: Existing + Project AM and PM Peak Hour Volumes..... 10

I. INTRODUCTION

A. Purpose

This study addresses the traffic impacts associated with the proposed The Flats at the District development (proposed development) located at the intersection of 11800 South and District View Drive in South Jordan, Utah.

B. Scope

This study analyzes project traffic impacts at key intersections and roadways in the vicinity of the proposed development for existing conditions, both with and without project traffic.

The following intersections were included as study intersections:

- 11800 South and 3600 West
- 11800 South and Maverick Access
- 11800 South and District View Drive
- 11700 South and 3600 West

Figure 1 depicts the location of the development and the study intersections described above.

C. Analysis Methodology

Level of service (LOS) is a term that describes the operating performance of an intersection or roadway. LOS is measured quantitatively and reported on a scale from A to F, with A representing the best performance and F the worst. Table 1 provides a brief description of each LOS letter designation and an accompanying average delay per vehicle for both signalized and unsignalized intersections.

The Highway Capacity Manual 2010 (HCM 2010) methodology was used in this study. For unsignalized intersections LOS is reported based on the worst movement. Overall delay values are also calculated for unsignalized intersections representing overall intersection conditions rather than just the worst approach. The level of service for a signalized intersection is determined by the average vehicle delay for all vehicles entering the intersection as measured in seconds per vehicle.



Figure 1
Project Location

Table 1: Level of Service Definition for Intersections			
LOS	Signalized Delay (sec/vehicle)	Unsignalized Delay (sec/vehicle)	Description
A	≤10	≤10	Favorable progression
B	>10 and ≤20	>10 and ≤15	Good progression
C	>20 and ≤35	>15 and ≤25	Fair progression
D	>35 and ≤55	>25 and ≤35	Noticeable congestion
E	>55 and ≤80	>35 and ≤50	Limit of acceptable delay
F	>80	>50	Unacceptable delay

Source: Highway Capacity Manual, Transportation Research Board, 2010

D. Level of Service Standards

For the purposes of this study, a minimum overall intersection performance for each of the study intersections was set at LOS D. LOS D is generally considered acceptable for urbanized areas. If LOS E or F for an individual movement at an intersection exists, explanation and/or mitigation measures will be presented.

II. EXISTING CONDITIONS

A. Purpose

The purpose of the existing conditions analysis is to evaluate the study intersections and roadways during the morning and afternoon peak hours of the day under existing traffic and geometric conditions. This analysis provides a base condition from which to determine the proposed project’s potential impacts on the existing roadway network.

B. Roadway System

The primary roadways that will provide access to the project site are 3600 West and 11800 South. These roadways are described below and shown in Figure 1:

- 11800 South – 11800 South is a 4-lane arterial roadway with a 14 foot two way left turn lane and 12 foot travel lanes. The face of curb to face of curb width is approximately 73 feet. The shoulder is 5.5 feet (including gutter pan) on both sides of the roadway. The speed limit is 35 mph.

- 3600 West – 3600 West is a 2-lane roadway with a 14 foot two way left turn lane and 12 foot travel lanes. The face of curb to face of curb width is approximately 48 feet. The shoulder is 5 feet (including gutter pan) on both sides of the roadway. The posted speed limit is 35 mph.

C. Traffic Volumes

The AM and PM peak hour study intersection turning movement counts were conducted Tuesday, May 17, 2016. Counts were performed from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM.

The AM peak hour was determined to be 7:30 to 8:30 AM and the PM peak hour was determined to be 5:00 to 6:00 PM.

Figure 2 shows the resulting AM and PM peak hour traffic volumes used for analysis purposes. Detailed traffic count sheets are included in the Appendix.

D. Site Analysis

The focus of this study was traffic operations at the study intersections. However, a general site analysis was performed as part of our review. It was noted that the development is including on street parking along 11700 south and no on street parking along District View Drive. It is likely that residents and visitors will want to park along the east side of District View Drive regardless of the onsite parking that is provided.

It was also noted that the proposed cross-walk along the east side of the 11700 South and District View Drive intersection is angled in order to match the existing pedestrian ramp on the northeast corner. A perpendicular cross walk may want to be considered at this location.

Legend

333 (222) – AM Peak Hour (PM Peak Hour)

● – Study Intersections

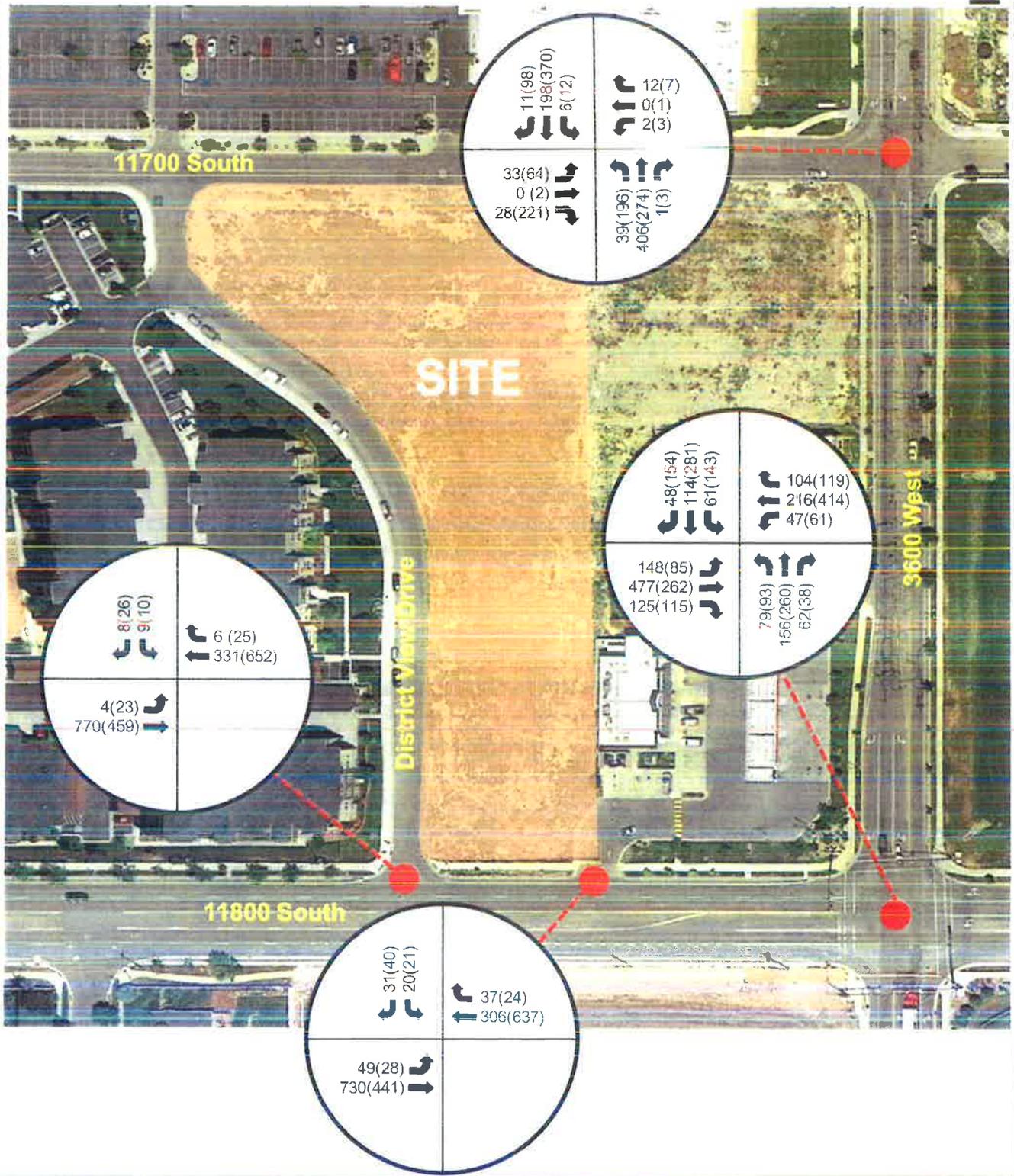


Figure 2

Existing AM and PM Peak Hour Volumes

E. Level of Service Analysis

The Synchro/SimTraffic software program was used to evaluate study intersections and obtain the LOS reported in Table 2. These results serve as a base for the analysis. Detailed traffic operations outputs are included in the appendix.

Table 2: Existing Peak Hour Level of Service						
Intersection		Worst Movement ¹			Overall Intersection. ²	
Intersection	Control	Approach ¹	Avg. Delay (Sec / Veh) ¹	LOS ¹	Avg. Delay (Sec / Veh) ²	LOS
AM Peak Hour						
11700 South/3600 West	Stop	EB	5.9	A	1.6	A
11800 South/3600 West	Signal	EB	17.9	B	15.5	B
11800 South/Maverick Access	Stop	SB	13.1	B	2.0	A
11800 South/District View Drive	Stop	SB	8.8	A	1.3	A
PM Peak Hour						
11700 South/3600 West	Stop	EB	9.7	A	4.3	A
11800 South/3600 West	Signal	WB	19.6	B	15.8	B
11800 South/Maverick Access	Stop	SB	7.9	A	1.7	A
11800 South/District View Drive	Stop	SB	6.3	A	0.7	A
1. This represents the worst approach LOS and delay (seconds / vehicle) and is only reported for unsignalized intersections. 2. This represents the overall intersection LOS and delay (seconds / vehicle).						

As shown in Table 2, all stop controlled intersections currently operate with an overall intersection level of service A. The signalized intersection at 11800 South/3600 West currently operates at an overall intersection level of service B.

III. PROJECT CONDITIONS

A. Purpose

The project conditions analysis explains the type and intensity of the development and serves as the basis for trip generation, distribution, and assignment of project trips to the surrounding study intersections.

B. Project Description

The proposed development consists of two 4 story apartment buildings with a total of 120 units. Resident parking will be located on a two story parking structure. Access for the upper parking structure will be located on 11700 south. Access for the lower parking structure will share the existing Maverick gas station access on 11800 South.

C. Trip Generation

Project trip generation estimates were developed using trip generation rates published in the Institute of Transportation Engineers (ITE) *Trip Generation, 8th Edition*.

Project trips associated with the proposed development utilized the "Apartment" ITE Land Use Category (ITE Code 220).

Table 3 shows the trip generation estimates for the development:

Table 3 Trip Generation									
Land Use	Intensity	Units	AM Peak			PM Peak			Weekday Daily
			In	Out	Total	In	Out	Total	Total
Apartment	120	Dwelling Units	13	48	61	48	26	74	798

D. Trip Distribution and Assignment

Project traffic was assigned to the roadway network based on trip distribution patterns obtained from the traffic counts and based on the configuration of the development site and associated access points as follows:

- 25%** **To the north along 3600 West**
- 18%** **To the south along 3600 West**
- 30%** **To the west along 11800 South**
- 27%** **To the east along 11800 South**

Figure 3 shows the AM and PM peak hour trips generated by the proposed development and the distribution of traffic onto the roadway network.

Legend

333 (222) – AM Peak Hour (PM Peak Hour)

● – Study Intersections

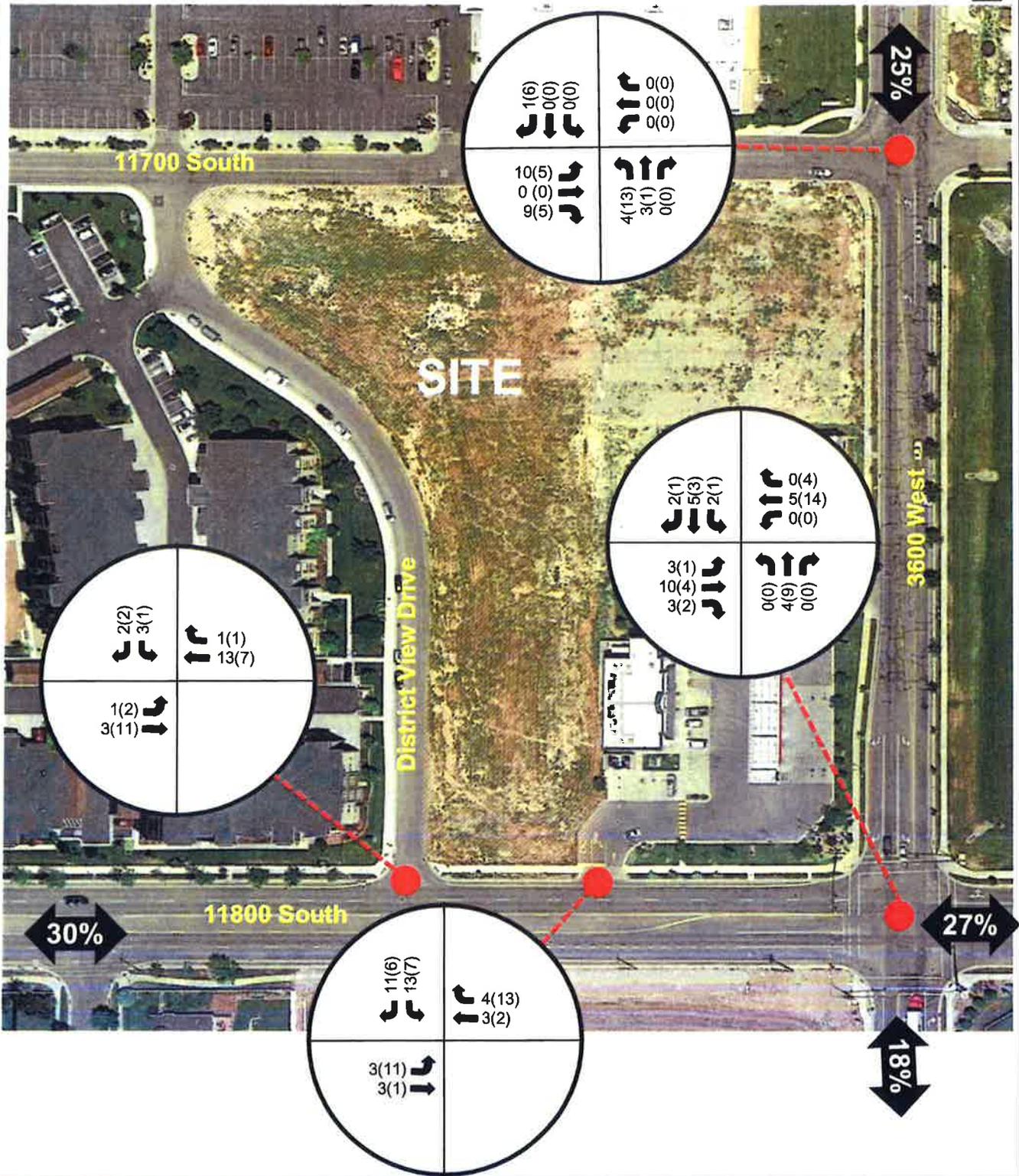


Figure 3

Project AM and PM Peak Hour Volumes and Trip Distribution

IV. EXISTING PLUS PROJECT CONDITIONS

A. Purpose

This section of the report examines the traffic impacts of the proposed project at each of the study intersections. The trips generated by the proposed development were combined with the existing traffic volumes to create the existing plus project conditions.

B. Traffic Volumes

Project trips were assigned to the study intersections and project access points based on the trip distribution percentages discussed in Chapter III. The project generated traffic shown in Figure 3 was then added to the existing volumes (Figure 2) to create "existing plus project" peak hour volumes at the study intersections. Figure 4 displays these peak hour volumes.

C. Level of Service Analysis

Using Synchro/SimTraffic software and the HCM 2010 methodology, the AM and PM peak hour LOS was computed for each study intersection. Table 4 shows the peak hour LOS results for the existing plus project analysis (see Appendix for detailed LOS reports).

Legend

333 (222) – AM Peak Hour (PM Peak Hour)

 – Study Intersections

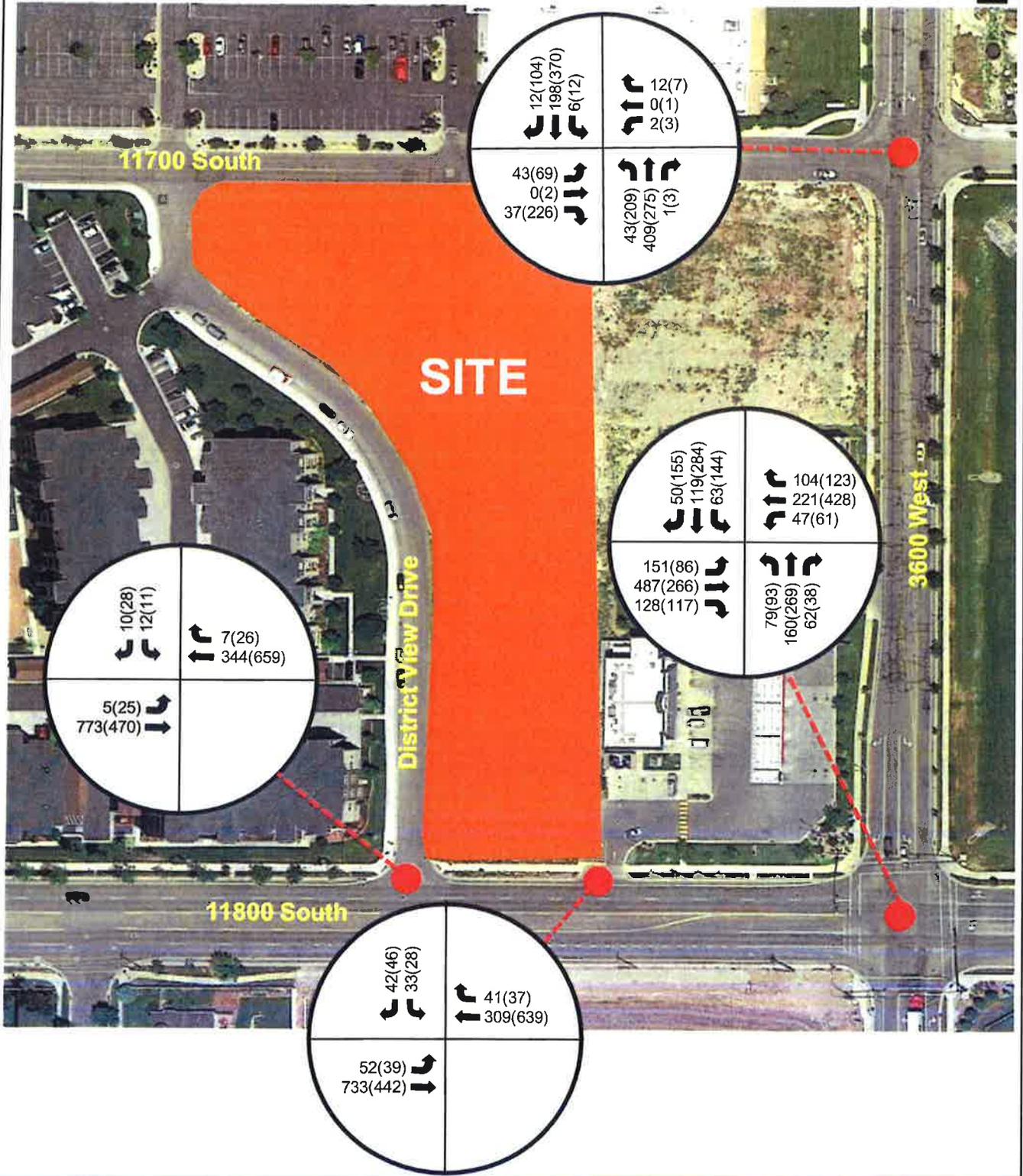


Figure 4

Existing + Project AM and PM Peak Hour Volumes

Table 4: Existing Plus Project Peak Hour Level of Service						
Intersection		Worst Movement ¹			Overall Intersection ²	
Intersection	Control	Approach ¹	Avg. Delay (Sec / Veh) ¹	LOS ¹	Avg. Delay (Sec / Veh) ²	LOS
AM Peak Hour						
11700 South/3600 West	Stop	EB	6.5	A	1.8	A
11800 South/3600 West	Signal	EB	17.9	B	15.7	B
11800 South/Maverick Access	Stop	SB	16.9	C	2.7	A
11800 South/District View Drive	Stop	SB	14.7	B	1.6	A
PM Peak Hour						
11700 South/3600 West	Stop	EB	9.1	A	4.2	A
11800 South/3600 West	Signal	WB	19.1	B	16.1	B
11800 South/Maverick Access	Stop	SB	9.1	A	1.9	A
11800 South/District View Drive	Stop	SB	6.4	A	0.8	A
<p>1. This represents the worst approach LOS and delay (seconds / vehicle) and is only reported for unsignalized intersections.</p> <p>2. This represents the overall intersection LOS and delay (seconds / vehicle).</p>						

As shown in Table 4, all stop controlled intersections are expected to operate with an overall intersection level of service A. The intersection of 11800 South/3600 West will operate at an overall intersection level of service B.

The longest stop controlled delay is the shared southbound approach at the Maverick access, which has an expected average delay per vehicle of 16.9 seconds due to the volume of southbound left turn movements.

D. Mitigation Measures

As shown in Table 4, all of the study intersections are expected to operate at an acceptable overall LOS. Motorists exiting the site using the shared Maverick access will experience the highest delays. This intersection will still operate at an overall intersection level of service A and will experience slightly higher delays than existing conditions. Because of this, no mitigation measures are necessary at the study intersections.

V. CONCLUSIONS/RECOMMENDATIONS

Conclusions

The proposed development will generate approximately 61 total AM trips, 74 total PM trips and 798 total daily trips.

All stop controlled intersections are expected to operate with an overall intersection level of service A. The intersection of 11800 South/3600 West will operate at an overall intersection level of service B. The longest stop controlled delay is the shared southbound approach at the Maverick access, which has an expected average delay per vehicle of 16.9 seconds due to the volume of southbound left turn movements.

The increase delay due to the proposed development will be minimal at the study intersections.

Recommendations

This traffic study primarily addressed intersection delays at the study intersections. Since the study intersections are built out and they operate at an acceptable level of service with project traffic added, no recommendations are made.

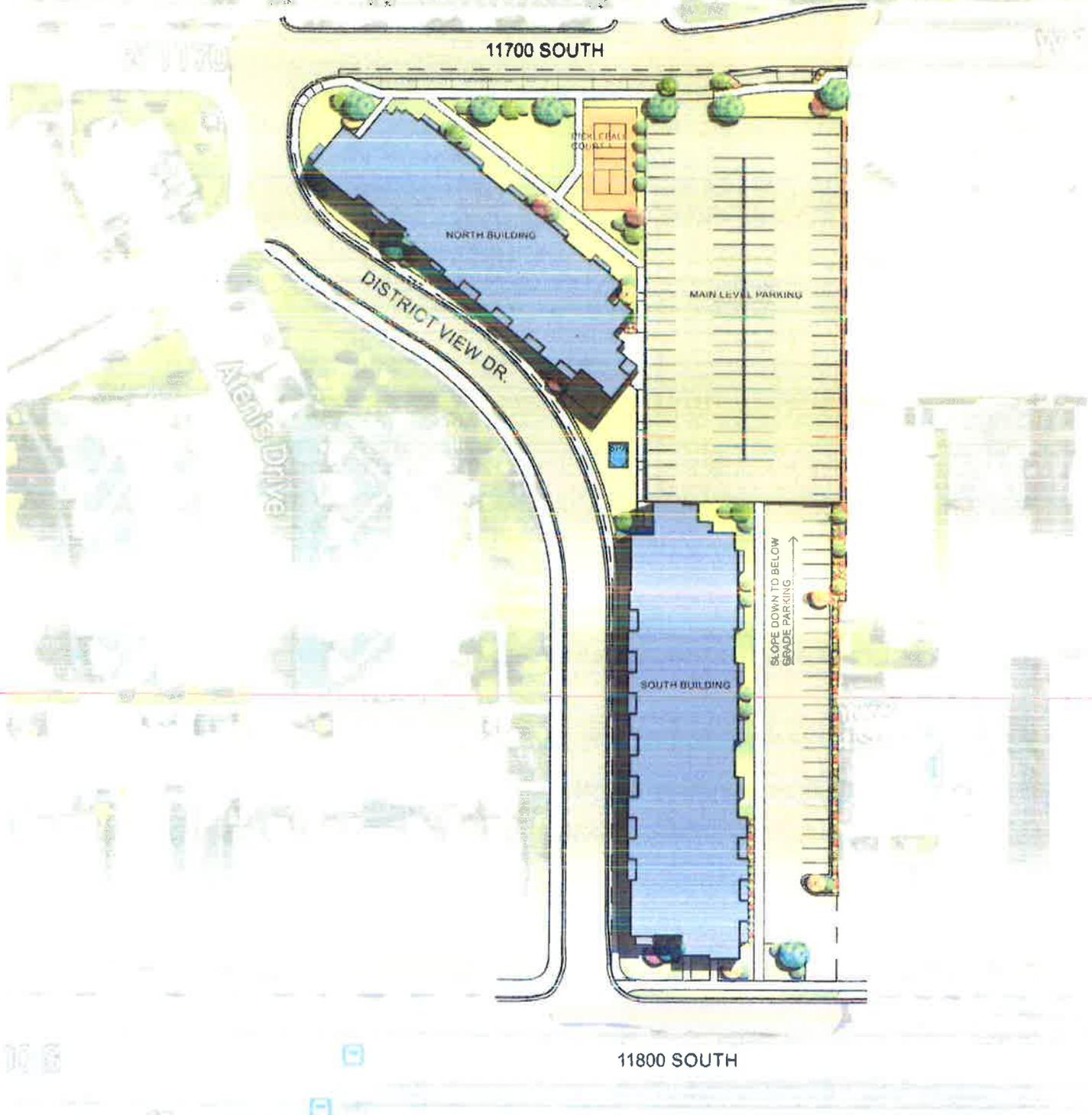
Additional considerations

Additional traffic considerations would include on street parking along District View Drive. From the perspective of convenience, it is likely that people will park along District View Drive even if there is sufficient onsite parking. It is recommended that District view drive either be widened to 36 feet (face of curb to face of curb width) to accommodate on-street parking along the east side of the road or that a no parking zone be established on the east side of the current 28' cross section.

The angle crosswalk at 11700 South and District View Drive should also be considered. It is recommended that a perpendicular cross walk be installed by reconstruction the pedestrian ramp on the north side of 11700 South.

APPENDIX

Site Plan



Tuttle and Associates
 ARCHITECTS
 6400 130th Ave
 Suite 1000, Golden, CO 80401
 Tel: 303.440.1100
 Fax: 303.440.1101

STUDIO - 8
 1 BED - 56
 2 BED - 28
 2 BED LUXURY - 28
 TOTAL - 120 UNITS

The Flats at the District

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 12/13/2016

Issue: THE FLATS AT THE DISTRICT
PRELIMINARY SUBDIVISION AND CONDOMINIUM PLAT

Address: 11743 South 3648 West

Project No: PLDP201600802

Applicant: David George

Submitted By: Brad Sanderson, Planner III, AICP

Jared Francis, Senior Engineer

Staff Recommendation (Motion Ready):

Approve The Flats at the District preliminary subdivision and condominium plat, subject to the following requirements listed below:

1. There shall be a recorded agreement specifying shared access, parking, management and maintenance of all facilities between the condominiums and apartment uses within the development.
2. All subdivision and condominium plats shall record prior to vertical building construction.
3. Private CC&R's shall be submitted to the City for legal review.

ACREAGE: 2.57Acres

CURRENT ZONE: BH-MU

CURRENT USE: Vacant

FUTURE LAND USE PLAN: Corridor

NEIGHBORING

LU DESIGNATIONS,

(ZONING)/USES:

North - Corridor (BH-MU)/ Retail businesses

South - (Riverton City) / Low Density Residential (C-N)/

Vacant

East - Corridor (BH-MU)/ Vacant parcel, Office, and
Maverick Fuel

West - Corridor (BH-MU)/ Sand Tropez Condos

STANDARD OF APPROVAL:

The Planning Commission shall receive public comment at the public hearing regarding the proposed condominium. The Planning Commission may approve, approve with conditions or if the project does not meet City ordinances or sanitary sewer or culinary water requirements, deny the preliminary subdivision plat application. (City Code § 16.08.060)

BACKGROUND:

David George, on behalf of District Properties LC, has submitted a preliminary subdivision and condominium application and proposal to subdivide 2.57 acres of property located at 11743 South 3648 West.

The property currently is comprised of three individual parcels. The proposal would create one large parcel on the north side of the property for the north building, and subdivide the southern portion of the property into 60 individual condominiums and related common area for the south building as proposed within of the site plan for The Flats at the District.

All units within the south building will be available for individual ownership. Common areas include those areas outside and around the buildings including but not limited to parking, sidewalks, indoor and outdoor amenities as well as internal elevators, stairways, hallways decks, etc. As is typical with condominiums, some of these areas may be limited common areas.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

1. Per the site plan design, the development will have adequate sewer, water, and other necessary utility infrastructure to support the development.
2. Per the Master Development Plan, the District area allows for up to 1,600 total residential units. If approved, this development will be adding 120 total units to the already 1,147 dwelling units.

Conclusions:

Based on the above findings, Staff has made the following conclusions:

1. Because of the unique nature of the proposal which includes two different housing ownership types, Staff is recommending that there be an agreement recorded, specifying common use and maintenance of facilities between the two land uses.
2. The proposed subdivision and condo plat meets the requirements and standards for preliminary subdivision and condominium plat approval.

Recommendation:

Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and approve the preliminary subdivision and condominium plat for The Flats at the District, subject to the requirements listed above, unless during the hearing facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Deny the proposal
- Add to or modify the listed requirements for approval
- Schedule the decision for a later date

SUPPORT MATERIALS:

- Aerial Map
- Proposed condominium plat sheets

A handwritten signature in black ink that reads "Brad Sanderson". The signature is written in a cursive style with a horizontal line underneath it.

Brad Sanderson
Planner III, AICP



Subject Property

Aerial Map



Bangerter Hwy North

Bangerter Highway

11800 South

11700 South

11600 S

11320 S

1580 S

3600 W

3700 W

3840 W

3860 W

History Dr

Kempner Cir

Monument Cir

Station Cir

Anthem Cir

Artistic Cir

Jordanair Dr

3600 West

View Dr

Athens Dr

Ban Way

Fortana Way

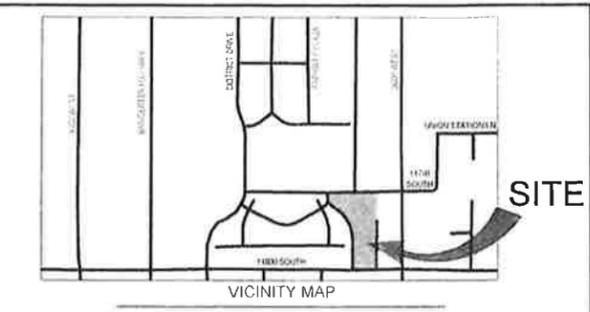
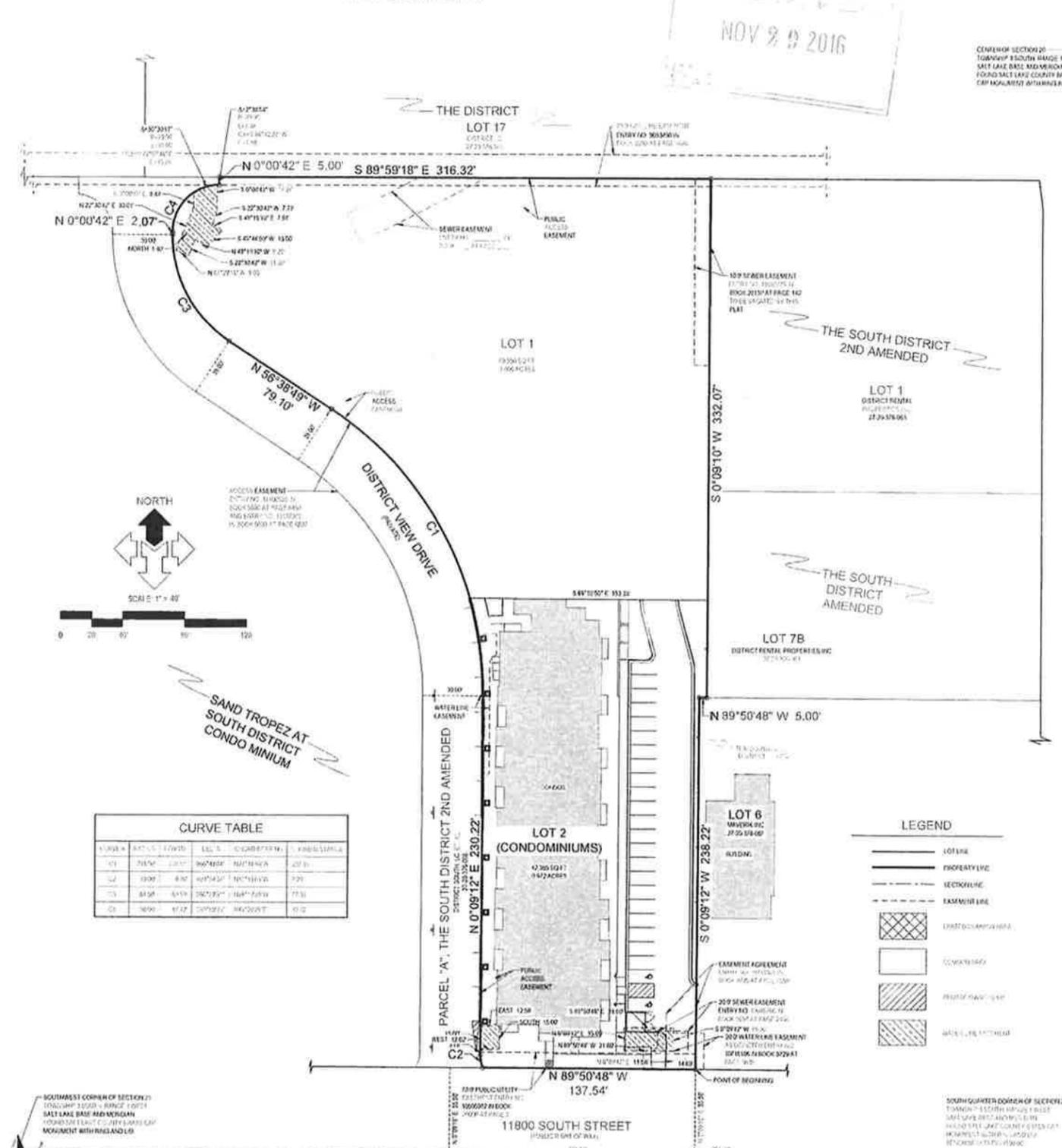
District Dr

THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM

AMENDING LOTS 2, 3 & 4 THE SOUTH DISTRICT 2ND AMENDED
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 20,
 TOWNSHIP 3 SOUTH, RANGE 1 WEST,
 SALT LAKE BASE AND MERIDIAN

NOTES

1. THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM SHALL BE SUBJECT TO THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE SYSTEM AS SHOWN ON THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE MAPS AND RECORDS.
2. THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM SHALL BE SUBJECT TO THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE SYSTEM AS SHOWN ON THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE MAPS AND RECORDS.
3. THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM SHALL BE SUBJECT TO THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE SYSTEM AS SHOWN ON THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE MAPS AND RECORDS.
4. THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM SHALL BE SUBJECT TO THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE SYSTEM AS SHOWN ON THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE MAPS AND RECORDS.
5. THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM SHALL BE SUBJECT TO THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE SYSTEM AS SHOWN ON THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE MAPS AND RECORDS.
6. THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM SHALL BE SUBJECT TO THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE SYSTEM AS SHOWN ON THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE MAPS AND RECORDS.
7. THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM SHALL BE SUBJECT TO THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE SYSTEM AS SHOWN ON THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE MAPS AND RECORDS.
8. THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM SHALL BE SUBJECT TO THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE SYSTEM AS SHOWN ON THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE MAPS AND RECORDS.
9. THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM SHALL BE SUBJECT TO THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE SYSTEM AS SHOWN ON THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE MAPS AND RECORDS.
10. THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM SHALL BE SUBJECT TO THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE SYSTEM AS SHOWN ON THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE MAPS AND RECORDS.



SURVEYOR'S CERTIFICATE

THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM
 AMENDING LOTS 2, 3 & 4 THE SOUTH DISTRICT 2ND AMENDED

BOUNDARY DESCRIPTION

THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM AS DESCRIBED WITHIN THE OFFICE OF THE SALT LAKE COUNTY RECORDER AS BEING LOTS 2, 3 & 4 THE SOUTH DISTRICT 2ND AMENDED AS SHOWN ON THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE MAPS AND RECORDS.

OWNER'S DEDICATION

THE DISTRICT FLATS CONDOS

THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM AS DESCRIBED WITHIN THE OFFICE OF THE SALT LAKE COUNTY RECORDER AS BEING LOTS 2, 3 & 4 THE SOUTH DISTRICT 2ND AMENDED AS SHOWN ON THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE MAPS AND RECORDS.

LIMITED LIABILITY ACKNOWLEDGMENT

THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM AS DESCRIBED WITHIN THE OFFICE OF THE SALT LAKE COUNTY RECORDER AS BEING LOTS 2, 3 & 4 THE SOUTH DISTRICT 2ND AMENDED AS SHOWN ON THE SOUTH VALLEY SEWER DISTRICT'S SEWERAGE MAPS AND RECORDS.

THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM

AMENDING LOTS 2, 3 & 4 THE SOUTH DISTRICT 2ND AMENDED
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 20,
 TOWNSHIP 3 SOUTH, RANGE 1 WEST,
 SALT LAKE BASE AND MERIDIAN

SHEET 1 OF 2

DEVELOPER: [Name]

SOUTH VALLEY SEWER DISTRICT

APPROVED THIS _____ DAY OF _____, 20__

BOARD OF HEALTH

APPROVED THIS _____ DAY OF _____, 20__

ROCKY MOUNTAIN POWER

APPROVED THIS _____ DAY OF _____, 20__

QUESTAR

APPROVED THIS _____ DAY OF _____, 20__

COMCAST

APPROVED THIS _____ DAY OF _____, 20__

CENTURYLINK

APPROVED THIS _____ DAY OF _____, 20__

CITY ENGINEER

APPROVED THIS _____ DAY OF _____, 20__

SOUTH JORDAN CITY MAYOR

APPROVED THIS _____ DAY OF _____, 20__

CITY PLANNER

APPROVED THIS _____ DAY OF _____, 20__

OFFICE OF THE CITY ATTORNEY

APPROVED THIS _____ DAY OF _____, 20__

PREPARED BY

McNEIL ENGINEERING™
 Economic and Sustainable Design Professionals You Know and Trust

5612 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.355.7700 mcneilengineering.com

Civil Engineering • Consulting & Landscape Architecture
 Structural Engineering • Land Surveying & HDS

SALT LAKE COUNTY RECORDER

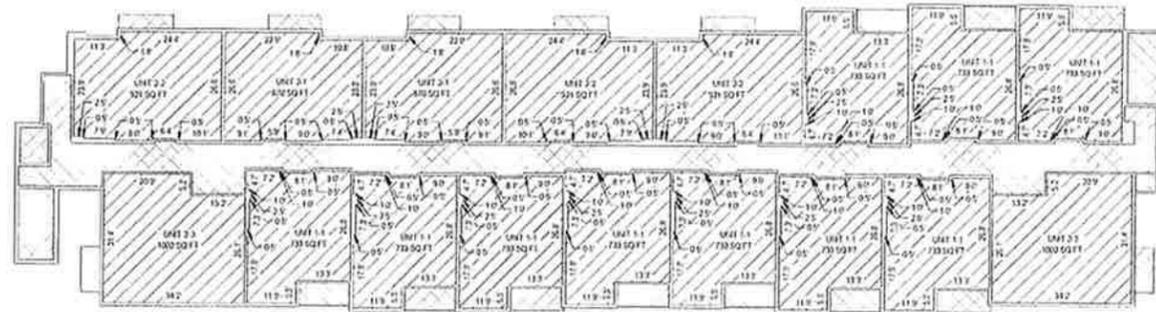
RECORDED THIS _____ DAY OF _____, 20__

FILE NO. _____

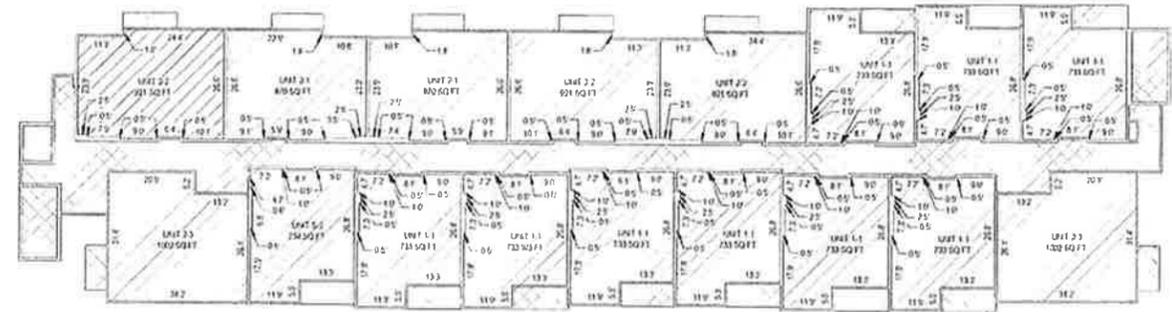
PAGE _____

THE DISTRICT FLATS SUBDIVISION & CONDOMINIUMS

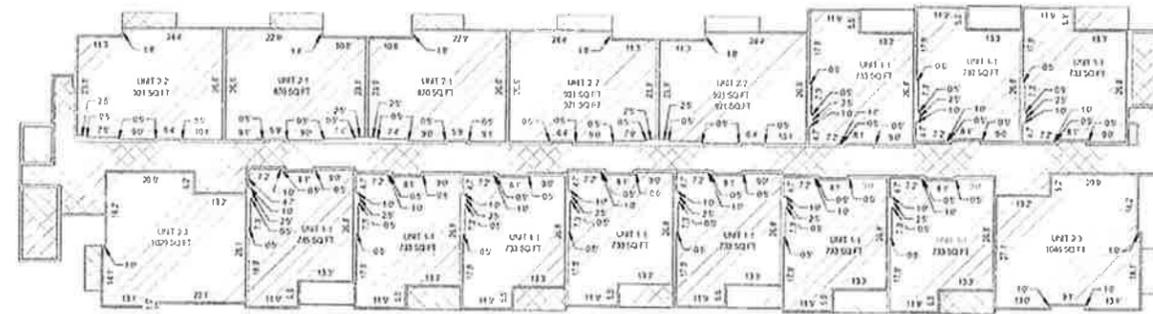
AMENDING LOTS 2, 3 & 4 THE SOUTH DISTRICT 2ND AMENDED
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 20,
 TOWNSHIP 3 SOUTH, RANGE 1 WEST,
 SALT LAKE BASE AND MERIDIAN



1ST FLOOR



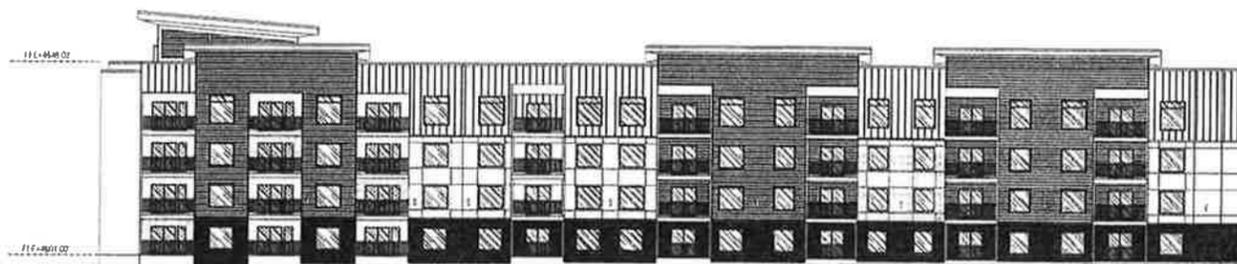
2ND FLOOR



3RD & 4TH FLOOR

LEGEND

-  HATCHED OCCUPANCY AREA
-  COMMON AREA
-  PRIVATE OWNERSHIP



EAST ELEVATION



SOUTH ELEVATION



SHEET
2
OF
2

PREPARED BY
 **MCNEIL ENGINEERING™**
 Economic and Sustainable Designs. Professionals You Know and Trust
 8610 South Sandy Parkway, Suite 200, Sandy, Utah 84070 801.355.7700 mcneilengineering.com
Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & HDS

THE DISTRICT FLATS SUBDIVISION & CONDOMINIUM
 AMENDING LOTS 2, 3 & 4 THE SOUTH DISTRICT 2ND AMENDED
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 20,
 TOWNSHIP 3 SOUTH, RANGE 1 WEST,
 SALT LAKE BASE AND MERIDIAN

2024/08/28 10:01 AM 2024/08/28 10:01 AM 2024/08/28 10:01 AM 2024/08/28 10:01 AM 2024/08/28 10:01 AM

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 12/13/2016

Issue: RUGG PROPERTY LAND USE AMENDMENT & REZONE
A land use amendment proposal to change the land use designation of approximately .74 acres of property from Office to Medium Density Residential and Rezone the same property from the Professional Office (P-O) Zone to the Residential (R-M-6) Zone

Address: 11523 South 3600 West
Project No: PLLUA201600757 & PLZBA201600758

Applicant: David Freiss

Submitted By: Brad Sanderson, AICP Planner III
Shane Greenwood, Assistant City Engineer

Staff Recommendation (Motion Ready): that the Planning Commission recommend to the City Council that it approve the following for property located at 11523 South 3600 West:

Resolution R2017-01, changing the land use designation on the property from Office to Medium Density Residential; and

Ordinance 2017-01-Z, rezoning the property from the Professional Office (P-O) Zone to the Residential (R-M-6) Zone.

ACREAGE: .74 Acres

CURRENT ZONE: Office

CURRENT USE: Single Family Residential

FUTURE LAND USE PLAN: Office

NEIGHBORING

LU DESIGNATIONS,

(ZONING)/USES:

- North - Commercial (VMU)/ Village at Highridge (under construction)
- South - Office (P-O)/ Vision Dance & Learning Center (under construction)
- East - Office (VMU)/ Village at Highridge (under construction)
- West - Corridor (BH-MU)/ The District

ZONING STANDARDS

The rezoning of property may not be considered if the proposed zoning does not conform to the general plan. The following guidelines shall be considered in the rezoning of parcels:

- A. The parcel to be rezoned meets the minimum area requirements of the proposed zone or if the parcel, when rezoned, will contribute to a zone area which meets the minimum area requirements of the zone.
- B. The parcel to be rezoned can accommodate the requirements of the proposed zone.

- C. The rezoning will not impair the development potential of the parcel or neighboring properties. (City Code § 17.22.020)

BACKGROUND

David Freiss, on behalf of Century Communities (builder) and Mr. and Mrs. Rugg (property owners), has submitted an application to the City, proposing to amend the land use designation of the .74 acre Rugg property from Office to Medium Density Residential and rezone the same property from the Professional Office (P-O) Zone to the Residential (R-M-6) Zone. The Rugg property is located at approximately 11523 South 3600 West.

The Rugg property was recently included with two other adjacent properties as part of the same rezone application that the City Council approved on 4/19/2016, changing the zoning from the R-3 Zone to the P-O Zone. The builder of the adjacent small lot residential development, that the City recently approved, would now like to include the Rugg property in its development, subject to City approval.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

- The adjoining Village at Highridge development was approved with a density of 6 units per acre and will be constructing a new road along the north property line of the Rugg property. This road will be accessible by the Rugg property regardless of the land use type.
- If approved, based on the concept plan the Rugg property would yield five additional single family lots that will likely face north and front onto the new road, allowing like uses to face to face each other and create more of a neighborhood-like development.
- There is not minimum zone area for the establishment of the R-M Zone, however there is a minimum 5,000 square foot lot size. Per the concept plan, each lot will be roughly 6,000 sq.ft. in size, which is slightly larger than the approved lots within the adjacent, Village at Highridge development.
- The City's Engineering Department provided a preliminary infrastructure analysis report outlining potential impacts based upon the proposed zone change. There are no significant impacts as a result of this proposed rezone, (see attached).
- The R-M Zone does allow attached housing as a permitted use but only by way of a development agreement (see Title 17.18.030.030.B.5.a.). Per the concept plan, the proposal is for a single family detached, five lot development.
- Subdivision approval will require some property be dedicated and improvements installed along 3600 West (e.g. curb, gutter, sidewalk, fencing, landscaping).
- The fiscal analysis report provided by staff shows that due to the configuration of the Village at Highridge and its proposed roads, there will only be minimal additional infrastructure dedicated to the City with little to no additional maintenance costs.

Conclusion:

Based on the findings listed above, Staff has made the following conclusions:

- The proposed zone change will not have a negative impact on the City or its infrastructure.
- The proposal is somewhat more harmonious with the adjoining Village at Highridge development than a potential office use under the current zone.
- Staff has concluded that there are no detrimental impacts to the City or surrounding properties and since the zone will not allow for any attached housing, (unless specifically allowed by way of

a development agreement), there is no reason for the City to enter into a development agreement as part of this rezone.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and recommend that the City Council approve Resolution R2017-01 changing the land use designation on the Rugg property from Office to Medium Density Residential, and Ordinance 2017-01-Z, rezoning the Rugg property from the Professional Office (P-O) Zone to the Residential (RM-6) Zone, unless during the hearing facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Recommend denial of the Application
- Propose modification(s) to the Application
- Schedule the Application for a decision at some future date

SUPPORT MATERIALS:

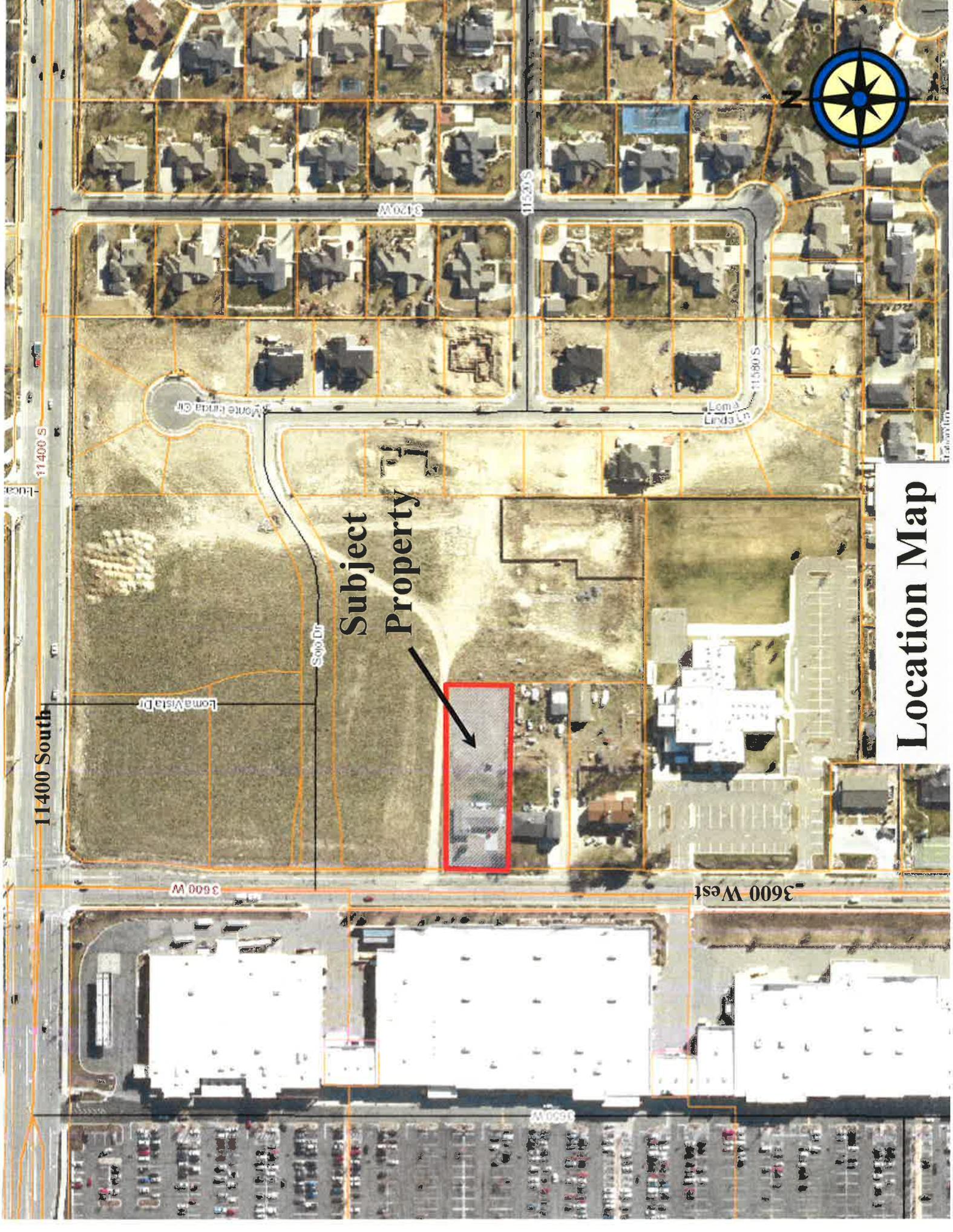
- Aerial Map
- Land Use Map
- Zoning Map
- Concept Plan
- Infrastructure Analysis
- Fiscal Analysis
- Resolution R2017-01
- Ordinance No. 2017-01-Z



Planning Department

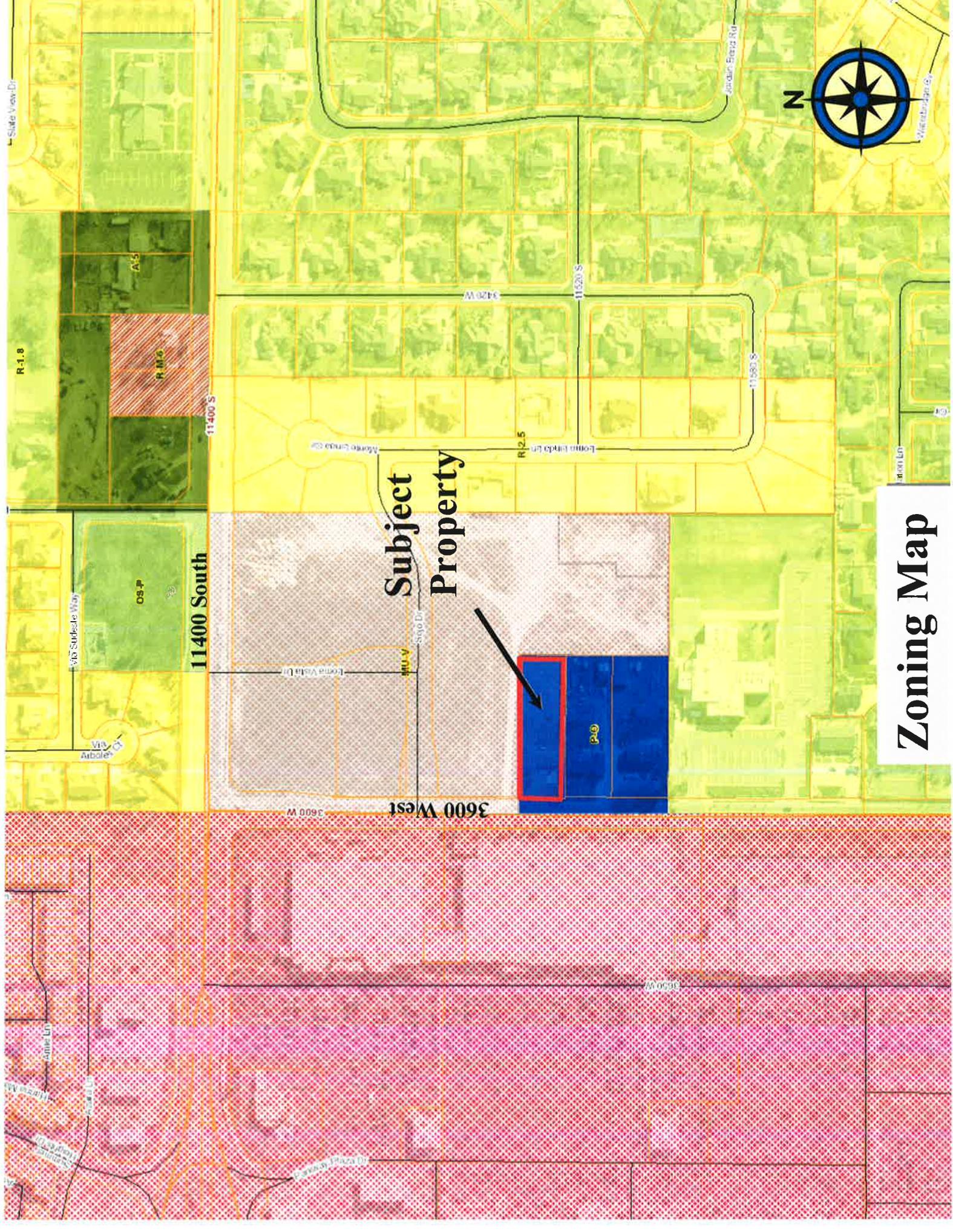


Date



**Subject
Property**

Location Map



**Subject
Property**

Zoning Map

LAND USE AMENDMENTS & REZONE DEVELOPMENT PROJECTS

INFRASTRUCTURE ANALYSIS

Project Name/Number	Village at Highridge Phase 2 Subdivision – Office to RM-6
----------------------------	---

Planner Assigned	Brad Sanderson
Engineer Assigned	Shane Greenwood

The Engineering Department has reviewed this application and has the following comments:

Transportation: *(Provide a brief description of the access, transportation master plan and how this change affects Master Plan, condition/status of existing roadways. Determine whether a Traffic Study should be completed)*

The subject property is located at 11523 South 3600 West with five proposed residential building lots facing Alta Loma Lane which will be constructed as part of Village at Highridge Subdivision. No roads will be required or constructed for this project (Phase2). Alta Loma Lane should have sufficient capacity for the small increase of traffic from this development. No traffic study is required.

Culinary Water: *(Provide a brief description of the water servicing the area, look into deficiencies, and determine if water modeling needs to be performed at this time, look at Water Master Plan and evaluate the change to the Master Plan)*

It is anticipated that the culinary water services for the proposed residential building lots will connect to the culinary water main line in Alta Loma Lane as proposed to be constructed with Village at Highridge Subdivision. Per City standards, a water model submittal is required with subdivision review.

Secondary Water: *(Provide a brief description of the secondary water servicing the area, briefly look into feasibility)*

At the time of subdivision review, a cost estimate will be required and feasibility study performed which will determine requirement for secondary water servicing or not. It is anticipated that secondary water services will not be constructed with this development, due to construction costs being uneconomically feasible for this area.

Sanitary Sewer: *(Attach letter from South Valley Sewer stating that this zone/land use change does not affect service and that any future project can be serviced by the District)*

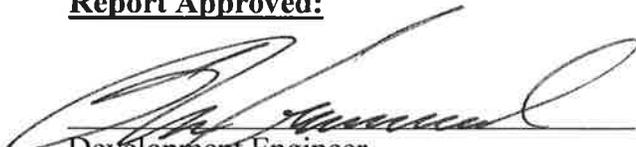
At the time of subdivision review, the developer must submit an approval letter from South Valley Sewer District stating sufficient capacity for additional homes connected to sewer mains in the area. It is anticipated that adequate sewer service is available.

Storm Drainage: *(How will this area be serviced for storm drainage, kept on site, Master Storm Plan, etc. any other issues with drainage)*

It is anticipated that most of the proposed storm runoff from these residential lots will drain to Alta Loma Lane storm drain system, the remainder of the runoff retained on individual lots by means of swales, berms and grading. A City approved Grading Permit will be required for each residential lot.

Other Items: *(Any other items that might be of concern)*

Report Approved:


Development Engineer

11/17/16
Date


Brad Klavano, PE, PLS
Director of Engineering/City Engineer

11/17/16
Date

IMPACT MODEL REPORT

November 28, 2016

Project: Rugg Property

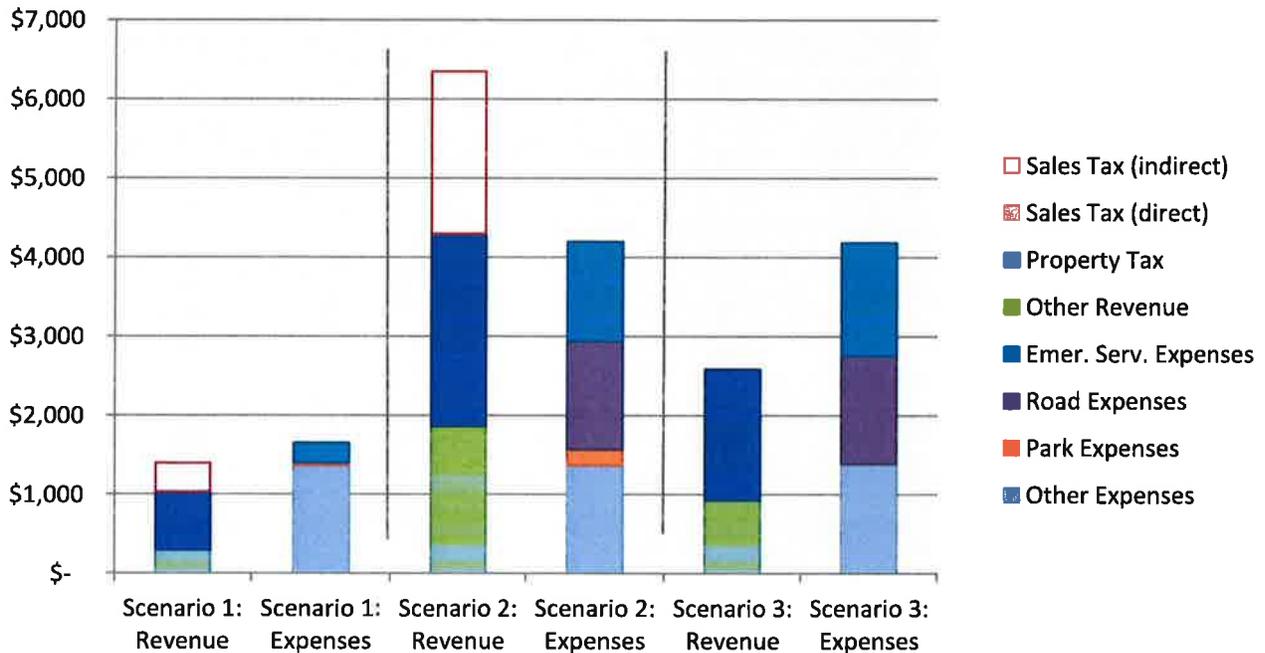
SCENARIOS

RESULTS

Scenario 1: Existing	Item	Existing		Proposed		Alternative	
1 existing home, approx. 0.83 acres.	Area (acres)	0.8		0.8		0.8	
	Buildable	0.8	100%	0.7	83%	0.1	13%
	Public Roads	0.0	0%	0.1	17%	0.1	17%
	Parking Lot	0.0	0%	0.0	0%	0.4	47%
	Open Space	0.0	0%	0.0	0%	0.2	23%
	Other	0.0	0%	0.0	0%	0.0	0%
Scenario 2: Proposed	Dwelling Units	1		5		0	
6 residential dwelling units at approx. 6,000 sq. ft./lot. \$400,000/unit.	Density (Units/Acre)	1.2		6.0		0.0	
	Occupied Units	1		5		0	
	Household Size	3.1		3.5		N/A	
	Population	3		17		0	
	Under 5 (0-4)	0	0%	2	12%	0	0%
	School Age (5-17)	1	33%	4	24%	0	0%
	College Age (18-24)	0	0%	1	6%	0	0%
	Working Age (25-64)	2	67%	9	53%	0	0%
	Seniors (65 and up)	0	0%	1	6%	0	0%
Scenario 3: Alternative	Emergency Calls*	0.6		3.0		3.3	
Office building at 5,120 sq. ft. Project value: \$750,000.	Per Acre	0.7		3.5		3.9	
	Residential Calls	0.6		3.0		0.0	
	Per Dwelling Unit	0.6		0.6		N/A	
	Commercial Calls	0.0		0.0		3.3	

* cell phone hang-up & traffic calls not included

GENERAL FUND IMPACT (ANNUAL)



Source: U.S. Census Bureau, South Jordan City Finance & Development Services Departments. (Prepared by J. Warner)

RESOLUTION R2017-01

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOUTH JORDAN, UTAH, AMENDING THE FUTURE LAND USE PLAN MAP OF THE GENERAL PLAN OF THE CITY OF SOUTH JORDAN FROM OFFICE USE TO MEDIUM DENSITY RESIDENTIAL USE ON PROPERTY LOCATED GENERALLY AT 11523 SOUTH 3600 WEST; DAVID FREISS (APPLICANT).

WHEREAS, the City Council of the City of South Jordan (“City Council”) has adopted the Future Land Use Plan Map of the General Plan of the City of South Jordan; and

WHEREAS, Applicant is requesting that the City Council amend the Future Land Use Plan Map by changing the land use designation on the below-described property; and

WHEREAS, the South Jordan Planning Commission reviewed the proposed land use amendment and made a recommendation to the City Council; and

WHEREAS, the City Council held a public hearing concerning the proposed land use amendment; and

WHEREAS, the City Council finds that amending the Future Land Use Plan Map as proposed by Applicant will promote the public health, safety and welfare, and promote the goals of the General Plan.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SOUTH JORDAN, UTAH:

SECTION 1. Amendment. The land use designation of the Future Land Use Plan Map of property described in Project No. PLLUA201600757, filed by David Freiss, located in the City of South Jordan, Utah at approximately 11523 South 3600 West, is hereby changed from Office Use to Medium Density Residential Use. The subject property is more particularly described in the attached Exhibit A.

SECTION 2. Severability. If any section, clause or portion of this Resolution is declared invalid by a court of competent jurisdiction, the remainder shall not be affected thereby and shall remain in full force and effect.

SECTION 3. Effective Date. This Resolution shall become effective immediately upon passage.

[SIGNATURE PAGE FOLLOWS]

**APPROVED BY THE CITY COUNCIL OF THE CITY OF SOUTH JORDAN, UTAH,
ON THIS _____ DAY OF _____, 2016 BY THE FOLLOWING VOTE:**

	YES	NO	ABSTAIN	ABSENT
Patrick Harris	_____	_____	_____	_____
Bradley Marlor	_____	_____	_____	_____
Don Shelton	_____	_____	_____	_____
Tamara Zander	_____	_____	_____	_____
Christopher Rogers	_____	_____	_____	_____

Mayor: _____
David L. Alvord

Attest: _____
City Recorder

Approved as to form:



Office of the City Attorney

Exhibit A

Property Description for Project No. PLUA201600757

BEGINNING AT A POINT N 00°15'20" E 1861.63 FEET AND S 89°44'40" E 33.00 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 20, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE N 00°15'20" E 101.18 FEET; THENCE S 89°31'56" E 2.48 FEET; THENCE N 00°15'42" E 14.06 FEET; THENCE S 89°31'56" E 313.02 FEET; THENCE S 00°15'19" W 115.14 FEET; THENCE N 89°32'46" W 315.48 FEET TO THE POINT OF BEGINNING.
CONTAINS 38,301 SF MORE OR LESS.

ORDINANCE NO. 2017-01-Z

AN ORDINANCE AMENDING THE REVISED ORDINANCES OF THE CITY OF SOUTH JORDAN, UTAH AS AMENDED; CHANGING THE ZONING MAP FROM THE P-O (PROFESSIONAL OFFICE) ZONE TO THE R-M-6 SUBDISTRICT OF THE R-M (RESIDENTIAL-MULTIPLE) ZONE ON PROPERTY LOCATED GENERALLY AT 11523 SOUTH 3600 WEST; DAVID FREISS (APPLICANT).

WHEREAS, the City Council of the City of South Jordan (“City Council”) has adopted the Zoning Ordinance of the City of South Jordan (Title 17 of the South Jordan City Municipal Code) with the accompanying Zoning Map; and

WHEREAS, Applicant proposed that the City Council amend the Zoning Map by rezoning the below-described property; and

WHEREAS, the South Jordan Planning Commission reviewed the proposed rezoning and made a recommendation to the City Council; and

WHEREAS, the City Council held a public hearing concerning the proposed rezoning; and

WHEREAS, the City Council finds that the rezoning will enhance the public health, safety and welfare, and promote the goals of the General Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SOUTH JORDAN, UTAH:

SECTION 1. Rezone. The property described in Project No. PLZBA201600758, filed by David Freiss, located in the City of South Jordan, Utah at approximately 11523 South 3600 West, is hereby reclassified from the P-O (Professional Office) Zone to the R-M-6 Subdistrict of the R-M (Residential-multiple) Zone. The rezoned property is more particularly described in the attached Exhibit A.

SECTION 2. Filing of Zoning Map. The Official Zoning Map showing such changes shall be filed with the South Jordan City Recorder.

SECTION 3. Severability. If any section, part or provision of this Ordinance is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Ordinance and all sections, parts, provisions and words of this Ordinance shall be severable.

SECTION 4. Effective Date. This Ordinance shall become effective immediately upon publication or posting as required by law.

[SIGNATURE PAGE FOLLOWS]

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF SOUTH JORDAN, UTAH, ON THIS _____ DAY OF _____, 2016 BY THE FOLLOWING VOTE:

	YES	NO	ABSTAIN	ABSENT
Patrick Harris	_____	_____	_____	_____
Bradley Marlor	_____	_____	_____	_____
Donald Shelton	_____	_____	_____	_____
Tamara Zander	_____	_____	_____	_____
Christopher Rogers	_____	_____	_____	_____

Mayor: _____
David L. Alvord

Attest: _____
City Recorder

Approved as to form:



Office of the City Attorney

Exhibit A

Property Description for Project No. PLZBA201600758

BEGINNING AT A POINT N 00°15'20" E 1861.63 FEET AND S 89°44'40" E 33.00 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 20, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE N 00°15'20" E 101.16 FEET; THENCE S 89°31'58" E 2.46 FEET; THENCE N 00°15'42" E 14.06 FEET; THENCE S 89°31'58" E 313.02 FEET; THENCE S 00°15'18" W 115.14 FEET; THENCE N 89°32'46" W 315.48 FEET TO THE POINT OF BEGINNING.
CONTAINS 36,301 SF MORE OR LESS.