

# JORDAN STATION APARTMENTS

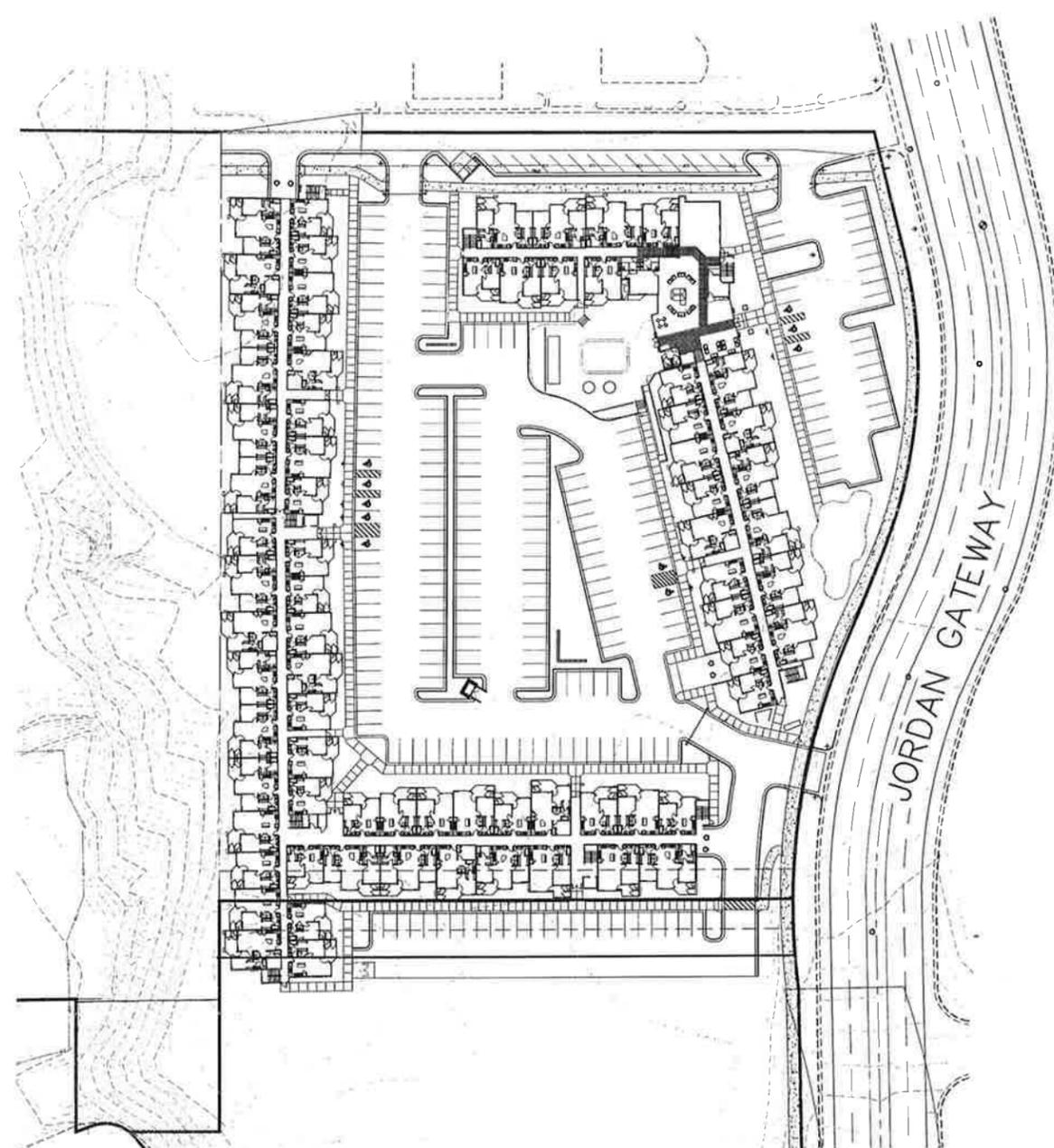
A NEW RESIDENTIAL DEVELOPMENT  
 LOCATED AT  
 10464 SOUTH JORDAN GATEWAY  
 SOUTH JORDAN, UTAH



NTS

## GENERAL

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS ORDINANCES & REQUIREMENTS OF SOUTH JORDAN CITY & CURRENT A.P.M.A. STANDARDS.
- A PRECONSTRUCTION CONFERENCE WILL BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
- ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA.
- EXISTING A.C. PAVEMENT SHALL BE CUT TO A NEAR STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET OR DRIVEWAY CENTERLINE OR AS SHOWN ON PLANS AND THE EXPOSED EDGE SHALL BE BACKED WITH EMULSION PRIOR TO PAVING AS PER SOUTH JORDAN CITY SPECIFICATIONS.
- ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS OF THE SPECIFICATIONS AT THE REQUEST OF THE AGENCY AND/OR THE ENGINEER.
- THE LOCATIONS OF EXISTING UNDERGROUND OR OVERHEAD UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION & ELEVATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND OR OVERHEAD UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL BLUE STAKES PRIOR TO ANY CONSTRUCTIONS.
- ALL CONTRACTORS WORKING WITHIN THE PUBLIC ROAD RIGHT-OF-WAY ARE REQUIRED TO SECURE A ENCROACHMENT PERMIT FROM SOUTH JORDAN CITY AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION.
- ALL COSTS OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTOR'S ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- THE FOUNDATION INVESTIGATION AND ALL ADDENDUM FOR JORDAN STATION APARTMENTS, SOUTH JORDAN, UTAH AND THE RECOMMENDATION THEREON ARE TO BE CONSIDERED A PART OF THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR INCLUDING THE RECOMMENDATION IN CASE REPORT AND ADDENDUM INTO HIS/HER BO. REFER TO CMT ENGINEERING'S JOB #1341 FOR FURTHER INFORMATION.
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE AND BELOW GROUND, AS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THIS SHALL INCLUDE CLEARING AND GRADING WHICH CONSIST OF CLEARING THE GROUND SURFACE OF ALL TREES, STUMPS, BRUSH, UNDERGROUND, HEDGES, HEAVY GROWTH OF GRASS OR WEEDS, FENCES, STRUCTURES, DEBRIS, RUBBISH, AND SUCH MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS UNSUITABLE FOR THE FOUNDATION OF PAVEMENTS. ALL MATERIAL NOT SUITABLE FOR FUTURE USE ON SITE SHALL BE DISPOSED OF OFF SITE.
- ALL ROADWAYS, CULINARY WATER, STORM DRAIN IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT SPECIFICATIONS, ORDINANCES & REQUIREMENTS OF SOUTH JORDAN CITY AND CURRENT EDITION OF THE A.P.M.A.



### COUNTY BENCHMARK & ELEVATION

Center of Section Street Reference  
 Monument Section 13  
 Township 3 South, Range 1 West  
 S.L.B. & M.  
 N 2247166.625 (Meters)  
 E 466056.566 (Meters)  
 Elev. 4377.65 (Ft)

### DEVELOPER

S.J. UTAH L.L.C.

### SHEET INDEX

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### PROJECT DATA

TOTAL PROJECT AREA	507,904 sf = 11.65 ac
TOTAL SITE AREA	224,731 sf = 5.16 ac
TOTAL BUILDING AREA	81,200 sf
OTHER IMPERVIOUS AREA	95,000 sf
TOTAL LANDSCAPE AREA	48,531 sf
REMAINING FUTURE AREA	283,173 sf = 6.50 ac

\*\*SEE ARCHITECTURAL PLANS FOR  
 LANDSCAPE AND IRRIGATION\*\*

### NOTES TO CONTRACTOR:

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL, CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.  
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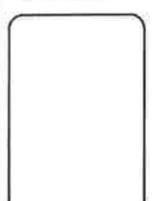
SCALE: 1"=40'-0" ON 30X42 SHEET

AUG 29, 2011

Approved On: \_\_\_\_\_ Day of \_\_\_\_\_, 2011  
 Kyle M. Spencer  
 City Engineer

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REVISIONS	BY



NEW RESIDENTIAL DEVELOPMENT  
 JORDAN STATION APARTMENTS  
 10464 SOUTH JORDAN GATEWAY

1040 E. 800 N.  
 OREM, UTAH 84097  
 (801) 802-8992

**Northern ENGINEERING INC**  
 ENGINEERING-LAND PLANNING  
 CONSTRUCTION MANAGEMENT

DRAWN	
OFFICE	
CHECKED	
MCR	
DATE	08/02/14
SCALE	
JOB NO.	13-49
SHEET	
COVER SHEET	
CS.0	

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South Jordan City General Notes

- 1. All work done or improvements installed within South Jordan City including but not limited to excavation, construction, roadwork and utilities shall conform to the South Jordan City Construction Standards and Specifications, City Municipal Code and the latest edition of the APWA Manual of Standard Specifications and Manual of Standard Plans, and any state or federal regulations and permit requirements of various governing bodies.
2. The existence and location of any overhead or underground utility lines, pipes, or structures shown on these plans are obtained by a research of the available records.
3. The contractor shall be responsible for the protection of utilities and the engineer bears no responsibility and overhead interference, which may affect his operation during construction and shall take all necessary precautions to avoid damage to same.
4. All construction shall be as shown on these plans, any revisions shall have the prior written approval of the City Engineer.
5. Permits are required for any work in the public way. The Contractor shall secure all permits and inspections required for this construction.
6. Curb, gutter, and sidewalk, found to be unacceptable per City Standards and APWA shall be removed and replaced.
7. Contractor shall provide all necessary horizontal and vertical transitions between new construction and existing surfaces to provide for proper drainage and for ingress and egress to new construction.
8. Any survey monuments disturbed shall be replaced and adjusted per Salt Lake County Surveyors requirements.
9. All privacy walls, new or existing, are only shown on civil plans for the purpose of reviewing grading relationships; flood control and sight distance at intersections.
10. All construction materials per APWA must be submitted and approved by the City Engineer prior to the placement of asphalt within City Right of Way.
11. Request for inspection by the City of South Jordan engineering dept. shall be made by the contractor at least 48 hours before the inspection services will be required.
12. Work in public way, once begun, shall be prosecuted to completion without delay as to provide minimum inconvenience to adjacent property owners and to the traveling public.
13. The contractor shall take all necessary and proper precautions to protect adjacent properties from any and all damage that may occur from storm water runoff and/or deposition of debris resulting from any and all work in connection with construction.
14. Power poles and/or other existing facilities not in proper location based on proposed improvements shown hereon will be relocated at no expense to the City of South Jordan.
15. Curb and gutter with a grade of less than four-tenths of one percent shall be constructed by forming. Each joint shall be checked for a grade prior to construction and water tested as soon as possible after construction.
16. Contractor to follow Salt Lake County Noise Ordinance Standards.
17. Contractors are responsible for all OSHA requirements on the project site.
18. Trench backfill material under pavements or surface improvements shall be clean, non-clumping, granular and flowable (2" minus A1-A4 soils are acceptable according to AASHTO 145 soil Classification System).
19. A UPDES (Utah Pollutant Discharge Elimination System) permit is required for all construction activities as per state law as well as providing a Storm Water Pollution Prevention Plan to the City.
20. Developer is responsible for locating and repairing all underground streetlight wires, water lines, storm drain lines and irrigation lines until 90% of the bond has been released.
21. All City maintained utilities including: waterline, fire hydrants, streetlight wiring, and storm drain must be in public right of way or in recorded easements.
22. Contractor shall work South Jordan City regular working hours of Monday through Friday. If contractor permits overtime work or work on a Saturday, Sunday or any legal holiday, Contractor shall receive prior approval by City Engineer.
23. Prior to 90% bond release, a legible as-built drawing must be submitted to the City of South Jordan stamped and signed by a professional engineer.
24. Filter fabric wrapped around an inlet grate is not an acceptable inlet sediment barrier.
25. Asphalt paving between October 15 and March 15 is not allowed without a written exception from the Engineering Department.

City of South Jordan Traffic Notes

- 1. When a designated "Safe Route To School" is encroached upon by a construction work zone the safe route shall be maintained in a manner acceptable to South Jordan City and the Jordan School District.
2. If the improvements necessitate the obliteration, temporary obstruction, temporary removal or relocation of any existing traffic pavement marking, such pavement marking shall be restored or replaced with like materials to the satisfaction of the City Engineer, Public Works Director or designee.
3. The street sign contractor shall obtain street names and block numbering from the Planning Department prior to construction.
4. The contractor shall be responsible for providing and installing all permanent signs shown on the plans.
5. All permanent traffic control devices called for hereon shall be in place and in final position prior to allowing any public traffic onto the portions of the road(s) being improved hereunder.
6. The contractor shall be responsible for notifying Utah Transit Authority (UTA) if the construction interrupts or relocates a bus stop or has an adverse effect on bus service on that street to arrange for temporary relocation of stop.
7. Before any work is started in the right-of-way, the contractor shall install all advance warning signs for the construction zone.
8. All signs larger than 36" x 36" or 1236 square inches per sign pole shall be mounted on a Sign Base system per IUDOT standard drawing SN 108.
9. Sign components such as sheeting, EC film, inks, letters and borders are all required to be from the same manufacturer.
10. All new roundabouts, crosswalks, stop bars and legends shall be installed with 90 mil perforated thermo plastic.
11. Paving asphalt binder grade shall be PG 64-22 unless otherwise approved by the City Engineer.

City of South Jordan Street Light Notes

- 1. All work shall be installed in accordance with the most current South Jordan City Standards and N.E.C. (National Electric Code).
2. Location of the Street light pole.
a. Shall not be installed within 5 feet of a fire hydrant.
b. Shall be a minimum of 5 feet from any tree, unless written approval is received from the City Engineer.
c. Shall not be installed within 5 feet from the edge of any driveway.
3. Anti-seize lubricant shall be used on all cover bolts and ground box bolts.
4. Any structure such as block wall, chain link fences, retaining walls, etc. shall have a minimum of eighteen (18) inches to the face of the street light pole on all sides.
5. All service point(s) shall be coordinated with Rocky Mountain Power and whenever possible be located near the center of the circuit.
6. It shall be required that in the absence of an existing workable circuit to attach to, that all installations shall require a new service for operation of the circuits.
7. Wherever there is an overhead utility that may conflict with the installation of the street light circuits and/or streetlight poles, those conflicts must be resolved between the developer and the utilities involved before the street light bases are constructed.
8. The contractor shall furnish a complete service to the transformers and control systems if required on the plans and/or is deemed necessary by Rocky Mountain Power and/or South Jordan City.
10. A street light plan showing wiring location, wiring type, voltage, power source location, conduit size and location shall be submitted to the City of South Jordan and be approved prior to construction.

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- 11. The contractor shall be required to perform a 10 day burn test of the street lights after they are connected and energized by Rocky Mountain Power.
12. Each streetlight pole shall have its own photo cell independent of a master control. On double head fixtures a single photo cell shall be installed on the north most facing head and be wired to energize both heads.

City of South Jordan Grading Notes

- 1. In the event that any unforeseen conditions not covered by these notes are encountered during grading operations, the Owner and City Engineer shall be immediately notified for direction.
2. It shall be the responsibility of the Contractor to perform all necessary cuts and fills within the limits of this project and the related off-site work, so as to generate the desired subgrade, finish grades and slopes shown.
3. Contractor shall take full responsibility for all excavation. Adequate shoring shall be designed and provided by the Contractor to prevent undermining of any adjacent features or facilities and/or caving of the excavation.
4. The Contractor warrants that an earthwork balance was not necessarily the intent of this project. Any additional material required or leftover material following earthwork operations becomes the responsibility of the Contractor.
5. Contractor shall grade to the lines and elevations shown on the plans within the following horizontal and vertical tolerances and degrees of compaction, in the areas indicated:
Horizontal Vertical Compaction
a. Pavement Area Subgrade 0.1' +0.0' to -0.1' See Soils Report
b. Engineered Fill 0.5' +0.1' to -0.1' See Soils Report
Compaction Testing will be performed by the developer or his representative.
1. All cut and fill slopes shall be protected until effective erosion control has been established.
2. The use of potable water without a special permit for building or construction purposes including consolidation of backfill or dust control is prohibited.
3. The Contractor shall maintain the streets, sidewalks and all other public right-of-way in a clean, safe and usable condition.
4. In the event that any temporary construction item is required that is not shown on these drawings, the Developer agrees to provide and install such item at his own expense and at the direction of the City Engineer.
10. All grading work shall conform to the soils report as prepared by the Soils Engineer and approved by the City Engineer, and as shown on these plans.

City of South Jordan Fire Department Notes

- 1. On any new home or building installation, accessible fire hydrants shall be installed before combustible construction commences and said fire hydrants shall be in good working order with an adequate water supply.
2. Contractor shall call the Public Works Department and Engineering Inspector for underground inspection, pressure and flush verification of all fire hydrants and fire lines before back filling.
3. Painting of the curbs and hydrant and any work necessary for protection of hydrants from physical damage shall be approved before being constructed.
4. A flow test must be witnessed by the Fire Department prior to occupancy for verification of required on-site water supply.
5. All on-site fire main materials must be U.L. listed and A.W.W.A. approved.
6. The turning radius for any fire apparatus access road and/or fire lane, public or private, shall be not less than forty-five feet (45') outside radius and twenty-two feet (22') inside radius and shall be paved.
7. A fire apparatus road shall be required when any portion of an exterior wall of the first story is located more than one-hundred fifty feet (150') from Fire Department vehicle access roads and/or fire lanes, public or private, in excess of one-hundred fifty feet (150') in length shall be provided with an approved turn around area.
8. Access roads shall be marked by placing approved signs at the start of the designated fire lane, one sign at the end of the fire lane and width signs at intervals of one-hundred feet (100') along all designated fire lanes.
9. Electrically controlled access gates shall be provided with an approved emergency vehicle detector/receiver system.
10. All underground fire lines that service automatic fire sprinkler systems shall be no smaller than six (6) inches in diameter.
11. Post indicator Valves (PIV) shall be between 6 and 40 feet from buildings not exceeding three stories or equivalent in height and between 30 and 40 feet on buildings in excess of three or more stories in height or equivalent.
12. Roads and accesses shall be designed and maintained to support the imposed loads of fire apparatus. Surface shall be paved before the application of combustible material.

South Jordan City Water Notes

- 1. The following South Jordan City Water Notes are intended for general water standards only and are not all inclusive.
2. No work shall begin until the water plans have been released for construction by the Engineering Department.
3. 3:00 P.M. the business day prior to an inspection.
4. For Residential Developments - The developer shall purchase and install meter boxes and setters according to City Standards on newly developed lots and real property at the time of water main installation.
5. South Jordan Public Works Department must approve water shut down which may require evening and weekend shut down as deemed necessary.
6. Water stub-out installations will not be construed as a commitment for water service.
7. Conditional Approval of Valved Outlet (6" and Larger): In the event the water plans show one or more valved outlets extending out of paved areas, installations of these outlets is acceptable, however, if the outlets are incorrectly located or not used for any reason when the property is developed, the developer shall abandon the outlets at the connection to the active main in accordance with the city standards and at the developer's expense.
10. All lines to be pressure tested according to South Jordan City and AWWA standards and chlorinated prior to use and final acceptance.
11. All fittings to be coated with poly (m grease and wrapped with 8-mil thick polyethylene.
12. No other utility lines may be placed in the same trench with water line unless approved by the City Engineer.
13. Any conflict with existing utilities shall be immediately called to the attention of the City Engineer or designee.
14. All water vaults will be constructed per City of South Jordan standard drawings and specifications.
15. Landscaping and irrigation adjacent to vaults shall drain away from vaults.
16. Once the waterline has been tested, approved and city water is flowing through the pipe, only City personnel are authorized to shut down and charge the waterline.
17. Megalug following ring or an approved equivalent shall be used on all fittings.
18. APWA plan 562, City requires stainless steel tie-down restraints with turnbuckles only. 5/8" rebar is not acceptable. Megalug followers required on all fittings and all dimensions of thrust blocking still apply.

SEWER

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST SOUTH VALLEY SEWER DISTRICT DESIGN STANDARDS & CONSTRUCTION SPECIFICATIONS AND STANDARD DRAWINGS.
2. FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION WILL BE BY THE SOUTH VALLEY SEWER DISTRICT.
3. MANHOLES SHALL BE CONSTRUCTED AS PER SOUTH VALLEY SEWER DISTRICT.
4. SEWER PIPE WITH COVER OF GREATER THAN 4 FEET , SHALL BE BELL AND SPIGOT, POLYVINYL CHLORIDE (PVC), SDR 35, ASTM D-3034.
5. SEWER INSPECTIONS WILL BE BY THE SOUTH VALLEY SEWER DISTRICT SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER.
6. STUBOUTS FOR SERVICE LINES SHALL BE MARKED IN ACCORDANCE WITH THE SPECIFICATIONS.
7. PRIOR TO FINAL ACCEPTANCE, AFTER ALL UTILITIES ARE IN AND PRIOR TO PAVING, AN AIR TEST SHALL BE CONDUCTED.
8. ALL MANHOLES SHALL BE CONSTRUCTED SO AS TO BE WATER TIGHT AND WITH THE TOP OF CONE LOCATED WITHIN ONE (1) FOOT OF THE FINISHED GRADE.
9. THE CONTRACTOR SHALL NOTIFY THE DEVELOPER'S ENGINEER AND THE SOUTH VALLEY SEWER DISTRICT A MINIMUM OF 48 HOURS PRIOR TO COMMENCING CONSTRUCTION OF THE SANITARY SEWER.
11. THE HORIZONTAL SEPARATION OF THE WATER AND SEWER MAINS SHALL BE A MINIMUM OF TEN (10) FEET.
12. GROUNDWATER LEVELS SHALL BE MAINTAINED BELOW THE BOTTOM OF THE TRENCH DURING THE PIPE LAYING AND PIPE JOINING OPERATIONS.
13. THE TRENCH BACKFILL ABOVE THE PIPE ZONE SHALL BE INSPECTED BY THE SOUTH VALLEY SEWER DISTRICT.
14. THE CONTRACTOR WILL BE RESPONSIBLE FOR COMPACTION TESTING IN ACCORDANCE WITH THE UTAH PUBLIC WORKS STANDARDS CONSTRUCTION, SOUTH JORDAN AND SOUTH VALLEY SEWER DISTRICT.
15. ALL SEWER TRENCHES SHALL BE BACKFILLED IN ACCORDANCE WITH THE SOUTH VALLEY SEWER DISTRICT SPECIFICATIONS.
16. THE CONTRACTOR SHALL LEAVE THE EXCAVATION FOR THE UPSTREAM END OF ALL SERVICE LINES OPEN FOR FIELD VERIFICATION OF THE INVERT ELEVATION BY THE INSPECTOR.
17. THE CONTRACTOR SHALL PROVIDE SOUTH VALLEY SEWER DISTRICT INSPECTOR WITH "CUT SHEETS" FOR THE STAKING PROVIDED FOR CONSTRUCTION OF THE SANITARY SEWER.
18. THE CONTRACTOR SHALL CONSTRUCT THE SANITARY SEWER IN ACCORDANCE WITH THE STAMPED PLANS APPROVED BY THE SOUTH VALLEY SEWER DISTRICT.
19. ALL CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
20. CONTRACTOR SHALL FIELD VERIFY LOCATION AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY SEWER LINES.
21. FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

ROADWAY/PARKING/STORM DRAIN

- 1. ALL ROADWAYS CONSTRUCTION SHALL MEET THE MINIMUM REQUIREMENTS OF THE SOUTH JORDAN CITY SPECIFICATIONS.
2. WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY NORTHERN ENGINEERING.
3. INSPECTION OF WORK WITHIN THE PUBLIC RIGHT-OF WAY SHALL BE BY SOUTH JORDAN CITY.
4. ALL TOPS OF VALVE BOXES AND SEWER MANHOLES SHALL BE SET 1/4" OR 1/2" BELOW FINAL ASPHALT GRADE WITH THE SLOPE OF THE FINISHED STREET GRADES.
5. ALL COSTS OF TESTING & RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE THE CONTRACTOR RESPONSIBILITY.
6. ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTORS ACCOUNT.
7. ALL STORM DRAINAGE APPURTENANCES SHALL BE INSPECTED AND CERTIFIED BY SOUTH JORDAN CITY.
8. ALL WORK SHALL BE INSPECTED BY THE CITY OF SOUTH JORDAN.
9. ALL MATERIAL PLACED AS FILL OR BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH CURRENT A.P.W.A. STANDARD & SPECIFICATION & SOUTH JORDAN CITY CONSTRUCTION STANDARDS & SPECIFICATIONS.
10. OVER EXCAVATION AND ADDITIONAL GRANULAR BACKFILL MAY BE REQUIRED IN HIGH GROUNDWATER AREAS WHICH ARE TO BE DETERMINED BY SOUTH JORDAN CITY.

Table with columns REVISIONS and BY, containing a grid for tracking changes.

NEW RESIDENTIAL DEVELOPMENT
JORDAN STATION APARTMENTS
10464 SOUTH JORDAN GATEWAY

10464 E. 800 N.
OREM, UTAH 84097
(801) 402-8992

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Northern Engineering Inc. logo and contact information.

GENERAL NOTES CS.01 SHEETS



City Engineer Approved this 11th day of September, 2014.
City Engineer

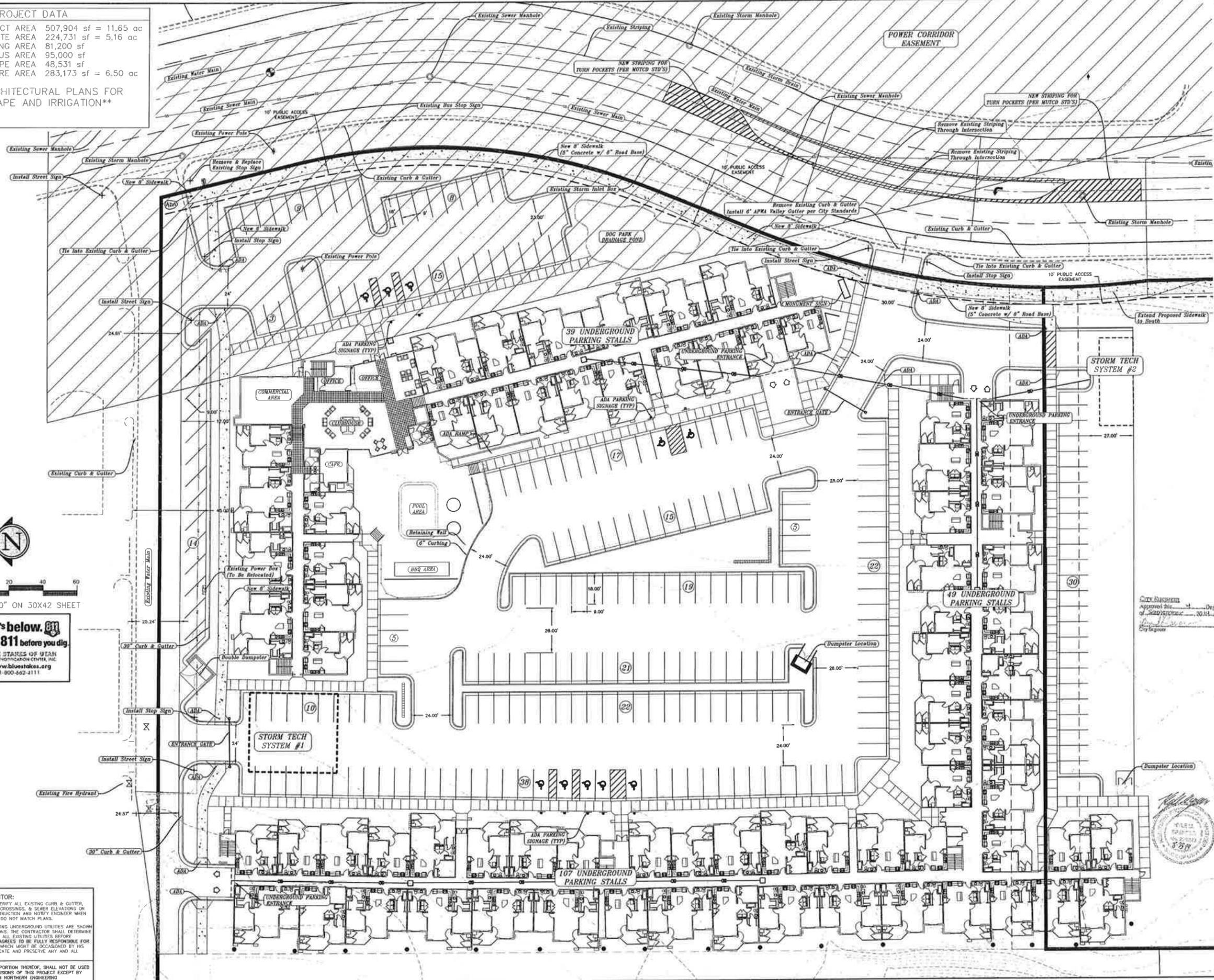
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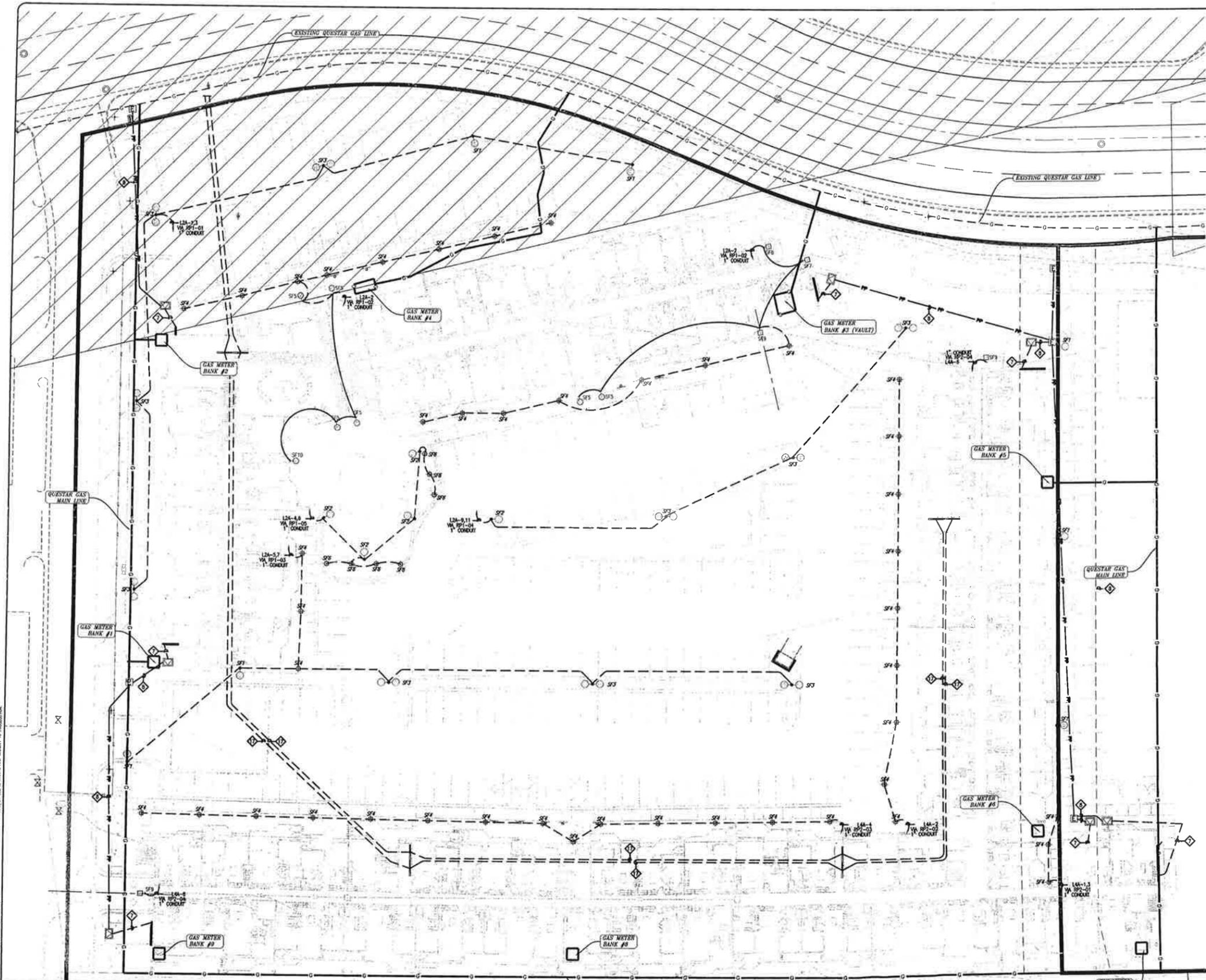
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 10464 SOUTH JORDAN GATEWAY

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 OREM, UT 84057  
 (801) 802-0952

**Northern ENGINEERING INC.**  
 ENGINEERING-LAND PLANNING  
 CONSTRUCTION MANAGEMENT

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CHECKED	MCR
DATE	06/02/14
SCALE	AS SHOWN
JOB NO.	13-19
SHEET	13 OF 14
SITE PLAN	
CS.2	





**GENERAL NOTES:**

1. ELECTRICAL CONTRACTOR TO REFER TO THE CIVIL ENGINEER'S DRAWING AND COORDINATE ELECTRICAL INSTALLATION WITH ALL UTILITIES.
2. ELECTRICAL CONTRACTOR TO VERIFY ALL THE UTILITY COMPANY SERVICE (POWER, TELEPHONE, ETC.) TERMINATION POINTS DURING THE BIDDING PROCESS. PROVIDE CONDUIT AS REQUIRED TO THE BUILDING TO ACCOMMODATE ALL UTILITY COMPANY SERVICES. REPORT ANY CONFLICTING CONDITIONS TO THE ARCHITECT.
3. SITE ELECTRICAL POWER PLAN IS CONCEPTUAL. PLAN SHOULD BE SUBMITTED TO LOGAN CITY POWER FOR APPROVAL PRIOR TO ROUGH-IN, TRENCHING, AND INSTALLATION OF ELECTRICAL EQUIPMENT.

**KEYED NOTES:**

- 1 NEW TRANSFORMER VAULT. PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. VAULT MUST MEET CURRENT POWER COMPANY SPECIFICATIONS. INSTALLATION MUST BE AS PER CURRENT POWER COMPANY STANDARDS. FIELD VERIFY THE LOCATION WITH THE POWER COMPANY PRIOR TO ROUGH-IN.
- 2 METER BANK 'MB1', SEE ONE LINE DIAGRAM.
- 3 METER BANK 'MB2', SEE ONE LINE DIAGRAM.
- 4 METER BANK 'MB3', SEE ONE LINE DIAGRAM.
- 5 METER BANK 'MB4', SEE ONE LINE DIAGRAM.
- 6 METER BANK 'MB5', SEE ONE LINE DIAGRAM.
- 7 TRANSFORMER SECONDARY CONDUIT, SEE ONE LINE DIAGRAM.
- 8 (1)-4" PRIMARY CONDUIT PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. MINIMUM DEPTH 48". PRIMARY CONDUCTORS PROVIDED AND INSTALLED BY POWER COMPANY. PROVIDE ALL TRENCHING AND BACKFILL.
- 9 MAIN TELEPHONE CABINET BUILDING 2 LEVEL 2 COMMUNICATIONS ROOM. SEE COMMUNICATIONS RISER DIAGRAM. ELECTRICAL CONTRACTOR PROVIDE FOR MINIMUM OF 300'-0" OF CONDUIT IN THE BID FROM THE CABINET TO THE UTILITY COMPANY TERMINATION POINT. FIELD VERIFY THE TERMINATION POINT PRIOR TO ROUGH-IN.
- 10 MAIN CABLE TELEVISION CABINET BUILDING 2 LEVEL 2 COMMUNICATIONS ROOM. SEE COMMUNICATIONS RISER DIAGRAM. ELECTRICAL CONTRACTOR TO PROVIDE FOR MINIMUM OF 300'-0" OF CONDUIT IN THE BID FROM THE CABINET TO THE UTILITY COMPANY TERMINATION POINT. FIELD VERIFY THE TERMINATION POINT PRIOR TO ROUGH-IN.
- 11 EXISTING LOCATION FOR POWER COMPANY GROUND SLEEVE. COORDINATE PROJECT FEED POINT WITH THE POWER COMPANY.
- 12 PROPOSED LOCATION FOR NEW POWER COMPANY GROUND SLEEVE.
- 13 METER/MAIN BREAKER 'COMMON AREA' BUILDING 1&2 SEE ONE LINE DIAGRAM.
- 14 METER/MAIN BREAKER 'RETAIL SPACE' BUILDING 1&2 SEE ONE LINE DIAGRAM.
- 15 METER/MAIN BREAKER 'COMMON AREA' BUILDING 3,4&5 SEE ONE LINE DIAGRAM.
- 16 SATELLITE TELEPHONE AND CABLE TELEVISION COMMUNICATIONS ROOMS, LOCATED ON SECOND FLOORS OF BUILDINGS 3,4 & 5. SEE COMMUNICATIONS RISER DIAGRAM.
- 17 PROVIDE INTERCONNECTING CONDUITS FROM MAIN COMMUNICATIONS ROOM BLDG 1&2 TO SATELLITE COMMUNICATIONS ROOMS BLDGS 3,4&5. PROVIDE NECESSARY PULL BOXES AT INTERVALS FOR DISTANCE PULLING REQUIREMENTS OF FIBER CABLE.

CONTRACTOR TO VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.  
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**NOTES TO CONTRACTOR:**  
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Date Received: 4 Day  
 Approved By: [Signature]  
 City Engineer: [Signature]



SCALE: 1"=20'-0" ON 30X42 SHEET



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 JORDAN STATION APARTMENTS  
 10464 SOUTH JORDAN GATEWAY

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 OREM, UTAH 84057  
 (801) 602-8892  
**Northern Engineering Inc.**  
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 CONSTRUCTION MANAGEMENT

DRAWN BY: [Blank]  
 CHECKED BY: [Blank]  
 MCR: [Blank]  
 DATE: 06/02/14  
 SCALE: [Blank]  
 JOB NO: 13-49  
 SHEET: [Blank]  
 DRY UTILITY PLAN  
 CS.3A

SHEETS

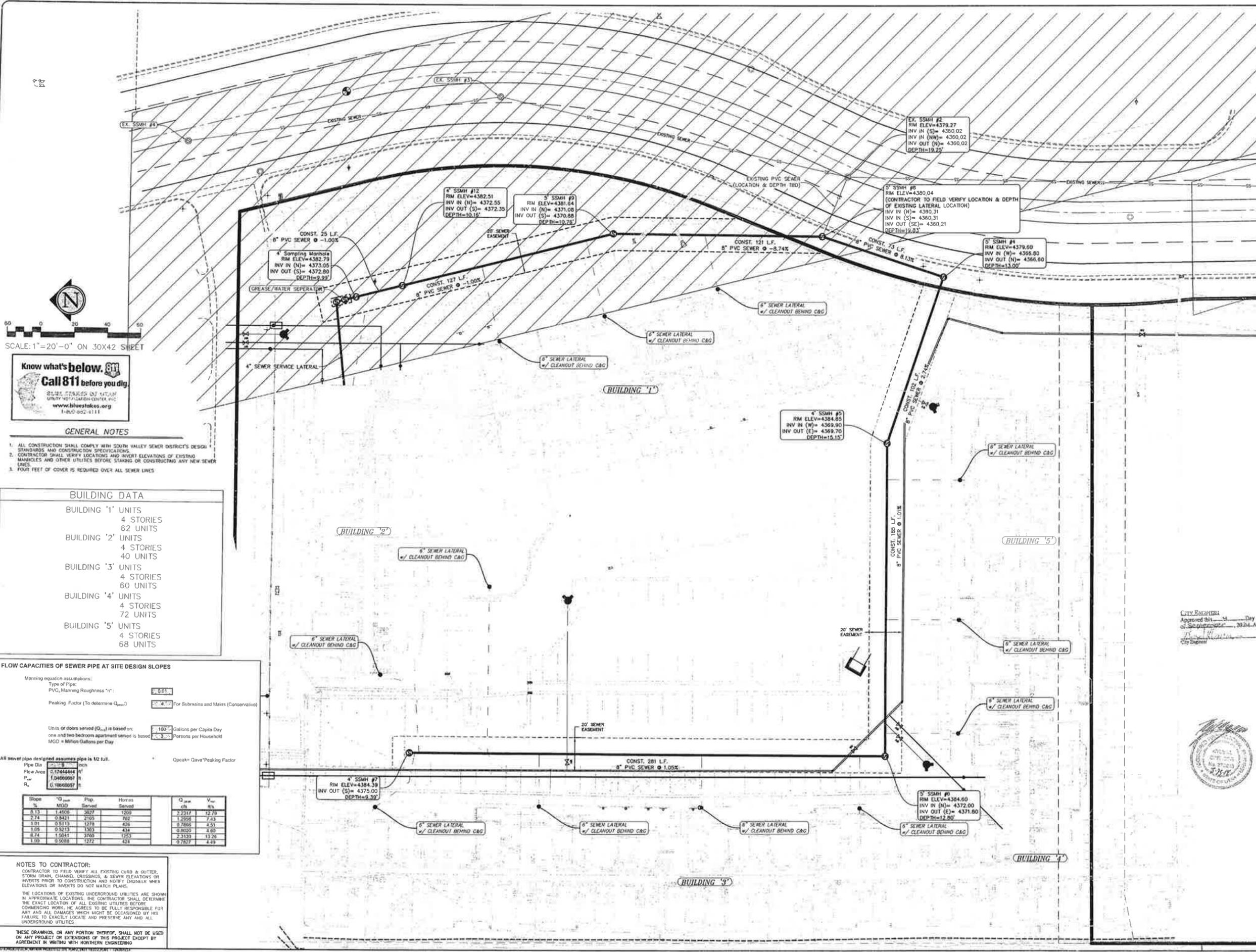
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 OREM, UTAH 84097  
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SEWER PLAN  
 CS.4



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**GENERAL NOTES**

- ALL CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
- FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

**BUILDING DATA**

- BUILDING '1' UNITS: 4 STORIES, 62 UNITS
- BUILDING '2' UNITS: 4 STORIES, 40 UNITS
- BUILDING '3' UNITS: 4 STORIES, 60 UNITS
- BUILDING '4' UNITS: 4 STORIES, 72 UNITS
- BUILDING '5' UNITS: 4 STORIES, 68 UNITS

**FLOW CAPACITIES OF SEWER PIPE AT SITE DESIGN SLOPES**

Manning equation assumptions:  
 Type of Pipe: PVC, Manning Roughness "n": 0.013  
 Peaking Factor (To determine Q<sub>max</sub>): 4.0 For Submains and Mains (Conservative)  
 Units for doors served (Q<sub>max</sub>) is based on: 100 Gallons per Capita Day  
 one and two bedroom apartment served is based on: 3.3 Persons per Household  
 MGD = Million Gallons per Day

All sewer pipe designated assumes pipe is 1/2 full. Open: Gave/Peaking Factor

Slope %	Q <sub>max</sub> MGD	Pop. Served	Horas Served	Q <sub>max</sub> cfs	V <sub>max</sub> ft/s
0.13	1.408	267	1209	2.2317	12.79
2.74	0.821	2105	702	1.2566	7.83
1.31	0.5113	1278	426	0.7866	4.51
1.05	0.5215	1303	434	0.8020	4.60
8.44	1.641	3760	1253	2.3139	12.79
1.00	0.5088	1272	431	0.7827	4.49

**NOTES TO CONTRACTOR:**

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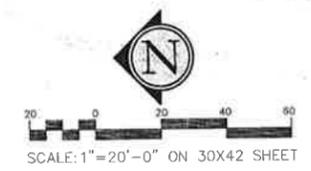
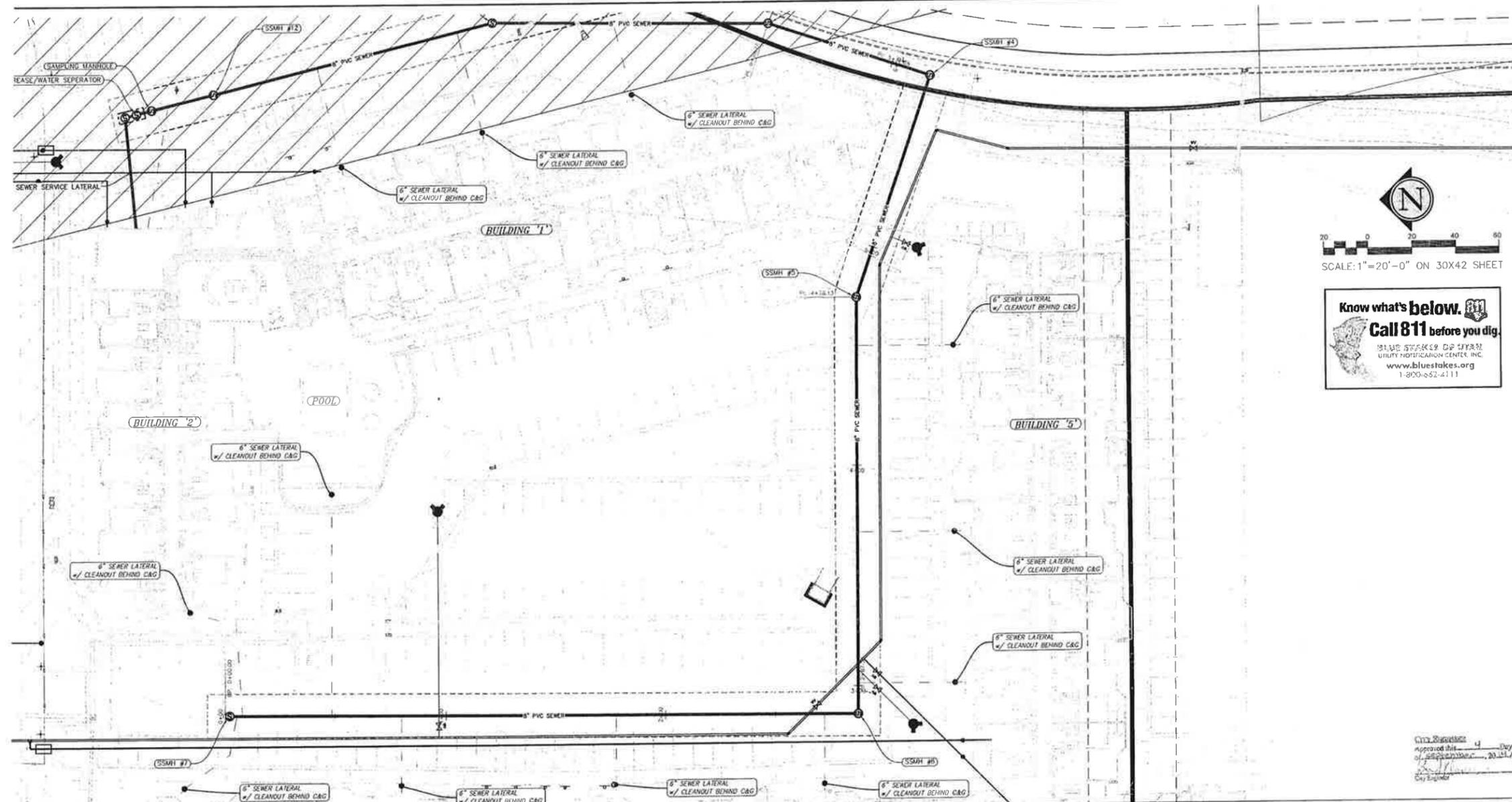
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CITY ENGINEER  
 Approved this \_\_\_\_\_ Day  
 of September, 2014, A.D.  
 \_\_\_\_\_  
 City Engineer



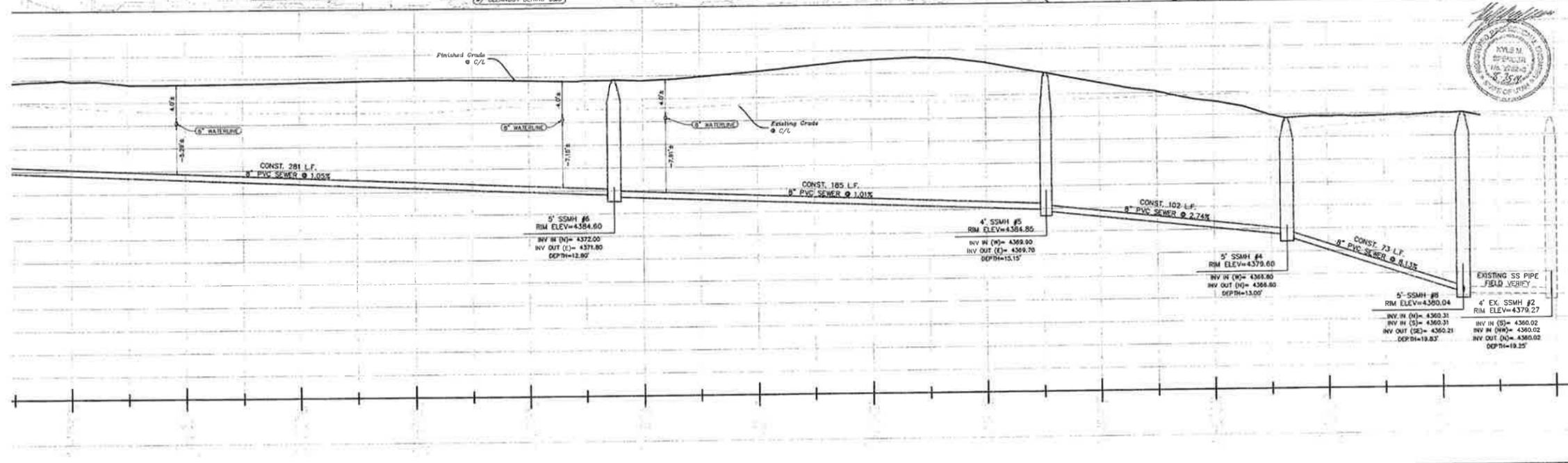
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 10464 SOUTH JORDAN GATEWAY

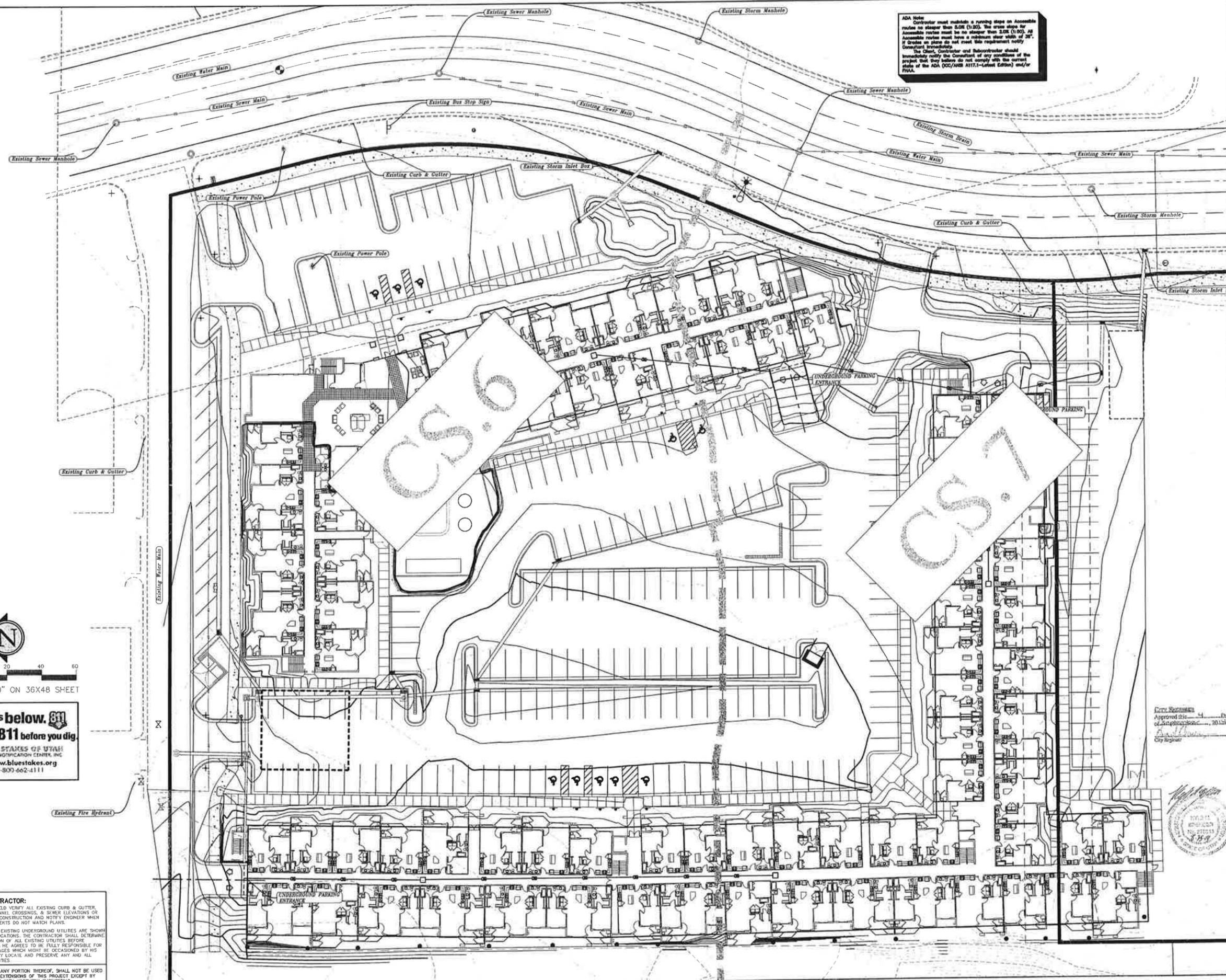
10464 E. 800 N.  
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**Northern**  
**ENGINEERING INC**  
 PROJECT MANAGEMENT  
 CONSTRUCTION MANAGEMENT

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13-49	
SHEET	
SEWER PLAN & PROFILE	
CS.4B	
OF	
SHEETS	

REVISIONS	BY

**ADA Note:**  
 Contractor must maintain a running slope on Accessible routes no steeper than 5:81 (1:20). The cross slope for Accessible routes must be no steeper than 2:51 (1:25). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement, notify Consultant immediately.  
 The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA (504/ADA 11717-1 Latest Edition) and/or FAAA.



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 DATE: 05/02/14  
 SCALE: [ ]  
 JOB NO: 13-49  
 SHEET: [ ]

OVERALL GRADING PLAN  
 CS.5  
 OF [ ] SHEETS

City Engineer  
 Approved this [ ] Day  
 of September, 2013. A.D.  
 [Signature]  
 City Engineer



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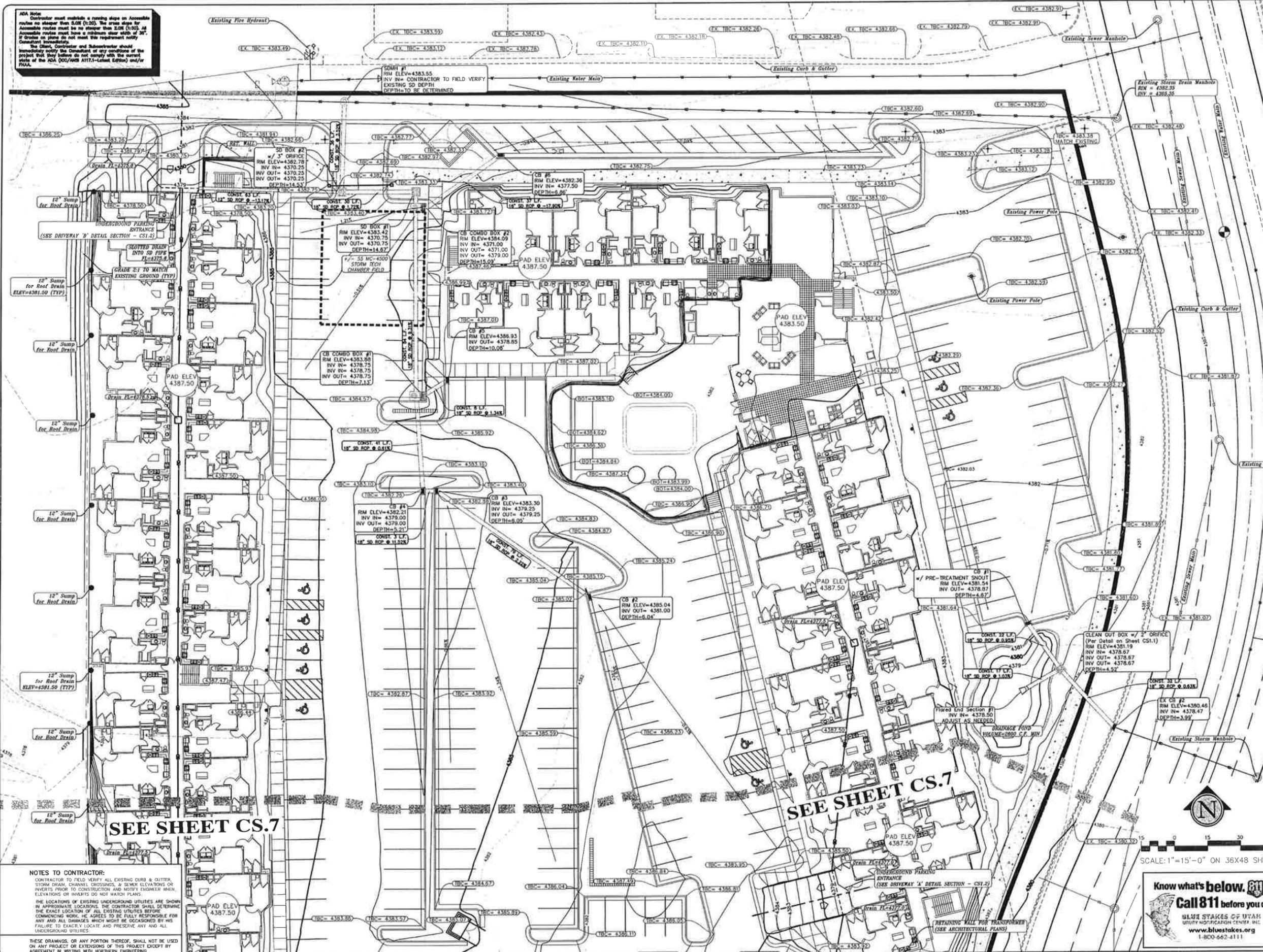
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**SEE SHEET CS.7**

**SEE SHEET CS.7**

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REVISIONS	BY

State of Utah  
 Department of Construction  
 City Engineer  
 Approved by: \_\_\_\_\_  
 Date: \_\_\_\_\_

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**GRADING PLAN**  
 CS.6

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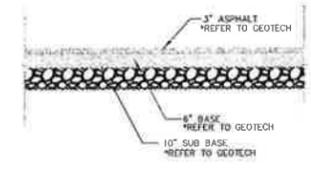
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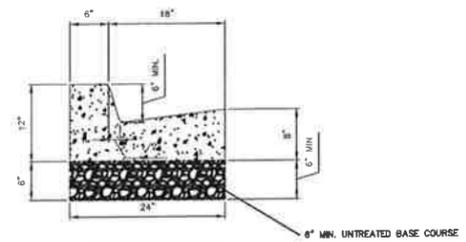
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 SCALE: [ ]  
 SHEET NO.: 13-49  
 SHEET: [ ]  
 TYPICAL DETAILS  
**CS1.1**

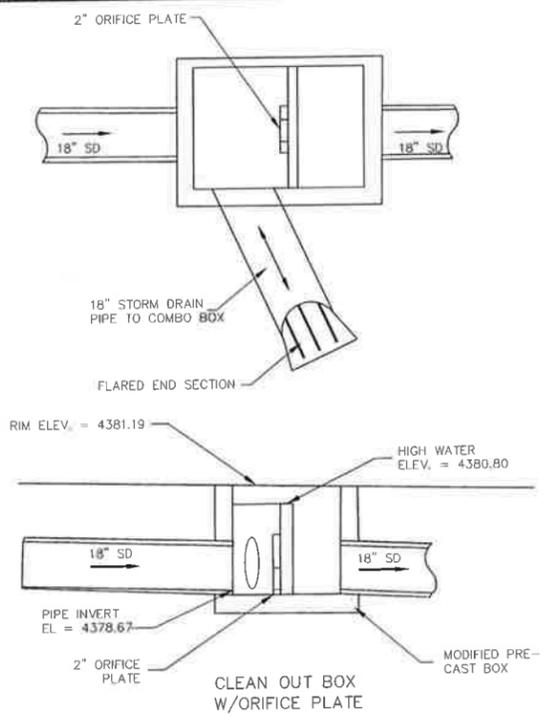
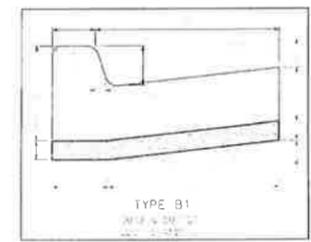
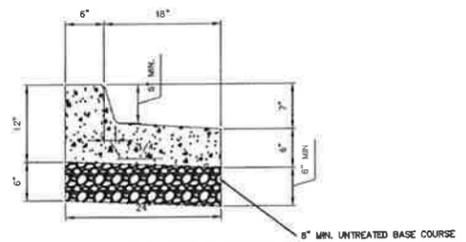
**-TYPICAL ASPHALT PAVEMENT SECTION-**  
 -NTS-



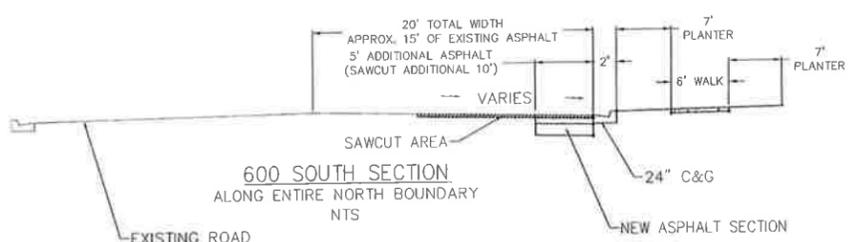
**24" CURB & GUTTER**  
 -NTS-



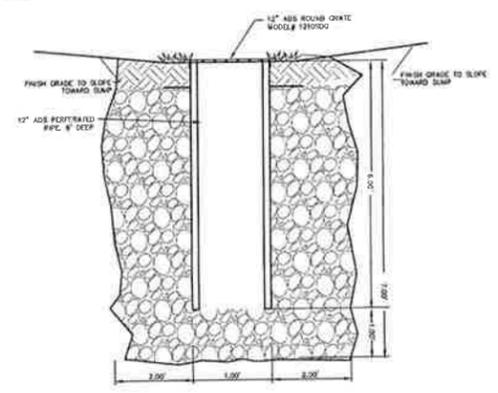
**REVERSE LIP CURB & GUTTER**  
 -NTS-



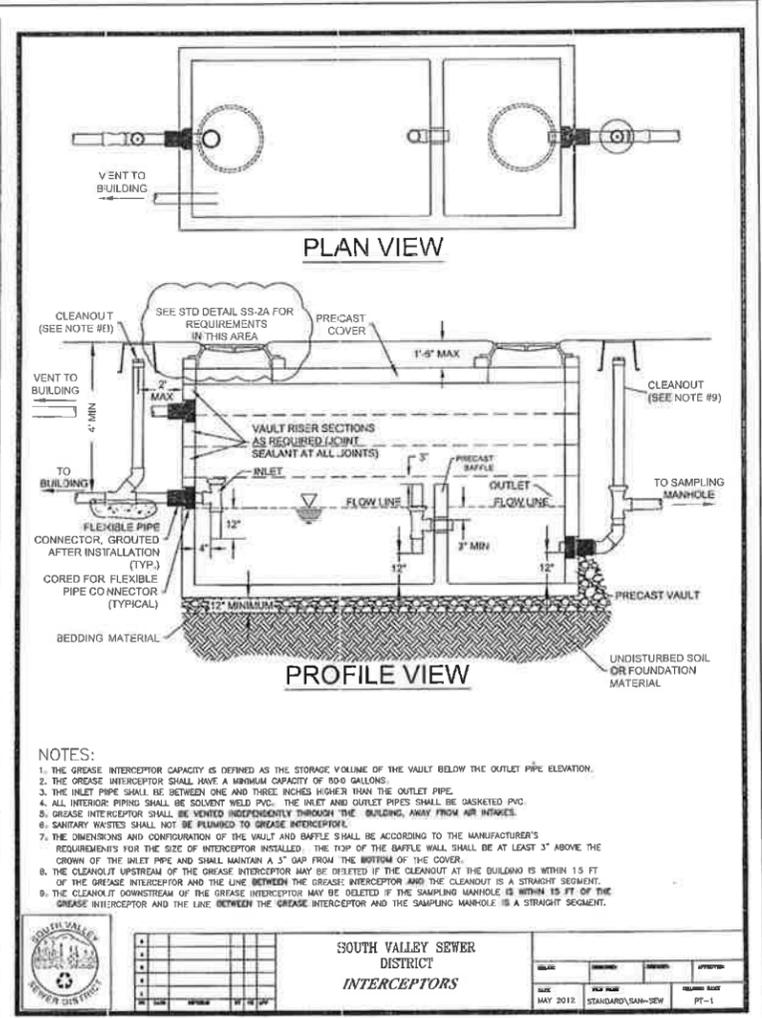
**CLEAN OUT BOX W/ORIFICE PLATE**



**600 SOUTH SECTION**  
 ALONG ENTIRE NORTH BOUNDARY



**5' LAND SUMP**

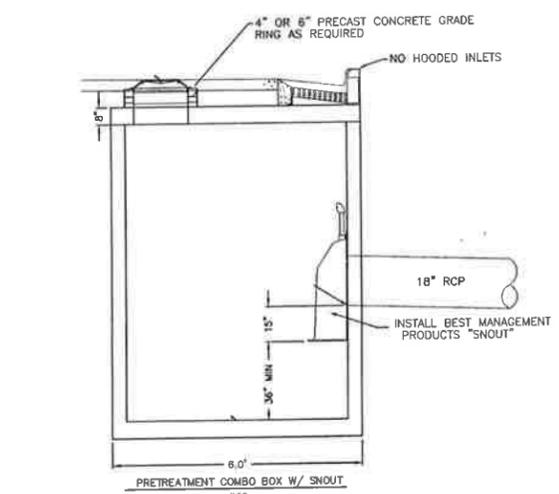


**PLAN VIEW**

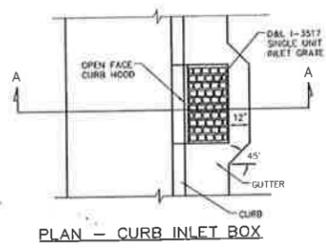
**PROFILE VIEW**

- NOTES:**
1. THE GREASE INTERCEPTOR CAPACITY IS DEFINED AS THE STORAGE VOLUME OF THE VAULT BELOW THE OUTLET PIPE ELEVATION.
  2. THE GREASE INTERCEPTOR SHALL HAVE A MINIMUM CAPACITY OF 600 GALLONS.
  3. THE INLET PIPE SHALL BE SEVEN ONE AND THREE EIGHTS INCHES HIGHER THAN THE OUTLET PIPE.
  4. ALL INTERIOR PIPING SHALL BE SOLVENT WELD PVC. THE INLET AND OUTLET PIPES SHALL BE DASKETED PVC.
  5. GREASE INTERCEPTOR SHALL BE VENTED INDEPENDENTLY THROUGH THE BUILDING, AWAY FROM AIR INTAKES.
  6. SANITARY WASTES SHALL NOT BE PLUMBED TO GREASE INTERCEPTOR.
  7. THE DIMENSIONS AND CONFIGURATION OF THE VAULT AND BAFFLE SHALL BE ACCORDING TO THE MANUFACTURER'S REQUIREMENTS FOR THE SIZE OF INTERCEPTOR INSTALLED. THE TOP OF THE BAFFLE WALL SHALL BE AT LEAST 3" ABOVE THE CROWN OF THE INLET PIPE AND SHALL MAINTAIN A 3" GAP FROM THE BOTTOM OF THE COVER.
  8. THE CLEANOUT UPSTREAM OF THE GREASE INTERCEPTOR MAY BE DELETED IF THE CLEANOUT AT THE BUILDING IS WITHIN 15 FT OF THE GREASE INTERCEPTOR AND THE LINE BETWEEN THE GREASE INTERCEPTOR AND THE CLEANOUT IS A STRAIGHT SEGMENT.
  9. THE CLEANOUT DOWNSTREAM OF THE GREASE INTERCEPTOR MAY BE DELETED IF THE SAMPLING MANHOLE IS WITHIN 15 FT OF THE GREASE INTERCEPTOR AND THE LINE BETWEEN THE GREASE INTERCEPTOR AND THE SAMPLING MANHOLE IS A STRAIGHT SEGMENT.

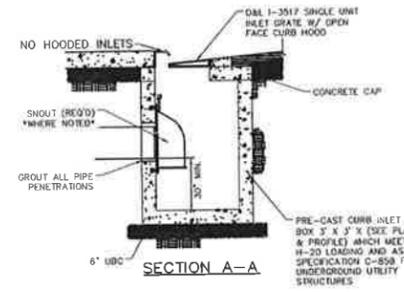
**SOUTH VALLEY SEWER DISTRICT INTERCEPTORS**



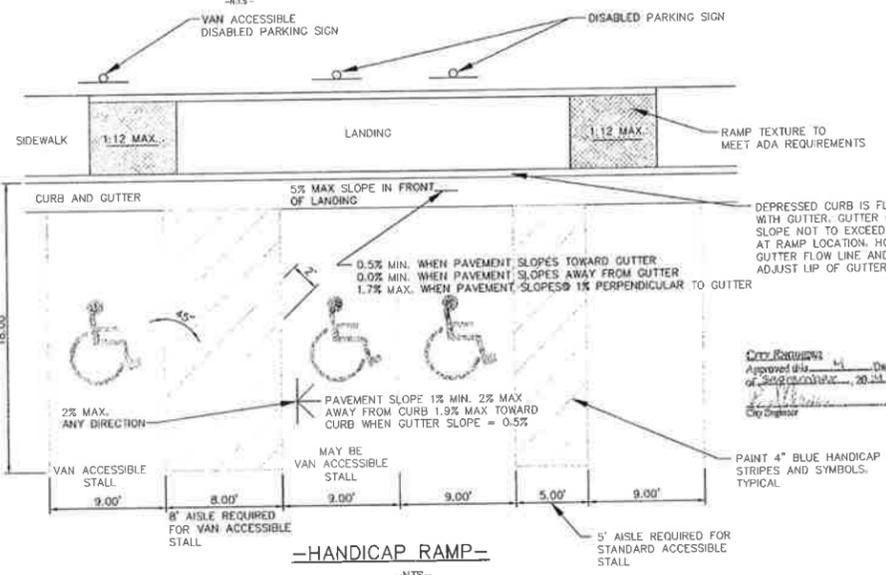
**PRETREATMENT COMBO BOX W/ SNOOT**



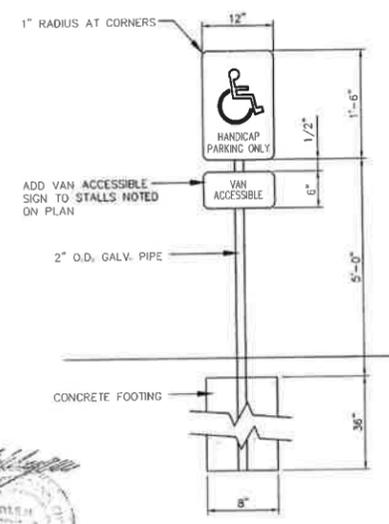
**PLAN - CURB INLET BOX**



**SECTION A-A**



**-HANDICAP RAMP-**  
 -NTS-



**-DISABLED PARKING SIGN-**  
 -NTS-

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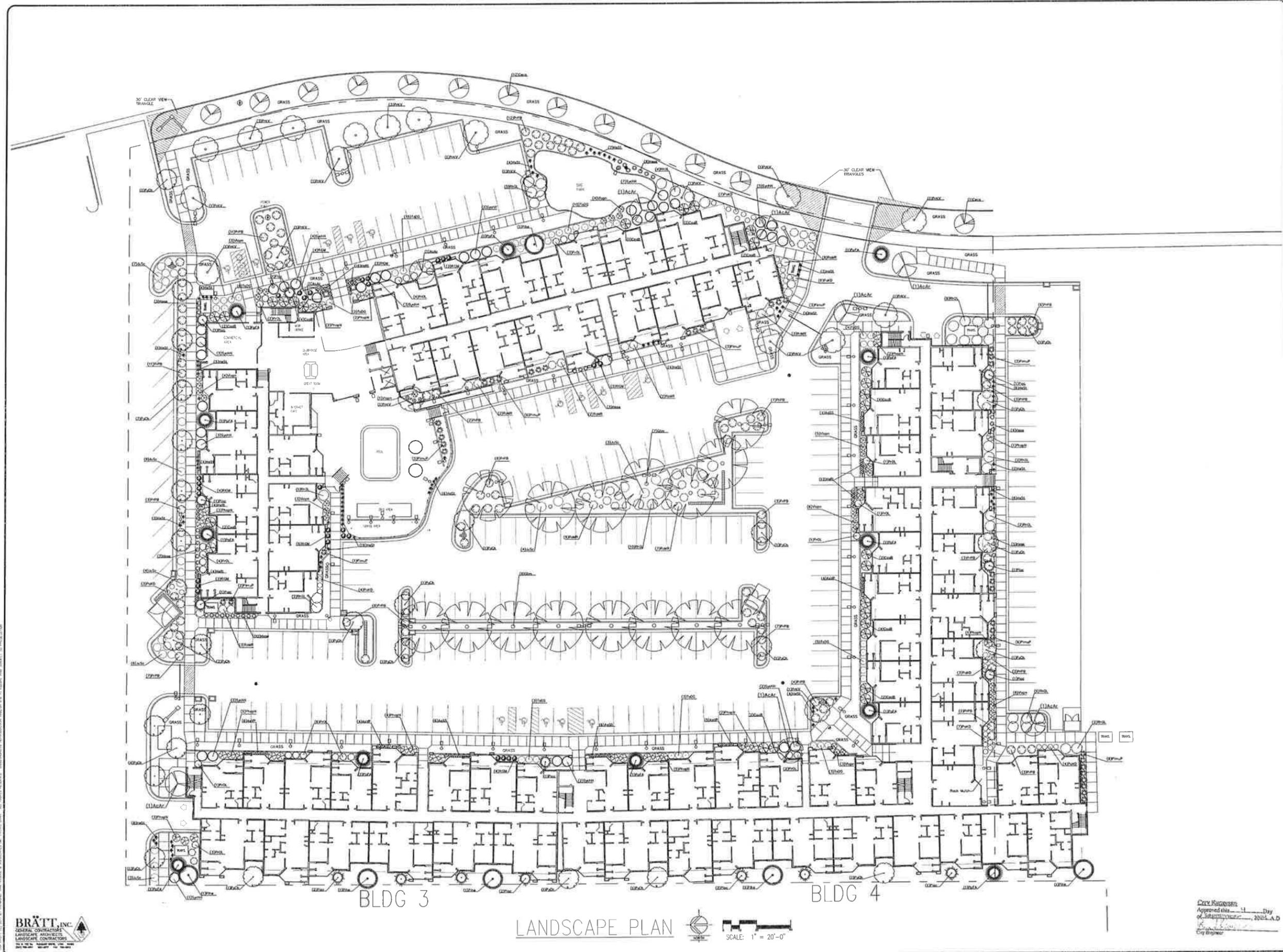
REVISIONS	BY
07/18/14	



NEW RESIDENTIAL DEVELOPMENT  
 JORDAN STATION APARTMENTS  
 10464 SOUTH JORDAN GATEWAY

**Architects**  
 Raymond Van Nostdol & Assoc. Inc.  
 ARCHITECTS • PLANNERS • ENGINEERS

DRW	DW
CHECKED	BY
DATE	08/02/14
SCALE	
JOB NO.	13-49
SHEET	L101



LANDSCAPE PLAN

SCALE: 1" = 20'-0"

Drawn by: [Signature]  
 Approved this 11 Day of September, 2014 A.D.  
 [Signature]  
 City Engineer

PROJECT: 13-49, 10464 SOUTH JORDAN GATEWAY, HOUSTON, TEXAS. ARCHITECT: RAYMOND VAN NOSTDOL & ASSOCIATES, INC. GENERAL CONTRACTOR: BRATT, INC. LANDSCAPE ARCHITECT: DARREN G. WILSON, LICENSE NO. 35417, STATE OF TEXAS. DATE: 08/02/14.

# PLANTING SCHEDULE

## Broadleaf Deciduous

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
⊗	AcAr	Acer rubrum 'Armstrong'	Armstrong Maple	2"-Cal	9
⊗	Ceca	Cercis canadensis	Eastern Redbud	2"-Cal	13
⊗	Glim	Gleditsia triacanthos 'Imperial'	Imperial Honeylocust	2"-Cal	15
⊗	PrKV	Prunus cerasifera 'Krouter Vesuvius'	Krouter Vesuvius Flw. Plum	2"-Cal	19
⊗	PyCh	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2"-Cal	30

## Conifer Evergreen

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
⊗	Piac	Picea abies cupressina	Columnar Norway Spruce	7'-8' HT.	15
⊗	PpFA	Picea pungens 'Fat Albert'	Fat Albert Spruce	7'-8' HT.	12
⊗	Pihe	Pinus heldrichii leucodermis	Bosnian Redcone Pine	7'-8' HT.	6

## Perennial

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
⊗	HeSt	Hemerocallis 'Stella d'Oro'	Stella d'Oro Daylily	1-Gal	87
⊗	HeRI	Heuchera 'Raspberry Ice'	Raspberry Ice Coral Bells	1-Gal	37
⊗	AsVP	Astilbe chinensis 'Visions in Pink'	Visions in Pink Astilbe	1-Gal	19
⊗	AqSS	Aquilegia x 'Songbird Series'	Songbird Series Mixed Columbine	1-Gal	15

## Grass

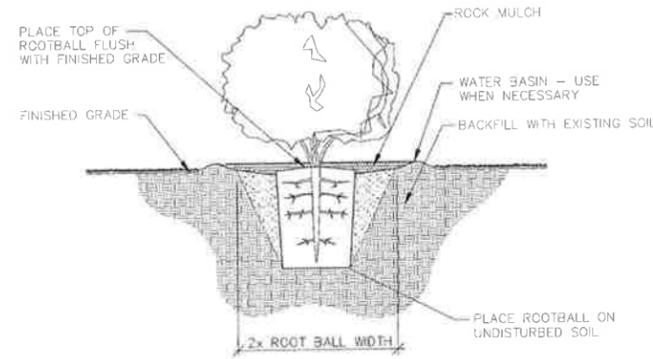
Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
⊗	Hese	Helictotrichon sempervirens	Blue Oat Grass	1-Gal	40

## Shrub

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
⊗	CoaB	Cornus alba 'Baikala'	Ivory Halo Dogwood	5-Gal	27
⊗	JuSc	Juniperus sibirica 'Scandia'	Scandia Juniper	5-Gal	38
⊗	PhopN	Physocarpus opulifolius 'Nanus'	Dwarf Ninebark	5-Gal	30
⊗	PimuP	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	5-Gal	37
⊗	PoKD	Potentilla fruticosa 'Kathryn Dykes'	Kathryn Dykes Potentilla	5-Gal	36
⊗	PrPB	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sand Cherry	5-Gal	102
⊗	PrOL	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	5-Gal	28
⊗	RhGL	Rhus aromatica 'Grow Low'	Grow Low Sumac	5-Gal	45
⊗	RiGM	Ribes alpinum 'Green Mound'	Green Mound Currant	5-Gal	32
⊗	RoMR	Rosa 'Meidiland Red'	Meidiland Red Rose	5-Gal	37
⊗	SychH	Symphoricarpos x chenaultii 'Hancock'	Hancock Coralberry	5-Gal	35
⊗	TaDG	Taxus cuspidata 'Densiformis'	Dense Yew	5-Gal	46
⊗	Viopn	Viburnum opulus nanum	Dwf. European Cranberry	5-Gal	35

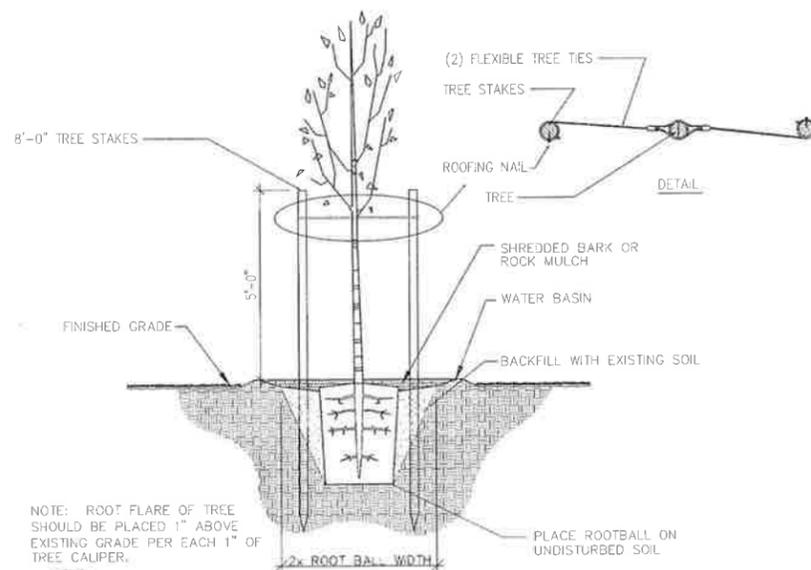
## NOTES:

- 1) Imported, screened Top Soil to be implemented in all new planting areas at the following depths: 12" in all shrub beds, 5" in all lawn areas.
- 2) Lawn to be a Kentucky Bluegrass Blend (min. 3 varieties) and be implemented as sod.
- 3) 6"x6" flat concrete curbing to be implemented between all shrub bed and lawn areas as shown on plan.
- 4) Rock Mulch to be 1-1/2" size "Southtown Crushed" from Nephi Sandstone - Nephi, Utah. Implement Rock Mulch in planter beds at a 3" depth over weed barrier fabric.
- 5) Rock Mulch to be clean and free of dirt and debris, placed at uniform depth, and raked smooth.
- 6) DeWitt #5 Landscape Fabric to be implemented in all shrub beds prior to cobble rock implementation. Follow manufacturer's installation instructions.
- 7) Trees in lawn areas to have a 36" diameter grass free ring around the trunk and have a 2" depth of shredded bark mulch implemented.
- 8) No landscaping or other obstruction in excess of 3 feet above finished grade shall be implemented in clear view triangles.
- 9) See Sheet CS.2 for Area of Landscape Information. 119 total trees provided (Deciduous Trees = 86, Evergreen Trees = 33).



**A SHRUB PLANTING DETAIL**

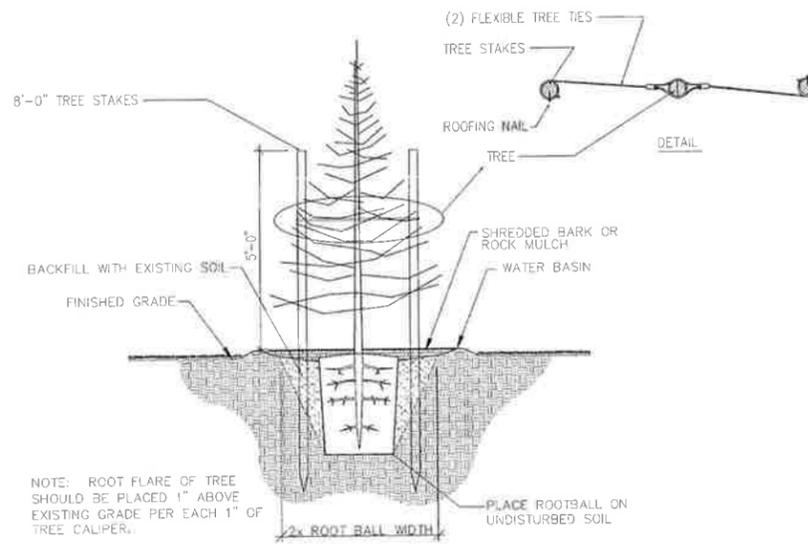
SCALE: NTS



NOTE: ROOT FLARE OF TREE SHOULD BE PLACED 1" ABOVE EXISTING GRADE PER EACH 1" OF TREE CALIPER.

**B DECIDUOUS TREE PLANTING DETAIL**

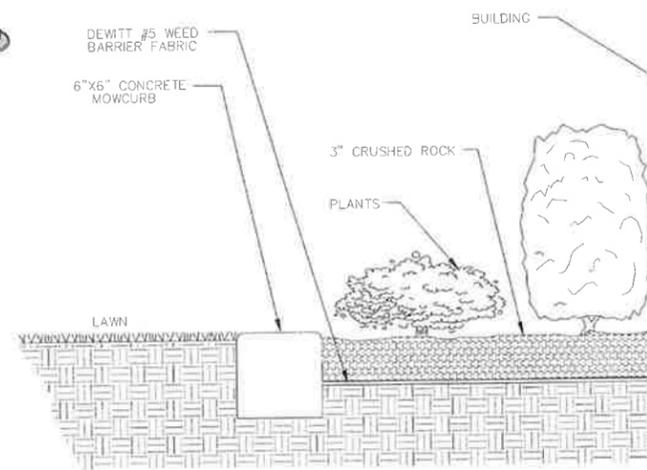
SCALE: NTS



NOTE: ROOT FLARE OF TREE SHOULD BE PLACED 1" ABOVE EXISTING GRADE PER EACH 1" OF TREE CALIPER.

**C EVERGREEN PLANTING DETAIL**

SCALE: NTS



**D CONCRETE EDGING DETAIL**

SCALE: NTS

REVISIONS	BY
07/18/14	
07/28/14	



NEW RESIDENTIAL DEVELOPMENT  
 JORDAN STATION APARTMENTS  
 10464 SOUTH JORDAN GATEWAY

**Architects**  
 Raymond Van Noy & Assoc., Inc.  
 ARCHITECTS • PLANNERS • INTERIORS

DATE	BY	DESCRIPTION
06/02/14	DW	SCALE
13-49		

Approved this 4 Day of September, 2014 A.D.  
 City of Jordan

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REVISIONS	BY
07-29-2014	MCR
PERMIT SET 08-12-14	MCR
SJC PLANNING 08-25-14	MCR



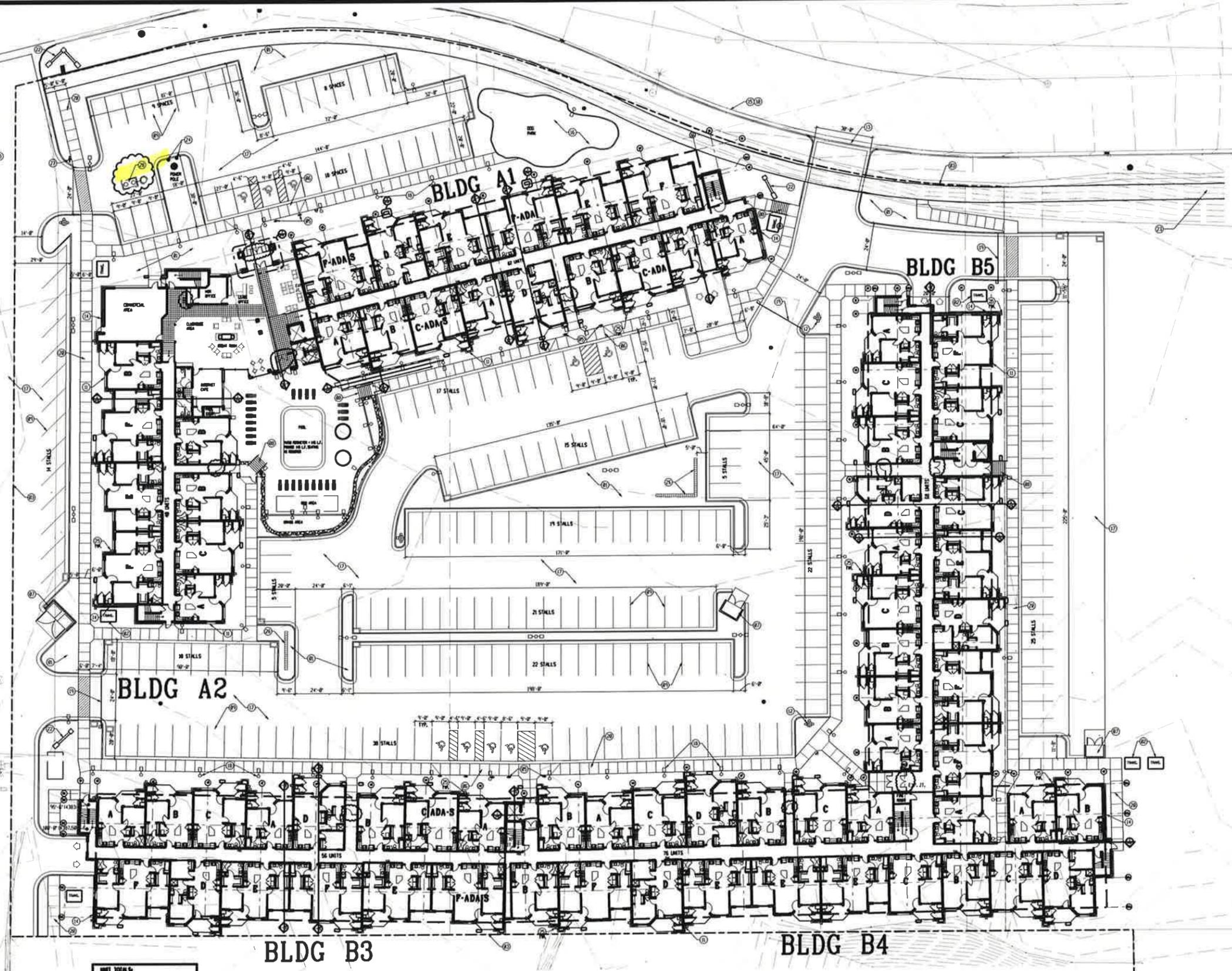
NEW RESIDENTIAL DEVELOPMENT  
**JORDAN STATION APARTMENTS - BLDG A(1&2)**  
 10438 SOUTH JORDAN GATEWAY

**Architects**  
 Raymond Van Noy & Assoc. Inc.  
 ARCHITECTS • PLANNERS • INTERIORS

DRAWN	OFFICE
CHECKED	ENGINEER
DATE	MCR
08/12/14	
SCALE	
DWG. NO.	13-49

SD-1.1

- KEYED NOTES**
- 1. AREA TO BE LANDSCAPED.
  - 2. ELECTRICAL TRANSFORMER, PROVIDE 4" CONCRETE PAD.
  - 3. PROPERTY LINE.
  - 4. NEW SEDIMENTAL RETAINING WALL. SEE DETAIL 5/SD-1.2.
  - 5. HANDBICAP PARKING SIGN. SEE DETAIL 2/SD-1.2.
  - 6. HANDBICAP CURB CUT. SEE DETAIL 12/SD-1.2.
  - 7. DUMPSTER ENCLOSURE. SEE DETAILS 1, 4, & 6/SD-1.2.
  - 8. CONCRETE STAIR. SEE 1/SD-1.2 & 16/SD-1.2.
  - 9. 2" PAINTED LINES. SEE SPECIFICATIONS.
  - 10. EXISTING CURB, GUTTER, & SIDEWALK TO REMAIN.
  - 11. 1" CONCRETE APRON AROUND BUILDING. SEE DETAIL 18/SD-1.2.
  - 12. NEW FIRE HYDRANT.
  - 13. SANDOUT & REMOVE PORTION OF EXISTING CURB & GUTTER FOR NEW CONCRETE DRIVE APPROACH.
  - 14. LOCATION OF ELECTRIC PANELS.
  - 15. EXISTING CONCRETE TO REMAIN.
  - 16. LANDSCAPED DOG PARK. SEE L-1.1.
  - 17. NEW ASPHALT. SEE CS-1.1.
  - 18. NEW LIGHT POLE. SEE ELECTRICAL SHEETS.
  - 19. METAL GATE. SEE DETAIL 5/SD-1.2.
  - 20. NEW SIGN. SEE 1/SD-1.2.
  - 21. PATCH & REPAIR ASPHALT WHERE CURB & GUTTER REMOVED.
  - 22. MONUMENT SIGN TO BE SUBMITTED UNDER SEPARATE COVER.
  - 23. EXTEND SIDEWALK TO SOUTH PROPERTY LINE. APPROX. 240'.
  - 24. ROLL-UP. SEE DETAIL 11/SD-1.2.
  - 25. SIGN TO BE PLACED AT EVERY ROOF DRAIN DOWNSPUT. TYP.
  - 26. MAILBOX. SEE DETAIL 9/16-7.1.
  - 27. STOP SIGN.
  - 28. GREASE/WATER SEPARATOR. SEE SHT. CS.1.



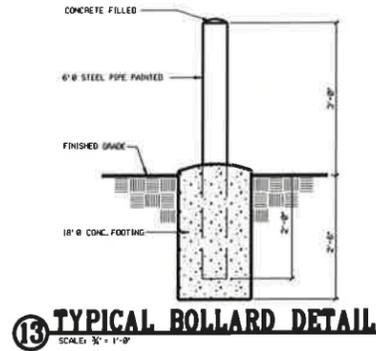
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**ARCHITECTURAL SITE PLAN**

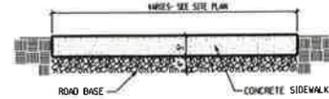
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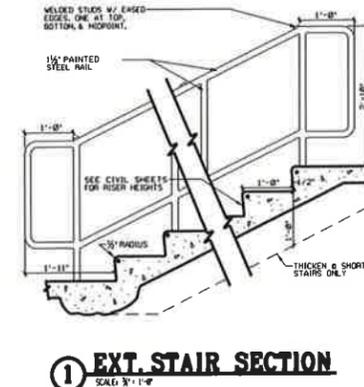
**13 TYPICAL BOLLARD DETAIL**  
SCALE: 3/4" = 1'-0"



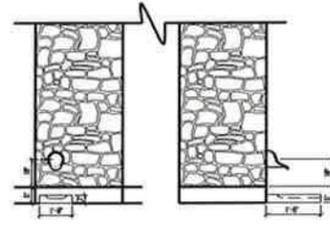
**9 SIDEWALK**  
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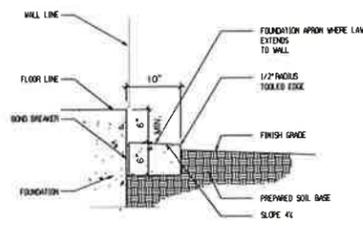
**5 TRAFFIC GATE DETAIL**  
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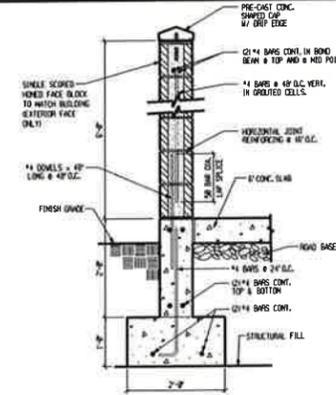
**1 EXT. STAIR SECTION**  
SCALE: 3/4" = 1'-0"



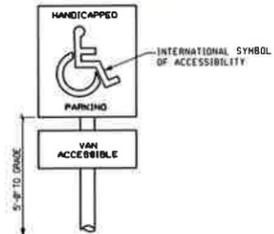
**14 SPOUT AND SPLASH BLOCK**  
SCALE: 1/2" = 1'-0"



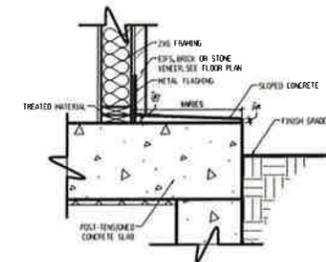
**10 FOUNDATION APRON**  
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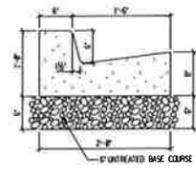
**6 TRASH SECTION**  
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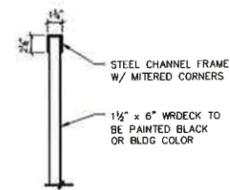
**2 HANDICAP PARKING SIGN**  
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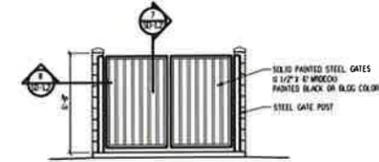
**15 SLOPED CONCRETE EDGE**  
SCALE: 1" = 1'-0"



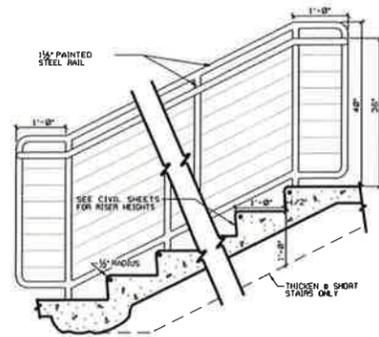
**11 CURB DETAIL**  
SCALE: 1" = 1'-0"



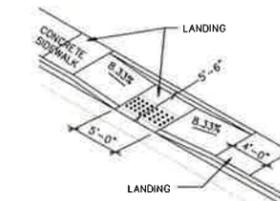
**7 GATE SECTION**  
SCALE: 1 1/2" = 1'-0"



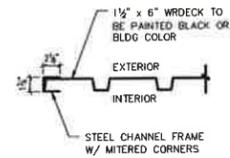
**3 DUMPSTER ELEVATION**  
SCALE: 1/2" = 1'-0"



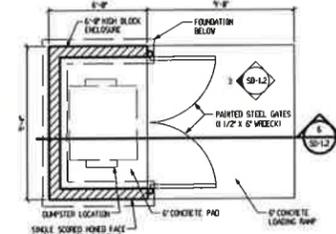
**16 EXT. STAIR SECTION**  
SCALE: 3/4" = 1'-0"



**12 HANDICAP CURB CUT**  
SCALE: NONE



**8 GATE SECTION**  
SCALE: 1 1/2" = 1'-0"



**4 DUMPSTER PAD PLAN**  
SCALE: 1/2" = 1'-0"

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07-29-2014	MCR
PERMIT SET 08-12-14	MCR
SJC PLANNING 08-25-14	MCR

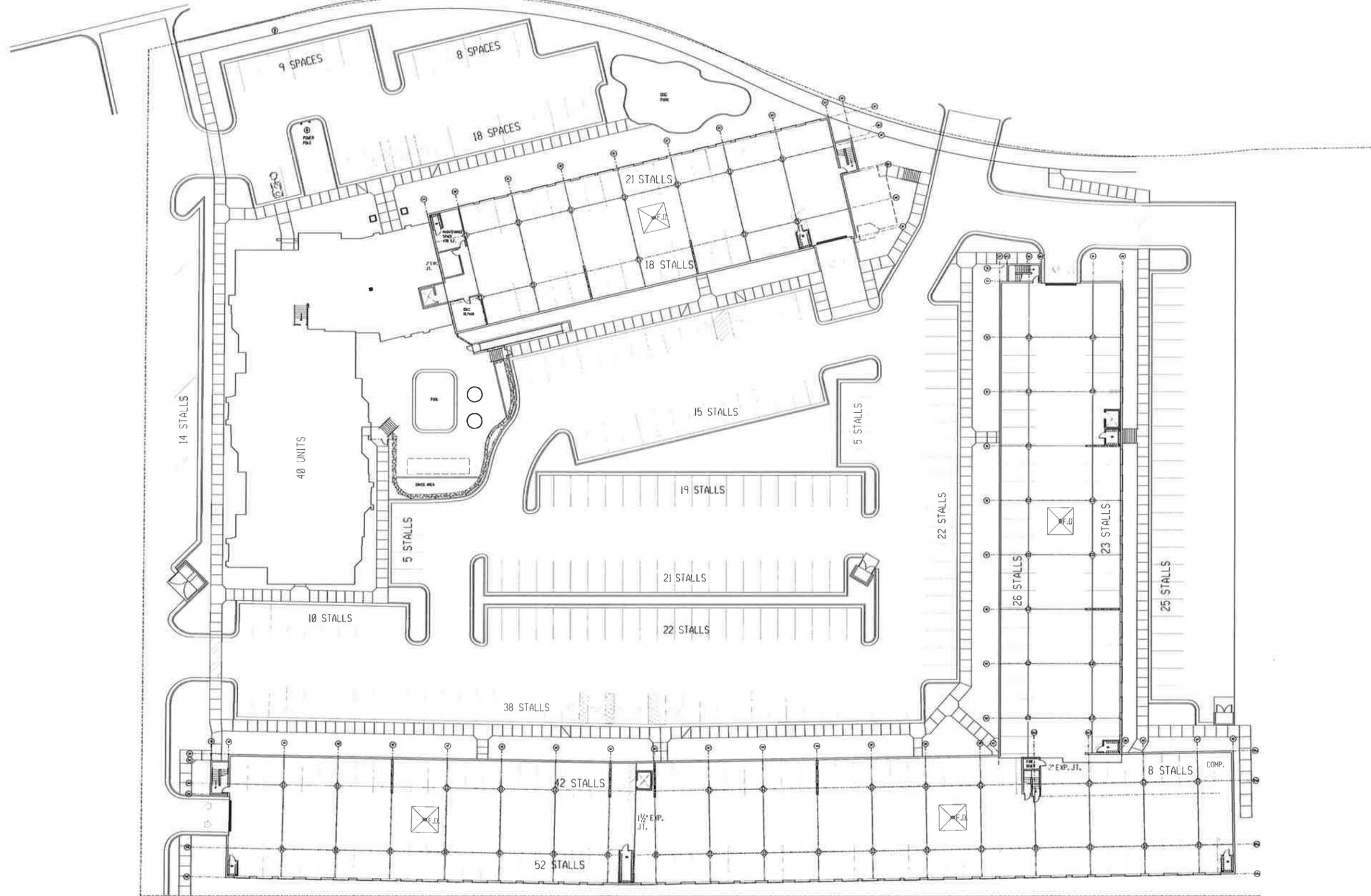


NEW RESIDENTIAL DEVELOPMENT  
**JORDAN STATION APARTMENTS - BLDG A(1&2)**  
 10428 SOUTH JORDAN GATEWAY

**Architects**  
 Raymond • Van Noy • Nardol & Assoc., Inc.  
 1000 FIFTH AVENUE, SUITE 1000, DENVER, CO 80202

DESIGN OFFICE
DATE
BY
08/12/14

SD-1.2



PARKING TOTALS:  
 ON GRADE: 248 STALLS  
 BELOW GRADE: 188 STALLS  
 TOTAL PARKING: 436 STALLS  
 (INCLUDES 18 M/C STALLS)

PARKING LEVEL PLAN OVERALL

SCALE: 1" = 20'-0"



REVISION	BY
07-17-2011	



NEW RESIDENTIAL DEVELOPMENT  
 JORDAN STATION APARTMENTS  
 10464 SOUTH JORDAN GATEWAY

**Architects**  
 Raymond • Van Nوردول & Assoc., Inc.  
 ARCHITECTS • PLANNERS • ENGINEERS

DESIGN	
OFFICE	
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DATE	07/21/14
SCALE	AS SHOWN
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A-1.1

LIST OF MATERIALS

- EPS OR SILICO COLOR KEY
- COLOR #01  
Polar Clay
  - COLOR #02  
Polar Ash
  - COLOR #03  
Blackton

- 1 EPS INSULATION OVER 2" RIGID INSULATION
- 2 ROOF TRUSS SYSTEM - SEE STRUCTURAL
- 3 METAL WALL CAP
- 4 WALL SHEATHING - SEE STRUCTURAL
- 5 2x6 WALL FRAMING WITH R-19 INSULATION
- 6 EPS OR SILICO OVER BUILDING WRAP, SEE COLOR KEY
- 7 PAINTED GRIPWALK INTERIOR CEILING & WALL FINISH
- 8 2" GYP-CRTE OVER FLOOR SHEATHING
- 9 WOOD FLOOR JOIST, SEE STRUCTURAL
- 10 METAL RAILING - STEEL CABLES AT 4" O.C.
- 11 2-4 CEILING FINISHING
- 12 1/2" LIGHTWEIGHT CONCRETE ON FLOOR SHEATHING IN WALL
- 13 MASONRY VENEER OVER BUILDING WRAP
- 14 MANUFACTURED STONE VENEER OVER BUILDING WRAP
- 15 FINISHED METAL FLASHING
- 16 POST-TENSIONED CONCRETE SLAB - SEE STRUCTURAL
- 17 EPS OR SILICO FEATURE
- 18 INSULATED VINYL WINDOW
- 19 CLIP LAM BEAM WITH SEALED FINISH
- 20 ALUM. STOREFRONT WINDOWS & ENTRY DOOR
- 21 METAL GRILLE STEEL GABLE AT 4" O.C.
- 22 COMPOSITION SHINGLES ON FELT PAPER
- 23 EPS COMING OVER EXPOSED CONCRETE WALL - EPS
- 24 LIGHT FIXTURE
- 25 DRIP EDGE BOTH SIDES
- 26 EXTEND PENETRATE TO TOP OF WALL
- 27 ROOF SHEATHING
- 28 ROOF INSULATION
- 29 STEEL I-BEAM - SEE STRUCTURAL
- 30 FLOOR FINISH - SEE FINISH SCHEDULE
- 31 4" CONCRETE SLAB OVER 4" GYPSUM & VIBRA BARRIER
- 32 FOUNDATION WALL & FOOTER - SEE STRUCTURAL
- 33 WINDOW & DOOR HEADS - SEE STRUCTURAL
- 34 FLOOR SHEATHING - SEE STRUCTURAL
- 35 FLOOR TRUSS SYSTEM - SEE STRUCTURAL
- 36 DOUBLE BOTTOM PLATE - TREATED MATERIAL
- 37 FINISH GRADE
- 38 2" RIGID FIBER INSULATION - EPS
- 39 1" RIGID INSULATION
- 40 METAL FLASHING
- 41 4" CONCRETE SLAB OVER 4" GRAVEL



BUILDING 1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



BUILDING 1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

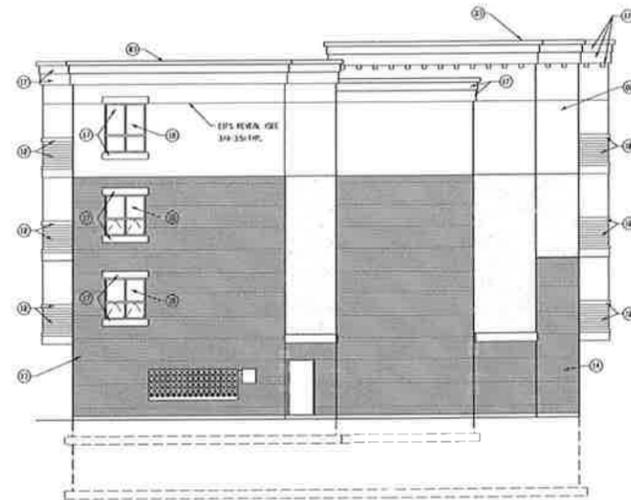
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NEW RESIDENTIAL DEVELOPMENT  
**JORDAN STATION APARTMENTS**  
 10464 SOUTH JORDAN GATEWAY

**Architects**  
 Raymond Van Norder & Assoc. Inc.  
 ARCHITECTS • PLANNERS • INTERIORS

DATE: 08/21/14  
 SCALE: 1/8" = 1'-0"  
 SHEET: 13-49  
 NORTH



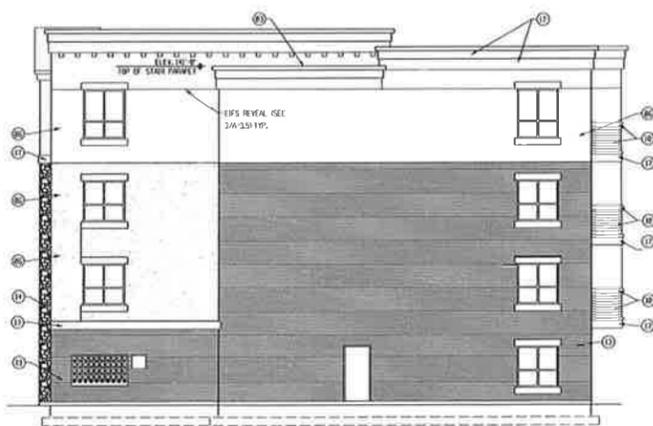
**BUILDING 1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING 2 EAST ELEVATION**  
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**BUILDING 2 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING 2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING 2 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

LIST OF MATERIALS

- 1. 2" EPS INSULATION OVER 2" RIGID INSULATION
- 2. ROOF TRUSS SYSTEM - SEE STRUCTURAL
- 3. METAL WALL CAP
- 4. WALL SHEATHING - SEE STRUCTURAL
- 5. 2x6 WALL FRAMING WITH R-15 INSULATION
- 6. EPS OR STUCCO OVER BUILDING WRAP, SEE COLOR KEY
- 7. PAINTED OYFVAL INTERIOR CEILING & WALL FINISH
- 8. 1" GYP BOARD OVER FLOOR SHEATHING
- 9. WOOD FLOOR JOIST, SEE STRUCTURAL
- 10. METAL BRACING - STEEL CABLES AT P.O.C.
- 11. 2x4 CEILING FRAMING
- 12. 1/2" LIGHTWEIGHT CONCRETE ON FLOOR SHEATHING IN HALL
- 13. MANUFACTURED STONE VENEER OVER BUILDING WRAP
- 14. MANUFACTURED STONE VENEER OVER BUILDING WRAP
- 15. PRE-FINISHED METAL FLASHING
- 16. POST-TENSIONED CONCRETE SLAB - SEE STRUCTURAL
- 17. EPS OR STUCCO FEATURE
- 18. ISOLATED VINYL WINDOW
- 19. GYPSUM BOARD WITH SEALED FINISH
- 20. ALUMINUM SLIDING WINDOWS & ENTRY DOOR
- 21. METAL BRACE STEEL CABLE AT P.O.C.
- 22. CORROSION SHIMMERS ON FELT PAPER
- 23. EPS COATING OVER EXPOSED CONCRETE WALL - THIS
- 24. LIGHT FIXTURE
- 25. DRIP EDGE BOTH SIDES
- 26. EXTEND MEMBRANE TO TOP OF WALL
- 27. ROOF SHEATHING
- 28. R-15 INSULATION
- 29. STEEL I BEAM - SEE STRUCTURAL
- 30. FLOOR FINISH - SEE FINISH SCHEDULE
- 31. 4" CONCRETE SLAB OVER 4" GRAVEL & VAPOR BARRIER
- 32. FOUNDATION WALL & FOOTER - SEE STRUCTURAL
- 33. WINDOW & DOOR HEADER - SEE STRUCTURAL
- 34. FLOOR SHEATHING - SEE STRUCTURAL
- 35. FLOOR TRUSS SYSTEM - SEE STRUCTURAL
- 36. DOUBLE BOTTOM FLANGE - HEATED METAL
- 37. FINISH GRADE
- 38. 2" RIGID FIBER INSULATION - EPS
- 39. 1" RIGID INSULATION
- 40. METAL FLASHING
- 41. 4" CONCRETE SLAB OVER 4" GRAVEL

REVISIONS	BY



NEW RESIDENTIAL DEVELOPMENT  
**JORDAN STATION APARTMENTS**  
 10464 SOUTH JORDAN GATEWAY

**Architects**  
 Raymond Van Nodol & Assoc. Inc.  
 ARCHITECTS • PLANNERS • INTERIORS

DATE: 07/21/14  
 OFFICE CHECKED: MCB  
 DATE: 07/21/14  
 SCALE: 1/8" = 1'-0"

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BLDG 3 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

- LIST OF MATERIALS
- 1 EPS MEMBRANE OVER 2" RIGID INSULATION
  - 2 ROOF DRAIN SYSTEM - SEE STRUCTURAL
  - 3 METAL WALL CAP
  - 4 WALL SHEATHING - SEE STRUCTURAL
  - 5 2x6 WALL FINISH WITH R-19 INSULATION
  - 6 EPS OR STUCCO OVER BUILDING WRAP, SEE COLOR KEY
  - 7 PAINTED BRICK/CLAY INTERIOR CEILING & WALL FINISH
  - 8 1" GYP CRUIE OVER FLOOR SHEATHING
  - 9 WOOD FLOOR JOIST, SEE STRUCTURAL
  - 10 METAL RAILING - STEEL CARDS AT 4" O.C.
  - 11 2x4 CEILING FINISH
  - 12 1/2" EXPANSION CONCRETE ON FLOOR SHEATHING IN WALL
  - 13 MANUFACTURED STONE VENEER OVER BUILDING WRAP
  - 14 PRE-FINISHED METAL FLASHING
  - 15 POST-TENSIONED CONCRETE SLAB - SEE STRUCTURAL
  - 16 EPS OR STUCCO FEATURE
  - 17 INSULATED VINYL WINDOW
  - 18 GLASS BEAM WITH TRENCH FINISH
  - 19 ALUM. STREETVIEW WINDOWS & ENTRY DOOR
  - 20 METAL BRIDGE STEEL CARDS AT 4" O.C.
  - 21 COMPOSITION SHINGLES ON FLEE PAPER
  - 22 EPS COATING OVER EXPOSED CONCRETE WALL - 1" TH.
  - 23 LIGHT FIXTURE
  - 24 DRIP EDGE BOTH SIDES
  - 25 EXTEND MEMBRANE TO TOP OF WALL
  - 26 ROOF SHEATHING
  - 27 RIGID INSULATION
  - 28 STEEL I-BEAM - SEE STRUCTURAL
  - 29 FLOOR FINISH - SEE FINISH SCHEDULE
  - 30 CONCRETE SLAB OVER 4" GRAVEL & VAPOR BARRIER
  - 31 FOUNDATION WALL & FOOTER - SEE STRUCTURAL
  - 32 WINDOW & DOOR HEADER - SEE STRUCTURAL
  - 33 FLOOR SHEATHING - SEE STRUCTURAL
  - 34 FLOOR DRAIN SYSTEM - SEE STRUCTURAL
  - 35 DOUBLE GULLY PLATE - TRENCH MATERIAL
  - 36 TRENCH COVER
  - 37 2" RIGID PEN INSULATION - EPS
  - 38 1" RIGID INSULATION
  - 39 METAL FLASHING
  - 40 CONCRETE SLAB OVER 4" GRAVEL



BUILDING 3 WEST ELEVATION  
SCALE: 3/8" = 1'-0"



BUILDING 3 EAST ELEVATION  
SCALE: 3/8" = 1'-0"

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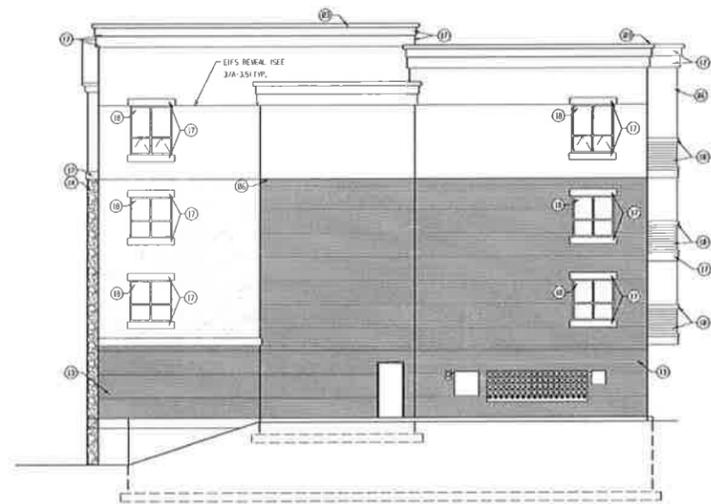
NEW RESIDENTIAL DEVELOPMENT  
**JORDAN STATION APARTMENTS**  
 10464 SOUTH JORDAN GATEWAY

**Architects**  
 Raymond Van Norder & Assoc. Inc.  
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DESIGN  
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BLDG 4 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING 4 WEST ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING 4 EAST ELEVATION

SCALE: 1/4" = 1'-0"

LIST OF MATERIALS

- ① 2" EPS INSULATION OVER 2" RIGID INSULATION
- ② ROOF TRUSS SYSTEM - SEE STRUCTURAL
- ③ METAL WALL CAP
- ④ WALL SHEATHING - SEE STRUCTURAL
- ⑤ 2" G.I. FRAMING WITH R-15 INSULATION
- ⑥ EPS ON SHEATH OVER BUILDING WALL - SEE ELEV KEY
- ⑦ FINISHED DRINKS INTERIOR CEILING & WALL FINISH
- ⑧ 1/2" GYP CORE OVER FLOOR SHEATHING
- ⑨ WOOD FLOOR JOIST - SEE STRUCTURAL
- ⑩ METAL RAILING - STEEL CABLES AT 4" O.C.
- ⑪ 2" x 4" CEILING FRAMING
- ⑫ 15' LIGHTWEIGHT CONCRETE ON FLOOR SHEATHING IN WALL
- ⑬ MANUFACTURED WALKER OVER BUILDING WALL
- ⑭ MANUFACTURED STONE VENEER OVER BUILDING WALL
- ⑮ FINE FINISHED METAL FLASHING
- ⑯ POLY-FINISHED CONCRETE SLAB - SEE STRUCTURAL
- ⑰ EPS ON STUCCO FEATURE
- ⑱ INSULATED VINYL WOODEN
- ⑲ ALUMINUM BEAM WITH SEALED FINISH
- ⑳ ALUMINUM STOREFRONT WINDOWS & ENTRY DOOR
- ⓫ METAL CABLE STEEL CABLE AT 4" O.C.
- ⓬ COMPOSITION SHINGLES ON FELT PAPER
- ⓭ EPS COATING OVER EXPOSED CONCRETE WALL - EPS
- ⓮ LIGHT FEATURE
- ⓯ DROP EDGE BOTH SIDES
- ⓰ EXTEND MEMBRANE TO TOP OF WALL
- ⓱ ROOF SHEATHING
- ⓲ R30 INSULATION
- ⓳ STEEL TRUSS - SEE STRUCTURAL
- ⓴ FLOOR FINISH - SEE FINISH SCHEDULE
- ⓵ 1" CONCRETE SLAB OVER 4" GYPSUM & VAPOR BARRIER
- ⓶ FOUNDATION WALL & FOOTER - SEE STRUCTURAL
- ⓷ WINDOW & DOOR HEADER - SEE STRUCTURAL
- ⓸ FLOOR SHEATHING - SEE STRUCTURAL
- ⓹ FLOOR TRUSS SYSTEM - SEE STRUCTURAL
- ⓺ DOUBLE BOTTOM PLATE - TREATED MATERIAL
- ⓻ FINISH GRADE
- ⓼ 2" RIGID EPS INSULATION - EPS
- ⓽ 2" RIGID INSULATION
- ⓾ METAL FLASHING
- ⓿ 4" CONCRETE SLAB OVER 4" GYPSUM

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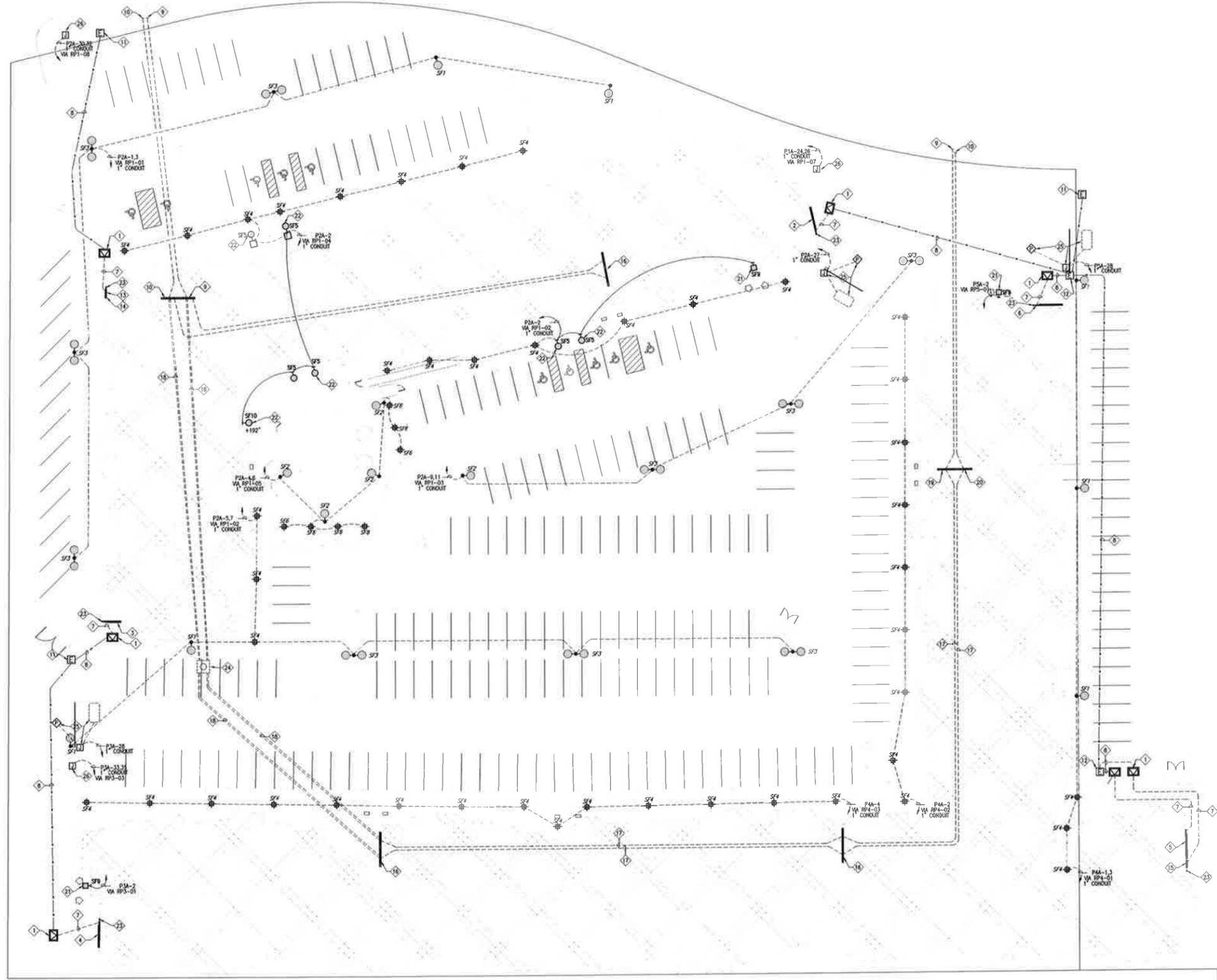
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 SHEET NO.  
 07/21/14  
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**ELECTRICAL SITE PLAN**  
SCALE: 1" = 20'-0"



**GENERAL NOTES:**

1. ELECTRICAL CONTRACTOR TO REFER TO THE CIVIL ENGINEER'S DRAWING AND COORDINATE ELECTRICAL INSTALLATION WITH ALL UTILITIES.
2. ELECTRICAL CONTRACTOR TO VERIFY ALL THE UTILITY COMPANY SERVICE (POWER, TELEPHONE, ETC.) TERMINATION POINTS DURING THE BIDDING PROCESS. PROVIDE CONDUIT AS REQUIRED TO THE BUILDINGS TO ACCOMMODATE ALL UTILITY COMPANY SERVICES. REPORT ANY CONFLICTING CONDITIONS TO THE ARCHITECT.
3. SITE ELECTRICAL POWER PLAN IS CONCEPTUAL. PLAN SHOULD BE SUBMITTED TO LOGAN CITY POWER FOR APPROVAL PRIOR TO ROUGH-IN, TRENCHING, AND INSTALLATION OF ELECTRICAL EQUIPMENT.

**KEYED NOTES**

1. NEW TRANSFORMER VAULT. PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. VAULT MUST MEET CURRENT POWER COMPANY SPECIFICATIONS. INSTALLATION MUST BE AS PER CURRENT POWER COMPANY STANDARDS. FIELD VERIFY THE LOCATION WITH THE POWER COMPANY PRIOR TO ROUGH-IN.
2. METER BANK 'MB1', SEE ONE LINE DIAGRAM.
3. METER BANK 'MB2', SEE ONE LINE DIAGRAM.
4. METER BANK 'MB3', SEE ONE LINE DIAGRAM.
5. METER BANK 'MB4', SEE ONE LINE DIAGRAM.
6. METER BANK 'MB5', SEE ONE LINE DIAGRAM.
7. TRANSFORMER SECONDARY CONDUIT, SEE ONE LINE DIAGRAM.
8. (1)-1" PRIMARY CONDUIT PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. MINIMUM DEPTH 48". PRIMARY CONDUITS PROVIDED AND INSTALLED BY POWER COMPANY. PROVIDE ALL TRENCHING AND BACKFILL.
9. MAIN TELEPHONE CABINET BUILDING 2 LEVEL 2 COMMUNICATIONS ROOM. SEE COMMUNICATIONS RISER DIAGRAM. ELECTRICAL CONTRACTOR PROVIDE FOR MINIMUM OF 300'-0" OF CONDUIT IN THE BID FROM THE CABINET TO THE UTILITY COMPANY TERMINATION POINT. FIELD VERIFY THE TERMINATION POINT PRIOR TO ROUGH-IN.
10. MAIN CABLE TELEVISION CABINET BUILDING 2 LEVEL 2 COMMUNICATIONS ROOM. SEE COMMUNICATIONS RISER DIAGRAM. ELECTRICAL CONTRACTOR TO PROVIDE FOR MINIMUM OF 300'-0" OF CONDUIT IN THE BID FROM THE CABINET TO THE UTILITY COMPANY TERMINATION POINT. FIELD VERIFY THE TERMINATION POINT PRIOR TO ROUGH-IN.
11. EXISTING LOCATION FOR POWER COMPANY GROUND SLEEVE. COORDINATE PROJECT FEED POINT WITH THE POWER COMPANY.
12. PROPOSED LOCATION FOR NEW POWER COMPANY GROUND SLEEVE.
13. METER/MAIN BREAKER 'COMMON AREA' BUILDING 1&2 SEE ONE LINE DIAGRAM.
14. METER/MAIN BREAKER 'RETAIL SPACE' BUILDING 1&2 SEE ONE LINE DIAGRAM.
15. METER/MAIN BREAKER 'COMMON AREA' BUILDING 3,4&5 SEE ONE LINE DIAGRAM.
16. SATELLITE TELEPHONE AND CABLE TELEVISION COMMUNICATIONS ROOMS, LOCATED ON SECOND FLOOR OF BUILDINGS 1,3&4. THIRD AND FOURTH FLOOR RISE STRAIGHT UP FROM SECOND FLOOR BOARDS. SEE COMMUNICATIONS RISER DIAGRAM.
17. PROVIDE INTERCONNECTING CONDUITS FROM MAIN COMMUNICATIONS ROOM BLDG 5 TO SATELLITE COMMUNICATIONS ROOM BLDGS 4. PROVIDE NECESSARY PULL BOXES AT INTERVALS FOR DISTANCE PULLING. REQUIREMENTS OF FIBER CABLE. SEE COMMUNICATIONS RISER DIAGRAM FOR SIZE AND NUMBER OF CONDUITS.
18. PROVIDE INTERCONNECTING CONDUITS FROM MAIN COMMUNICATIONS ROOM BLDG 2 TO SATELLITE COMMUNICATIONS ROOMS BLDGS 4. PROVIDE NECESSARY PULL BOXES AT INTERVALS FOR DISTANCE PULLING. REQUIREMENTS OF FIBER CABLE. SEE COMMUNICATIONS RISER DIAGRAM FOR SIZE AND NUMBER OF CONDUITS.
19. MAIN TELEPHONE CABINET BUILDING 5 LEVEL 2 COMMUNICATIONS ROOM. SEE COMMUNICATIONS RISER DIAGRAM. ELECTRICAL CONTRACTOR PROVIDE FOR MINIMUM OF 300'-0" OF CONDUIT IN THE BID FROM THE CABINET TO THE UTILITY COMPANY TERMINATION POINT. FIELD VERIFY THE TERMINATION POINT PRIOR TO ROUGH-IN.
20. MAIN CABLE TELEVISION CABINET BUILDING 5 LEVEL 2 COMMUNICATIONS ROOM. SEE COMMUNICATIONS RISER DIAGRAM. ELECTRICAL CONTRACTOR TO PROVIDE FOR MINIMUM OF 300'-0" OF CONDUIT IN THE BID FROM THE CABINET TO THE UTILITY COMPANY TERMINATION POINT. FIELD VERIFY THE TERMINATION POINT PRIOR TO ROUGH-IN.
21. MOUNT SECURITY FLOOD LIGHT ABOVE GARAGE DOOR. VERIFY MOUNTING HEIGHT FROM ARCHITECTURAL ELEVATION DRAWINGS.
22. MOUNT DECORATIVE LIGHTING ON BUILDING FACADE. VERIFY MOUNTING HEIGHTS FROM ARCHITECTURAL ELEVATION DRAWINGS.
23. PROVIDE ENGRAVED BUILDING LAYOUT SIGN IN THIS LOCATION SHOWING LOCATIONS OF ALL ELECTRICAL SERVICE ENTRANCE POINTS WITH WRITTEN INSTRUCTIONS FOR SHUTDOWN OF POWER. SHOW EACH BUILDING SEPARATE. PROVIDE PARALLEL SHUNT TRIP MUSHROOM TYPE BUTTONS TO SHUNT TRIP OTHER SERVICES FROM ANY LOCATION FOR EACH BUILDING SEPARATELY. PROVIDE SHUNT TRIP DEVICES IN A LOCKABLE BOX WITH A FIREMAN KNOX BOX FOR ACCESS.
24. PROVIDE AND INSTALL A 4"x4"x4" TRAFFIC RATED MANUFACTURED UNDERGROUND CABLE COMMUNICATION VAULT. PROVIDE MANHOLE COVER WITH "COMMUNICATIONS" EMBOSSED IN CASTING. STENCIL MANHOLE NUMBER IN 3" LETTERS ON COVER.
25. PROVIDE AND INSTALL A IN GROUND ANCHOR PULL BOX FOR POWER TO PARKING LOT GATE. PROVIDE CONDUIT STUB FOR GATE ARM MOTOR. PROVIDE CONDUIT AND WIRE FOR EXISTING LOOP. PROVIDE CONDUIT STUB FOR CARO HEADER PEDESTAL.
26. POWER CIRCUIT FOR MARQUEE SIGN SHALL BE THROUGH THE LIGHTING CONTROL PANEL AS SHOWN AND TERMINATED IN A GROUND BOX NEAR SIGN.

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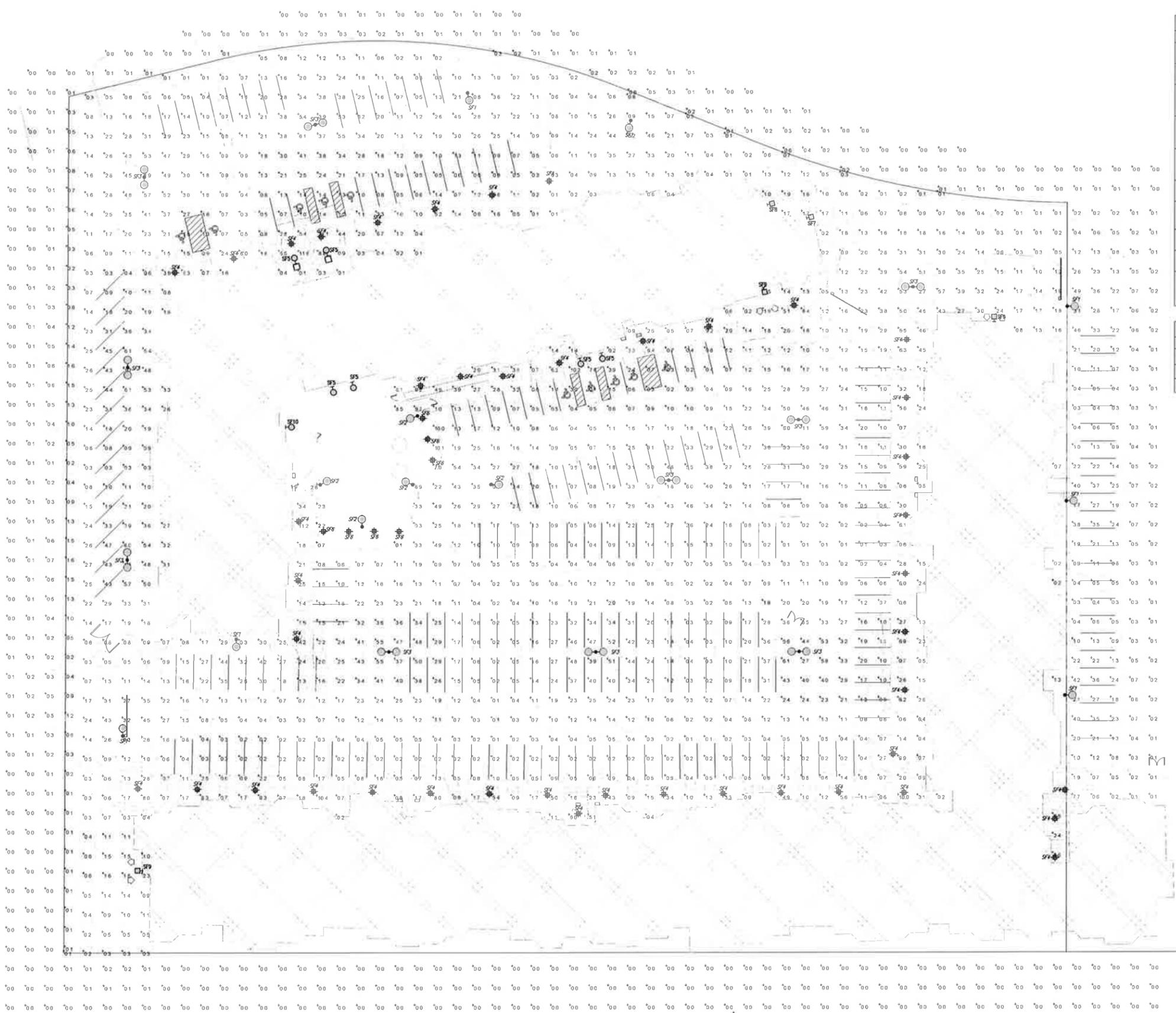
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LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Category Number	Description	Lamp	Lumens	Watts
○	SF1	7	SAC2L-11-G3105- R3-30-XA-120	SINGLE DECORATIVE LUMINAIRE MOUNTED ON 12" ROUND POLE	LED ARRAY	Absolute	100
○	SF2	3	SAC2L-11-G3105- R3-30-XA-120	SINGLE DECORATIVE LUMINAIRE MOUNTED ON 12" ROUND POLE	LED ARRAY	Absolute	100
○	SF3	18	SAC2L-21-G3105- R3-30-XA-120	DOUBLE DECORATIVE LUMINAIRE MOUNTED ON 12" ROUND POLE	LED ARRAY	Absolute	201.6
+	SF4	44	SAB-MS-7-R42 SAB-MS-7-R42 SAB-MS-7-R42 SAB-MS-7-R42	SILVER DOWNERS, EXTRUDED ALUMINUM COLUMN WITH 3" TALL BOLLARD (SAB-MS-7-R42)	TESTED WITH ONE AS- MOUNTED TUBE COMPACT FLUORESCENT (MFL) LUMENS 3000	Absolute	70
+	SF5	6	SAC2L-WL-G3000- R3-30-120	SINGLE DECORATIVE WALL MOUNTED SABIN 2 CUBED LED	(5 Clusters of 30 LED's) White 50W 350 Lm Advance DIMM ATANISM 100W 2 350W 350W 70W @ 120 V0V	Absolute	51
+	SF6	7	SAB-MA-H0770S	Satin Bollard MTR 120 ASYMMETRIC 4" WALL BOLLARD	7000 lumens, 42 watt wall	Absolute	82
+	SF7	1	LNK2-FLU-SK-1	WALL MOUNTED LED FLOOD LIGHT	GENERIC WHITE LIGHT EMITTING CLOES (LED) VERTICAL BASE LAMP FOOTCORN	Absolute	18.4
+	SF8	1	LNK2-FLU-SK-3	WALL MOUNTED LED FLOOD LIGHT	42" NICHIA 1100 LEDS	Absolute	28.8
+	SF9	1	LNK2-FLU-SK-3	WALL MOUNTED LED FLOOD LIGHT	18" NICHIA LEDS	Absolute	47.3
+	SF10	1	SAC2L-WL-G3000- R3-30-120	SINGLE DECORATIVE WALL MOUNTED SABIN 2 CUBED LED	(5 Clusters of 30 LED's) White 50W 350 Lm Advance DIMM ATANISM 100W 2 350W 350W 70W @ 120 V0V	Absolute	100

STATISTICS							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Arg/Max
OUTSIDE PROPERTY ZONE	+	0.1%	0.8%	0.0%	N/A	N/A	0.1%
POOL ZONE	+	0.4%	1.4%	0.0%	N/A	N/A	0.4%
PROPERTY ZONE	+	1.3%	11.8%	0.1%	118.2	17.21	0.1%



**POOL PHOTOMETRIC PLAN**  
SCALE: 1/16" = 1'-0"

**ELECTRICAL SITE PLAN**  
SCALE: 1" = 20'-0"

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