





# THE CLIFFS AT JORDAN STATION PHASE 2

10464 SOUTH JORDAN GATEWAY  
SOUTH JORDAN, UTAH

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**FOR REVIEW  
NOT FOR CONSTRUCTION**

DATE PRINTED  
November 30, 2015

### NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

### OWNER:

SJ UTAH, LLC  
2020 EAST PEBBLE CREEK DRIVE  
SPRINGVILLE, UTAH 84663

### ARCHITECT:

RAYMOND, VAN NORDSL AND ASSOCIATES, INC  
32 WEST CENTER STREET, SUITE 203  
PROVO, UTAH 84601

### DESIGN/BUILDER:

AJ DALEY CONSTRUCTION & DEVELOPMENT  
2020 EAST PEBBLE CREEK DRIVE  
SPRINGVILLE, UTAH 84663

REPRESENTATIVE: AARON DALEY  
(801) 558-7659

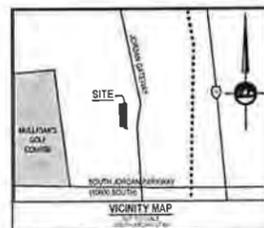
### NOTICE TO DEVELOPER/CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNACCEPTABLE AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO: WEG ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE, CONSTRUCTION, ETC.

### UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY EDUCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES TO FIELD LOCATIONS THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

### VICINITY MAP



### GENERAL NOTES

1. ALL WORK SHALL CONFORM TO SOUTH JORDAN CITY STANDARDS & SPECIFICATIONS
2. CALL 811 BEFORE YOU DIG AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY
3. BENCHMARK ELEVATION = CENTER OF SECTION 13 THE R/W SALT LAKE BASE AND MERICAN ELEVATION = 437.85 TAKEN FROM SALT LAKE SQUARE PHASE 1 PLANS BY WORTHEN ENGINEERING

### ENGINEER:



**ENSIGN**  
THE STANDARD IN ENGINEERING

LAYTON  
185 W. MAIN ST. SUITE 204  
LAYTON, UT 84041  
PHONE: 801.547.1100  
FAX: 801.547.1100  
WWW.ENSIGNENG.COM

SALT LAKE CITY  
PHONE: 801.266.0529  
PEEBLE  
PHONE: 801.266.0529  
CEDAR CITY  
PHONE: 801.266.0529  
RICHFIELD  
PHONE: 801.266.0529



**THE CLIFFS AT JORDAN STATION - PHASE 2**  
**FOR REVIEW - NOVEMBER 30, 2015**

REVISIONS	BY



REVIEW SET

PHASE II RESIDENTIAL DEVELOPMENT  
THE CLIFFS AT JORDAN STATION  
10464 SOUTH JORDAN GATEWAY



**ENSIGN**  
THE STANDARD IN ENGINEERING

LAYTON  
185 W. MAIN ST. SUITE 204  
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TOOELE  
Phone: 435.843.3000

CEDAR CITY  
Phone: 435.855.1953

RICHFIELD  
Phone: 435.855.2002

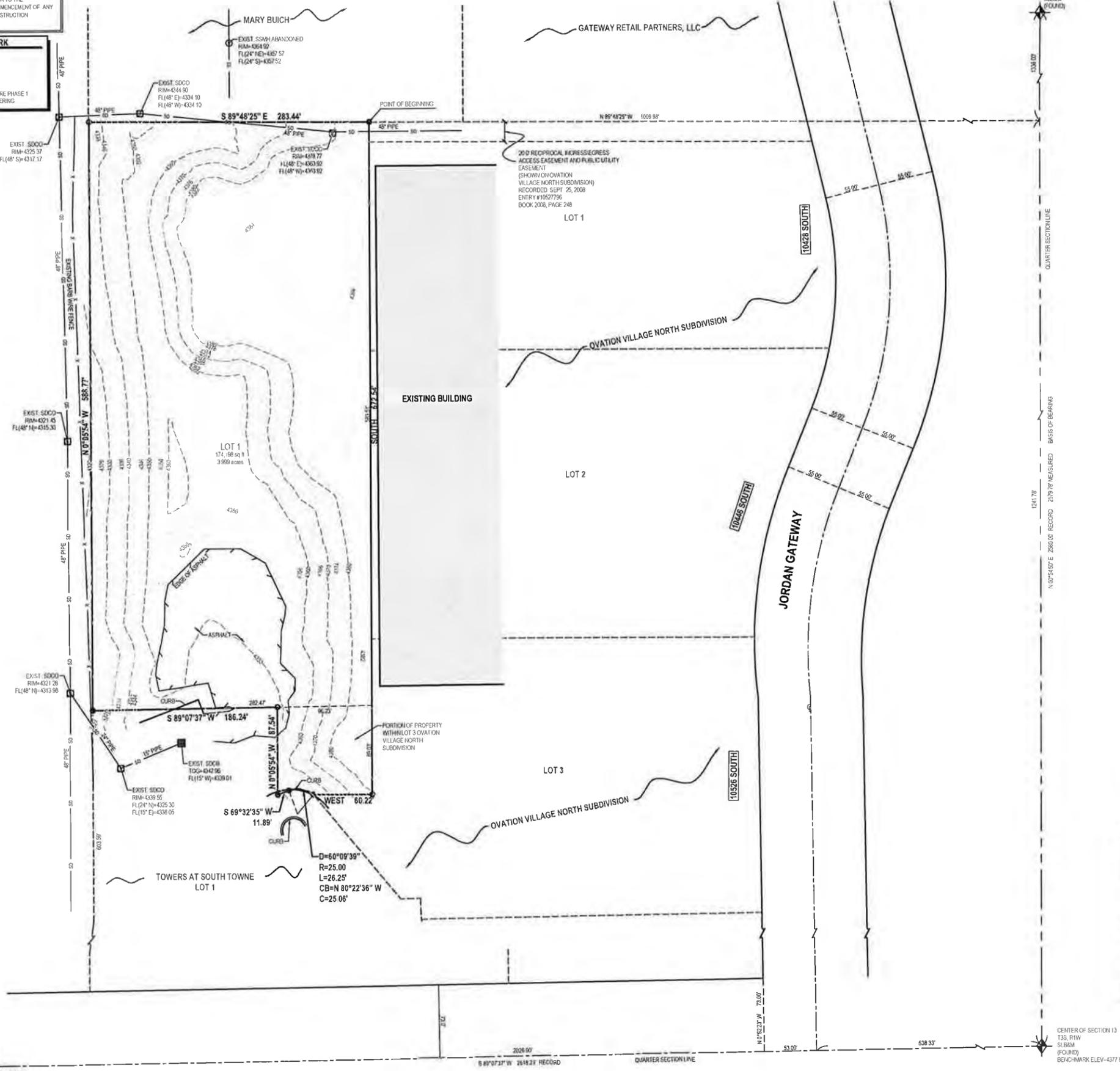
WWW.ENSIGNENG.COM

DRAWN BY: [ ]  
OFFICE: [ ]  
CHECKED BY: [ ]  
DATE: 10/20/15  
SCALE: [ ]  
JOB NO.: 5945B  
SHEET: [ ]  
COVER: [ ]  
C-000

OF SHEETS

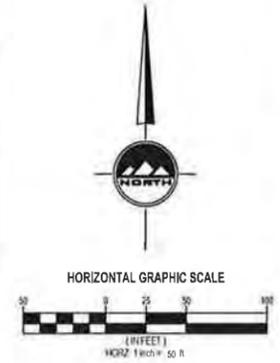
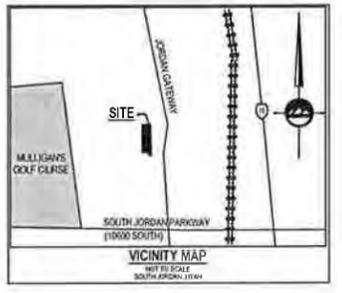
**811**  
CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION  
Know what's below.  
Call before you dig.

**BENCHMARK**  
CENTER OF SECTION 13  
T3S, R1W  
SLB8M  
ELEVATION - 4377.65  
TAKEN FROM STATION SQUARE PHASE 1  
PLANS BY NOTHERN ENGINEERING



**LEGEND**

	SECTION CORNER		MINOR CONTOURS 1' INCREMENT
	MONUMENT		MAJOR CONTOURS 5' INCREMENT
	EXIST REBAR AND CAP		CONCRETE
	SET ENSIGN REBAR AND CAP		BUILDING PRIMARY
	WATER METER		BUILDING SECONDARY
	WATER MANHOLE		BUILDABLE AREA WITHIN SETBACKS
	WATER VALVE		PUBLIC DRAINAGE EASEMENT
	FIRE HYDRANT		ADJACENT RIGHT OF WAY
	SECONDARY WATER VALVE		RIGHT OF WAY
	IRRIGATION VALVE		CENTERLINE
	SANITARY SEWER MANHOLE		PROPERTY LINE
	STORM DRAIN CLEAN OUT		ADJACENT PROPERTY LINE
	STORM DRAIN CATCH BASIN		DEED LINE
	STORM DRAIN COMBO BOX		TANGENT LINE
	STORM DRAIN CULVERT		EXIST DITCH FLOW LINE
	SIGN		FENCE
	UTILITY MANHOLE		EDGE OF ASPHALT
	UTILITY POLE		SANITARY SEWER
	GAS VALVE		STORM DRAIN LINE
	TREE		LAND DRAIN
	SHRUB		WATER LINE
	DENSE VEGETATION PREVENTING ACCESS FOR ACCURATE SURVEY		SECONDARY WATER LINE
			IRRIGATION LINE



**DATE** July 15, 2015

**SURVEYOR'S CERTIFICATE**  
I, Keith R. Russell, do hereby represent that I am a Professional Land Surveyor and that I hold Certificate no. 164386 as prescribed by the laws of the State of Utah and I have made a survey of the following described property. The purpose of this survey is to define the boundary of the property and add topography features to the map to be used as the base map for a proposed development of the property.

The Base of Bearing is as noted from found Salt Lake County Section Corners for the Center of Section 13 and the North Quarter Corner of Section 13, Township 3 South, Range 1 West, Salt Lake Base and Meridian. These section corners are shown on the drawing.

**Parcel 1**  
Beginning South 89°07'37" West 990.27 feet and North 88°79' feet from the Center of Section 13, Township 3 South, Range 1 West, Salt Lake Meridian, and running:  
Thence West 60.26 feet,  
Thence westerly along a 25 foot non tangent curve to the left 25.19 feet,  
Thence South 69°32'35" West 11.89 feet,  
Thence North 0°09'54" West 87.53 feet,  
Thence North 89°07'37" East 96.23 feet,  
Thence South 89.03 feet to the point of beginning. (Being a portion of Lot 3, Ovation Village North)

**Parcel 2**  
Beginning at the Northwest of Lot 1, Towers at South Towne, and running:  
Thence North 0°09'55" West 588.77 feet,  
Thence South 89°48'25" East 283.45 feet,  
Thence South 89°07'37" West 282.46 feet to the point of beginning.

**Surveyed Parcel Description**  
Beginning at the Northwest Corner of Lot 1, Ovation Village North Subdivision, said point being North 0°54'50" East 1241.78 feet along the quarter section line and North 89°48'25" West 1009.58 feet to and along the north line of Lot 1, Ovation Village North Subdivision from the Center of Section 13, Township 3 South, Range 1 West, Salt Lake Meridian, and running:  
Thence South 67°54' feet along the west line of Lot 1, Lot 2 and Lot 3, Ovation Village North Subdivision, and beyond  
Thence West 60.22 feet to the southwestern line of Lot 3, Ovation Village North Subdivision, also being on the northwestern line of Lot 1, Towers at South Towne Subdivision,  
Thence westerly 28.25 feet along the arc of a 25.00 foot radius curve to the left, (center bearing South 39°42'14" West and long chord bears North 80°22'35" West 25.05 feet, with a central angle of 60°39'39"), along the southwestern line of Lot 3, Ovation Village North Subdivision, also being on the northwestern line of Lot 1, Towers at South Towne Subdivision,  
Thence South 69°32'35" West 11.89 feet along the southwestern line to the Southwest Corner of Lot 3, Ovation Village North Subdivision, also being on the northwestern line to an inside corner of Lot 1, Towers at South Towne Subdivision,  
Thence North 0°09'54" West 87.54 feet along the west line to a Northwest Corner of Lot 3, Ovation Village North Subdivision also being on the east line to the Northwest Corner of Lot 1, Towers at South Towne Subdivision,  
Thence South 89°07'37" West 186.24 feet along the north line to the Northwest Corner of Lot 1, Towers at South Towne Subdivision,  
Thence North 0°09'54" West 588.77 feet,  
Thence South 89°48'25" East 283.44 feet to the point of beginning.

Contains 174,198 square feet 3.999 acres

**DATE** July 15, 2015  
**SURVEYOR** Keith R. Russell  
**LICENSE NO.** 164386

CENTER OF SECTION 13  
T3S, R1W  
SLB8M  
(FOUND)  
BENCHMARK ELEV=4377.65



**LAYTON**  
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**SALT LAKE CITY**  
1001 255 0529

**TOOELE**  
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**CEDAR CITY**  
Phone: 435.865.1453

**RICHFIELD**  
Phone: 435.896.2983

**WWW.ENSIGNENG.COM**

FOR: Raymond, Van Nood and Associates, Inc. Architects  
32 West Center Street  
PROVO, UTAH 84601

CONTACT: Michael C. Raymond  
PHONE: 801-314-2100

**JORDAN STATION APARTMENTS PHASE 2**

**10422 SOUTH JORDAN GATEWAY**  
**SOUTH JORDAN, UTAH**



NO. DATE: PROJECT: FOR REVIEW:

**BOUNDARY/ TOPOGRAPHY SURVEY**

PROJECT NUMBER: 59459  
DATE: 7/15/15  
DRAWN BY: JAKISS  
CHECKED BY: KRUSSELL  
PROJECT MANAGER: KRUSSELL

WEST QUARTER CORNER OF SECTION 13  
T3S, R1W  
SLB8M  
(NOT FOUND)

LOCATED IN THE NORTHWEST QUARTER OF SECTION 13  
TOWNSHIP 3 SOUTH, RANGE 1 WEST  
SALT LAKE BASE AND MERIDIAN

**GENERAL NOTES**

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE DESIGN ENGINEER, SOUTH JORDAN CITY, UTAH. THE MINIMUM QUALITY CONTROL DEVICES AND I.C.D.'S, THE ORDER LISTED ABOVE IS ARRANGED BY PRIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT, SEWER, TRENCH EXCAVATION, BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND DURING UP ANY QUESTIONS BEFORE SUBMITTING.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS OR ORDINANCES IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY, STATE, OR COUNTY MATERIALS AND WORKS DEPARTMENT TO PREVENT DAMAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90% DENSITY PER ASTM D-155) SUB GRADE.
- ALL EXPOSED SURFACES SHALL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERTINENT AUTHORITIES.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL DIMENSIONAL, GRADE, AND UTILITY DESIGN SHOWN ON THESE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER BY ANY DESIGNATED METHOD PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MOVEMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- CONTRACTOR TO NOTIFY AND PROVIDE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY PROVIDING A MINIMUM OF 300 FEET AHEAD OF PROPOSED CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNATED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES BETWEEN THE CONTRACTOR'S REQUIREMENT TO PROTECT UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT COST TO OWNER.
- CONVERT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR RE-PLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR PRIOR TO ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUESTED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE, RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REQUIRED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- ALL EXISTING DATES AND BACKS TO REMAIN UNLESS OTHERWISE NOTED IN PLANS. PROTECT ALL TREES AND ROOTS FROM DAMAGE.
- ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE WITHIN THE CITY RIGHT-OF-WAY.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN THE CITY RIGHT-OF-WAY.
- CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
- A LULUS (LULUS POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

**UTILITY NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, ASPHALT MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "TRY" UTILITIES WITH THE APPROPRIATE UTILITY COMPANY INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1400-462-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IF SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES TO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE HELD RESPONSIBLE TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INCLUDING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CASE SHOULD BE TAKEN IN ALL EXCAVATIONS ONE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
- TRENCH AND FILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER ASPHA STANDARD SPECIFICATIONS (2012 EDITION), SECTION 4020 - BACKFILLING TRENCHES OR AS REGAIED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. INACTIVE MATERIALS ARE ALLOWED ON THE PIPE ZONE. THE BACKFILL MUST BE REPAVING EXCAVATION IN TRENCHES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND/OR THE PROTECTION OF WORKERS.
- THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT NOT LIMITED TO, VEHICLE AND EQUIPMENT STORAGE, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION FROM THE APPROPRIATE GOVERNING ENTITY (AND/OR INDIVIDUAL PROPERTY OWNERS) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY ANY CONDITION INCLUDING SETTLEMENT TO EXISTING UTILITIES FROM WORKER OPERATIONS ON OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HISHER EXPENSE TO THE SATISFACTION OF THE OWNER OR CITY FACILITIES.
- ALL WATER LINES AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER ASPHA (2012 EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE EXLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER ASPHA STANDARDS. ALL MANHOLE CATCH BASIN OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOIES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL SLOPE RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMAN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN A DEWATERED CONDITION.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROBABLY AND TO PROPERLY DISPOSE OF ALL WATER DURING THE TRENCH EXCAVATION.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 18" FEET CENTER TO CENTER FROM THE WATER LINES. IF A 18" FOOT SEPARATION CAN NOT BE MAINTAINED, THE SEWER LINE AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THERE SHALL BE A MINIMUM 18" VERTICAL SEPARATION BETWEEN THE PIPES.
- CONTRACTOR SHALL INSTALL THRUST BLOCKS AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MACHINIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

**TRAFFIC CONTROL AND SAFETY NOTES**

- TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- BARRECADES AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT MUTCD.
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND SIGNALS OF INTERFERING STRIPING BY SIGNALING THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
- TRAFFIC CONTROL DEVICES (SIGNS) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
- ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROADWAY BEING IMPROVED HEREUNDER. REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELUCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

**DEMOLITION NOTES**

- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATION PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALLOWED. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
- THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF RECORDING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATION. ANY CONTRACTOR PERFORMING WORK ON THE PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

**GRADING AND DRAINAGE NOTES**

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
- THE CONTRACTOR SHALL STORM AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DETERIOROUS MATERIALS PRIOR TO PLACING GRADING FILL ON BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
- ALL DEBRIS PILES AND REMAINS SHOULD BE REMOVED AND HAUL AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
- THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THESE STREETS.
- THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
- THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SURFACE, FINISH GRADES AND SLOPES SHOWN.
- THE CONTRACTOR IS WARRANTED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR EXCESSIVE MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMITS. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF PORTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.

**ABBREVIATIONS**

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
BOS	BOTTOM OF STEP
CB	CATCH BASIN
CC	CURB
CL	CURB FACE
CO	CENTER LINE
COMB	COMBINATION
CONC	CONCRETE
CORT	CONTINUOUS
DA	DAMETER
DIP	DRAINAGE PIPE
ELEC	ELECTRICAL
ELEV	ELEVATION
EDA	EDGE OF ASPHALT
EVC	END OF VERTICAL CURVE
EV	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FRESH GRADE
FH	FIRE HYDRANT
FL	FINISH LINE AND GRADE
GB	GRADE BASE
GF	GRADE FINISH
GV	GATE VALVE
HC	HANDICAP
HP	HOIST POINT
IRR	IRRIGATION
K	MARKER
LD	LAND DRAIN
LF	LOW POINT
MI	MANHOLE
MJ	MECHANICAL JOINT
NG	NATURAL GROUND
NC	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
OCEN	ON CENTER EACH WAY
OPR	OPERATIONAL POINT
PC	POINT OF CURVATURE OR PRESSURE CLASS
PCC	POINT OF COMING INTO CURVATURE
PI	POINT OF INTERSECTION
PV	POINT OF INTERSECTION
PL	PROPOSED LINE
PRC	POINT OF REVERSE CURVATURE
PRO	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROAD
ROW	RIGHT OF WAY
SC	SEWER
SAN SWR	SANITARY SEWER
SE	SEWER
SEC	SECONDRY
SS	SEWER MAIN
STA	STATION
SW	SEWER
DRL	SECONDRY WATER LINE
TBC	TOP BACK OF CURB
TOP	TOP OF GRADE
TOP	TOP OF ASPHALT
TOP	TOP OF CONCRETE
TOP	TOP OF FOUNDATION
TOW	TOP OF WALL
TOS	TOP OF STEP
TYP	TYPICAL
VC	VERTICAL CURVE
WV	WALL INDICATOR VALVE
WL	WATER LINE

NOTE: MAY CONTAIN DIMENSIONS THAT ARE NOT SHOWN ON THIS PLAN SET.

**LEGEND**

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REPAIR AND CAP		PROPOSED STRIPING
	SET BACK REPAIR AND CAP		EXISTING FENCE
	EXISTING WATER METER		PROPOSED FENCE
	EXISTING WATER METER		PROPOSED WATER METER
	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
	EXISTING WATER MANHOLE		GRADE BREAK
	EXISTING WATER BOX		EXISTING STORM DRAIN LINE
	EXISTING WATER VALVE		PROPOSED STORM DRAIN LINE
	PROPOSED WATER VALVE		ROOF DRAIN LINE
	EXISTING FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE HYDRANT		EXISTING FIRE LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING SANITARY SEWER
	EXISTING SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
	PROPOSED SECONDARY WATER VALVE		PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE		EXISTING LAND DRAIN LINE
	EXISTING SANITARY SEWER MANHOLE		PROPOSED LAND DRAIN LINE
	EXISTING SANITARY SEWER MANHOLE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	EXISTING SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING SECONDARY WATER LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED C & S WATER SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED IRRIGATION LINE
	EXISTING STORM DRAIN CONDUIT BOX		EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN CONDUIT BOX		EXISTING ELECTRICAL LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING GAS LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING TELEPHONE LINE
	EXISTING STORM DRAIN CLEAN OUT		ACCESSIBLE ROUTE
	TEMPORARY BAG INLET PROTECTION		SAW CUT LINE
	TEMPORARY IN-LINE INLET PROTECTION		STRAW WATTLE
	ROOF DRAIN		TEMPORARY BEAM
	EXISTING ELECTRICAL MANHOLE		TEMPORARY SILT FENCE
	EXISTING ELECTRICAL BOX		LIMITS OF DISTURBANCE
	EXISTING TRANSFORMER		EXISTING WALL
	EXISTING UTILITY POLE		PROPOSED WALL
	EXISTING LIGHT		EXISTING CONTOURS
	PROPOSED LIGHT		PROPOSED CONTOURS
	EXISTING GAS METER		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS MANHOLE		PUBLIC DRAINAGE EASEMENT
	EXISTING GAS VALVE		EXISTING ASPHALT TO BE REMOVED
	EXISTING TELEPHONE MANHOLE		PROPOSED ASPHALT
	EXISTING TELEPHONE BOX		EXISTING CURB AND GUTTER
	EXISTING TRAFFIC SIGNAL BOX		PROPOSED CURB AND GUTTER
	EXISTING CABLE BOX		PROPOSED REVERSE FAN CURB AND GUTTER
	EXISTING BOLLARD		TRANSITION TO REVERSE FAN CURB
	PROPOSED BOLLARD		CONCRETE TO BE REMOVED
	EXISTING SIGN		EXISTING CONCRETE
	PROPOSED SIGN		PROPOSED CONCRETE
	EXISTING SPOT ELEVATION		BUILDING TO BE REMOVED
	PROPOSED SPOT ELEVATION		EXISTING BUILDING
	EXISTING FLOW DIRECTION		PROPOSED BUILDING
	EXISTING TREE		
	DENSE VEGETATION		

NOTE: MAY CONTAIN DIMENSIONS THAT ARE NOT SHOWN ON THIS PLAN SET.

REVISIONS	BY



REVIEW SET

PHASE I RESIDENTIAL DEVELOPMENT  
THE CLIFFS AT JORDAN STATION  
10464 SOUTH JORDAN GATEWAY

**EN SIGN**  
THE STANDARD IN ENGINEERING

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SALT LAKE CITY  
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TOOELE  
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CEDAR CITY  
Phone: 435.866.1483

HIGHFIELD  
Phone: 435.836.2603

WWW.ENSIGNENGINEERING.COM

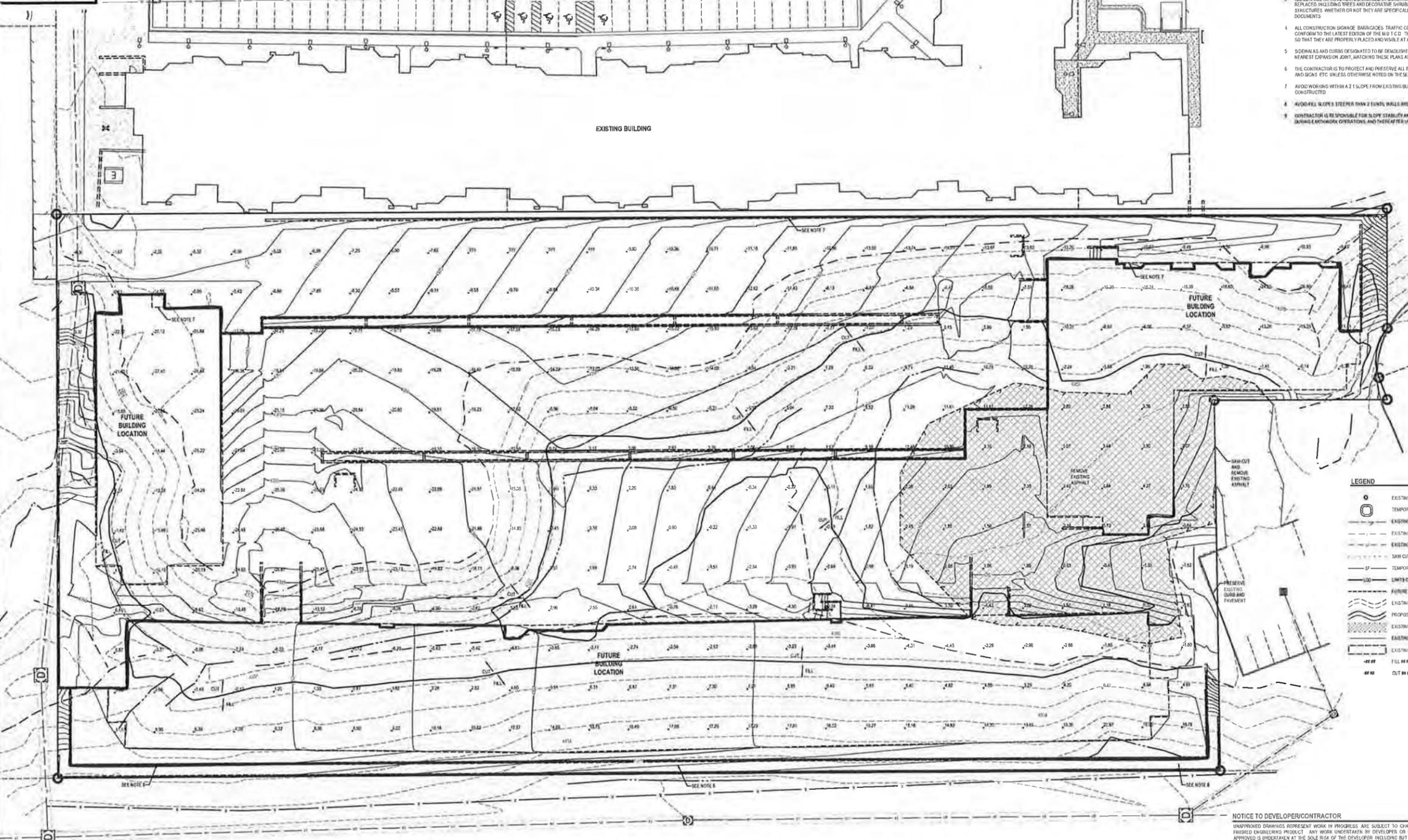
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OFFICE	
CHECKED	
BY	
DATE	
10/20/15	
SCALE	
JOB NO.	09498
SHEET	

GENERAL NOTES  
C-001



**811** CALL BEFORE YOU DIG  
 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION

**BENCHMARK**  
 CENTER OF SECTION 13  
 151.00  
 ELEVATION + 427.65  
 TAKEN FROM STATION SQUARE PHASE 1  
 MARKED BY NORTH BAY ENGINEERING



- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IF IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
  3. ALL SURFACE IMPROVEMENTS DESIRED BY CONSTRUCTION SHALL BE REPEATED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOO FENCE, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
  4. ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES ETC. SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD. THE CONTRACTOR WILL MAINTAIN DOGS SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
  5. SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
  6. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES AND SIGNS ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
  7. AVOID WORKING WITHIN A 2:1 SLOPE FROM EXISTING BUILDINGS UNTIL WALLS ARE CONSTRUCTED.
  8. AVOID FILL SLOPES STEEPER THAN 2:1 UNTIL WALLS ARE CONSTRUCTED.
  9. CONTRACTOR IS TO BE RESPONSIBLE FOR SOIL STABILITY AND ALL OTHER SAFETY CONCERNS DURING NETWORK OPERATION, AND THEREAFTER UNTIL FINAL USE IS CONSTRUCTED.

REVISIONS	BY



REVIEW SET

PHASE II RESIDENTIAL DEVELOPMENT  
 THE CLIFFS AT JORDAN STATION  
 10464 SOUTH JORDAN GATEWAY

**EN SIGN**  
 THE STANDARD IN ENGINEERING

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**SALT LAKE CITY**  
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**TODDLE**  
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**CEDAR CITY**  
 Phone: 435.865.1453

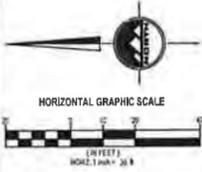
**RICHFIELD**  
 Phone: 435.895.2953

WWW.ENSIGNENR.COM

**DRAWN**  
 OFFICE  
 CHECKED  
 MS  
 DATE  
 10/20/15  
 SCALE

JOB NO.  
 59498  
 SHEET  
 MASS GRADING  
 PLAN  
 C-200

SHEETS



- LEGEND**
- EXISTING REBAR AND CAP
  - TEMPORARY IN-LINE INLET PROTECTION
  - EXISTING EDGE OF ASPHALT
  - EXISTING PEACE
  - EXISTING STOP/DRY DOWN LINE
  - SAW CUT LINE
  - TEMPORARY SUTURE FENCE
  - LIMITS OF PERFORMANCE
  - FUTURE WALL
  - EXISTING CURB AND PAVEMENT
  - PROPOSED CONTOURS
  - EXISTING ASPHALT TO BE REMOVED
  - EXISTING CONCRETE
  - EXISTING BUILDING
  - FILL 0% OR FEET
  - CUT 0% OR FEET

**NOTICE TO DEVELOPER/CONTRACTOR**  
 UNIMPROVED DRAWINGS REPRESENT WORK IN PROGRESS. ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER INCLUDING BUT NOT LIMITED TO BIDS ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

**UTILITY DISCLAIMER**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

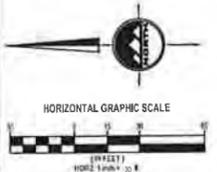
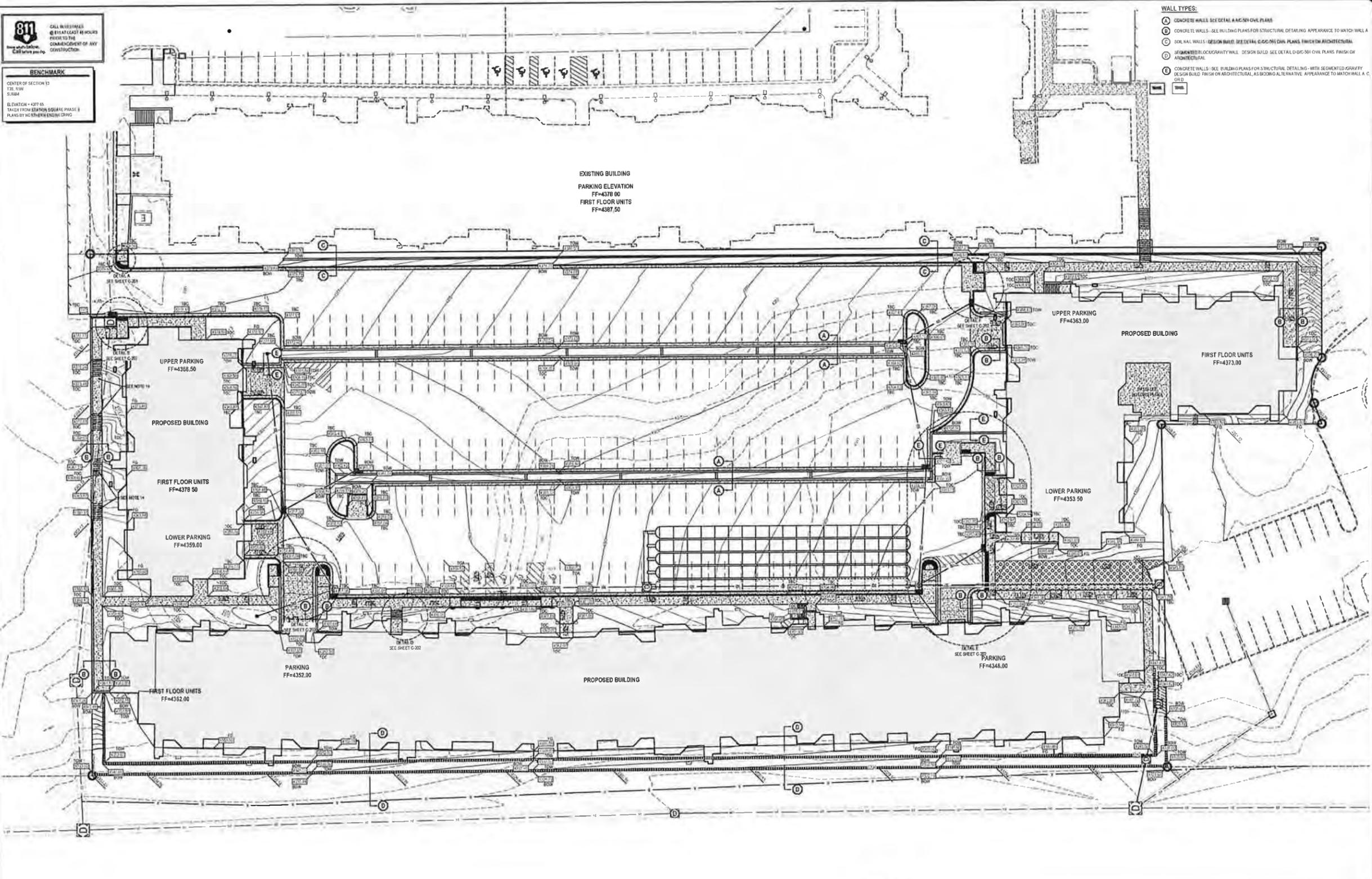
**NOTICE TO CONTRACTOR**  
 ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

**811**  
CALL 811 AT LEAST 48 HOURS BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION.

**BENCHMARK**  
CENTER OF SECTION 13  
T2E 83W  
S.6884  
ELEVATION = 4377.45  
TAKEN FROM SURVEY SQUARE PHASE I PLANS BY ROCKWELL ENGINEERING

- WALL TYPES:**
- A CONCRETE WALLS - SEE DETAIL A AND CIVIL PLANS
  - B CONCRETE WALLS - SEE BUILDING PLANS FOR STRUCTURAL DETAILING. APPEARANCE TO MATCH WALL A.
  - C SOLAR WALLS - DESIGN BUILT. SEE DETAIL C AND CIVIL PLANS. FINISH ON ARCHITECTURAL.
  - D SEGMENTED BLOCK GRAVITY WALL - DESIGN BUILT. SEE DETAIL D AND CIVIL PLANS. FINISH ON ARCHITECTURAL.
  - E CONCRETE WALLS - SEE BUILDING PLANS FOR STRUCTURAL DETAILING. WITH SEGMENTED GRAVITY DESIGN BUILT. FINISH ON ARCHITECTURAL. AS BIDDING ALTERNATIVE. APPEARANCE TO MATCH WALL A. OR D.



- GENERAL NOTES**
- 1 ALL WORK TO COMPLY WITH SOUTH JORDAN CITY STANDARDS AND SPECIFICATIONS AND APWA STANDARDS AND SPECIFICATIONS.
  - 2 ALL IMPROVEMENTS MUST COMPLY WITH SDAS STANDARDS AND RECOMMENDATIONS.
  - 3 ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEO-TECHNICAL ENGINEER (GEOLOGIST) INCLUDING, BUT NOT LIMITED TO, REMOVAL OF INCONSOLIDATED FILL, CORROSION AND CORRECT PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE AND OVERLICATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
  - 4 THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
  - 5 LANDSCAPES SHALL BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND PROTECTIVE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
  - 6 SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
  - 7 EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO WARRANTIES SHALL BE MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED BY THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND AS SHOWN INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
  - 8 ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER SOUTH JORDAN CITY OR APWA STANDARD PLANS AND SPECIFICATIONS.
  - 9 THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED TO COMPLY WITH LOCAL, GOVERNMENT, AGENCY STANDARDS AND SPECIFICATIONS.
  - 10 NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
  - 11 ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANHOLE ENGINEER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
  - 12 ALL FACILITIES WITH DOWNSPOUTS ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE MECHANICAL/PLUMBING PLANS FOR DOWNSPOUT ROOF DRAIN LOCATION AND SIZES.
  - 13 THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SOILS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
  - 14 THE INTENT OF THE STAKES AT THE NORTH PROPERTY LINE IS TO MATCH TO EXISTING GRADE AS CLOSE AS POSSIBLE. ADJUSTMENT MAY BE REQUIRED TO FIT TO FIELD CONDITIONS WITHIN THE PARAMETERS OF THE ARCHITECTURAL DETAILS.

REVISIONS	BY



PHASE II RESIDENTIAL DEVELOPMENT  
THE CLIFFS AT JORDAN STATION  
10464 SOUTH JORDAN GATEWAY

**ENSIGN**  
THE STANDARD IN ENGINEERING

LAYTON  
1485 W. 9000th Rd. Ste. 204  
Layton, UT 84041  
Phone: 801.547.1100

SALT LAKE CITY  
Phone: 801.255.0520

TOOELE  
Phone: 435.843.3030

CEDAR CITY  
Phone: 435.865.1423

RICHFIELD  
Phone: 435.868.2897

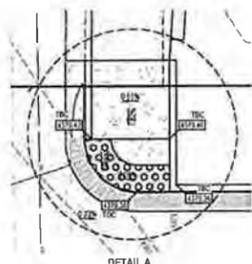
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DRAWN  
OFFICE  
CHECKED  
MS  
DATE  
10/20/15  
SCALE  
JOB NO.  
58488  
SHEET  
GRADING PLAN  
C-201  
OF SHEETS

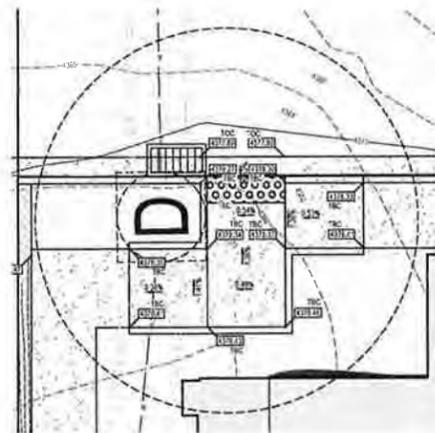


CALL BEFORE YOU DIG  
 @ 811 AT LEAST 48 HOURS  
 PRIOR TO THE  
 COMMENCEMENT OF ANY  
 CONSTRUCTION  
 Call before you dig.

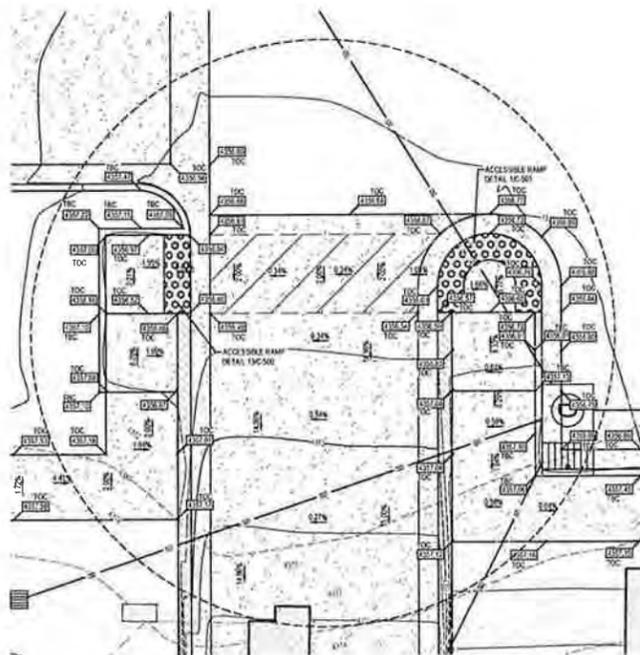
**BENCHMARK**  
 CENTER OF SECTION 13  
 T&E R/W  
 SLS&M  
 ELEVATION = 4377.65  
 TAKEN FROM STATION SQUARE PHASE I  
 PLANS BY NORTHERN ENGINEERING



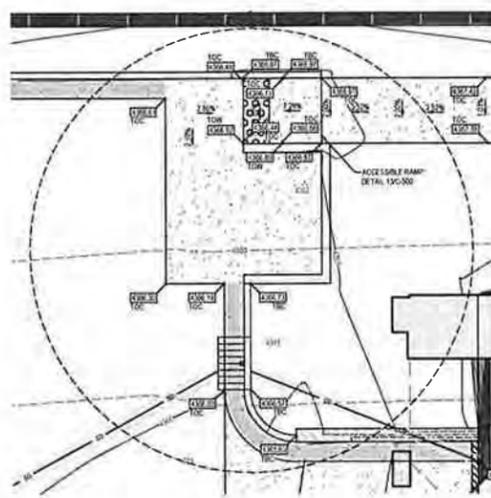
DETAIL A



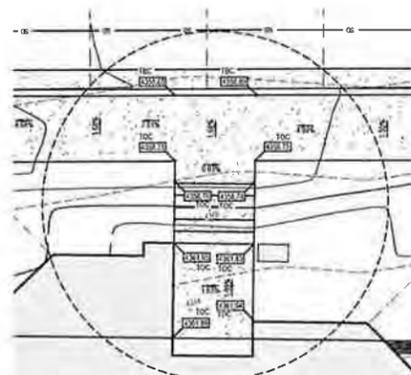
DETAIL B



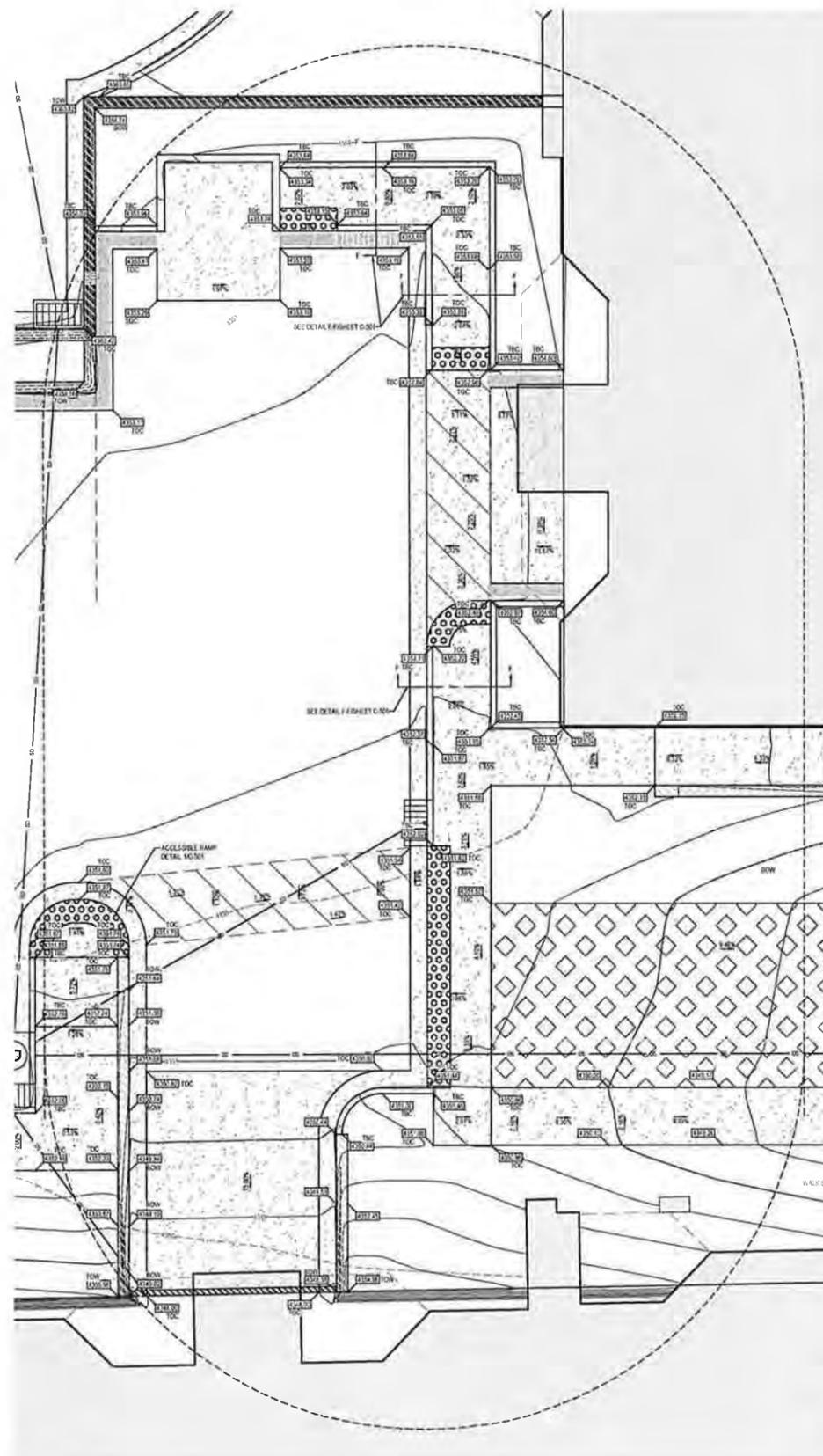
DETAIL C



DETAIL F



DETAIL D



DETAIL E



REVISIONS	BY



REVIEW SET

PHASE II RESIDENTIAL DEVELOPMENT  
 THE CLIFFS AT JORDAN STATION  
 10464 SOUTH JORDAN GATEWAY



**LAYTON**  
 1405 W 1100 PARK RD, Ste. 204  
 Layton, UT 84041  
 Phone: 801-547-1100

**SALT LAKE CITY**  
 Phone: 801-255-0229

**TODDLE**  
 Phone: 435-543-3580

**CEDAR CITY**  
 Phone: 435-595-1453

**RICHFIELD**  
 Phone: 435-887-2983

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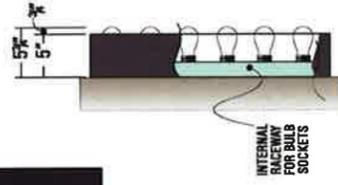
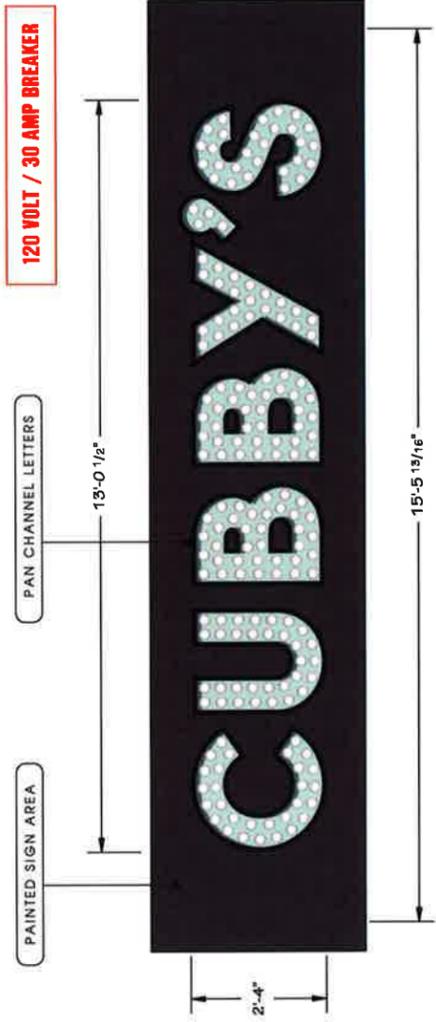
DESIGN
OFFICE
CHECKED
MS
DATE
10/20/15
SCALE
AS SHOWN
DATE
10/20/15
SHEET
C-202

GRADING DETAILS  
 C-202



**PAN CHANNEL LETTERS W. INCANDESCENT LAMP SOCKETS**

Qty 1 Set Pan Channel Letters w. Incandescent Lamp Sockets  
 Spaced Equally Within Letter Channels  
 Retainers: 1" .063 Aluminum Retainers Painted Black  
 Returns: 5" .063 Aluminum Returns Painted Black  
 Letter Interior Painted Pale Green to Match Pantone 558c  
 Lighting: 2.38" LED Frosted White Lamps w. Internal Raceway  
 Sign Area to be Painted Black Prior to Letter Installation  
 \*Survey of Sign Band Required for Sizing Verification



**1 PAN CHANNEL LETTERS W. INCANDESCENT LAMP SOCKETS**  
 Scale: 1/2" = 1'-0" (11" x 17" Page Size)

IG GROUP SIGN & CONSTRUCTION IS A CONTRACTOR WITH THE STATE OF UTAH - CONTRACTOR LICENSE 7922686-5501 8100 AND 5440 - WORKS COMPENSATION #2618676 - \$2,000,000 LIABILITY INSURANCE - DRAWING IS REPRESENTATIONAL ONLY. SCALE, SIZING AND COLOR MAY VARY REFER TO PROPOSAL FOR EXACT SPECS.

**IG Group**  
 SIGN & CONSTRUCTION  
 5823 North 100 East, Lehi, UT 84043  
 office: 801.766.0464 fax: 801.766.0466

**INSTALL ADDRESS:**  
 Cubby's  
 11501 South 4000 West  
 South Jordan, Utah 84095  
 Renee Bush 931.478.0588  
 renee@7d8.co

**DESIGN #** C SJ CL 004-15  
**DATE** 01/26/16  
**DESIGNER** MAT  
**SALES PERSON** Joe Dicenzo 801.836.7446  
 \_\_\_\_\_  
 SIGNATURE REQUIRED FOR PRODUCTION  
**DATE** \_\_\_\_\_

**PROUD MEMBER OF:**

THIS DRAWING WAS CREATED TO ASSIST YOU IN VISUALIZING OUR PROPOSAL AND CANNOT BE COPIED OR REVISED IN ANY FORM. THE ORIGINAL IDEAS HEREIN ARE THE EXCLUSIVE PROPERTY OF IG GROUP.

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 CALL BLUESTARS  
 @ 811 AT LEAST 48 HOURS  
 BEFORE THE  
 COMMENCEMENT OF ANY  
 CONSTRUCTION

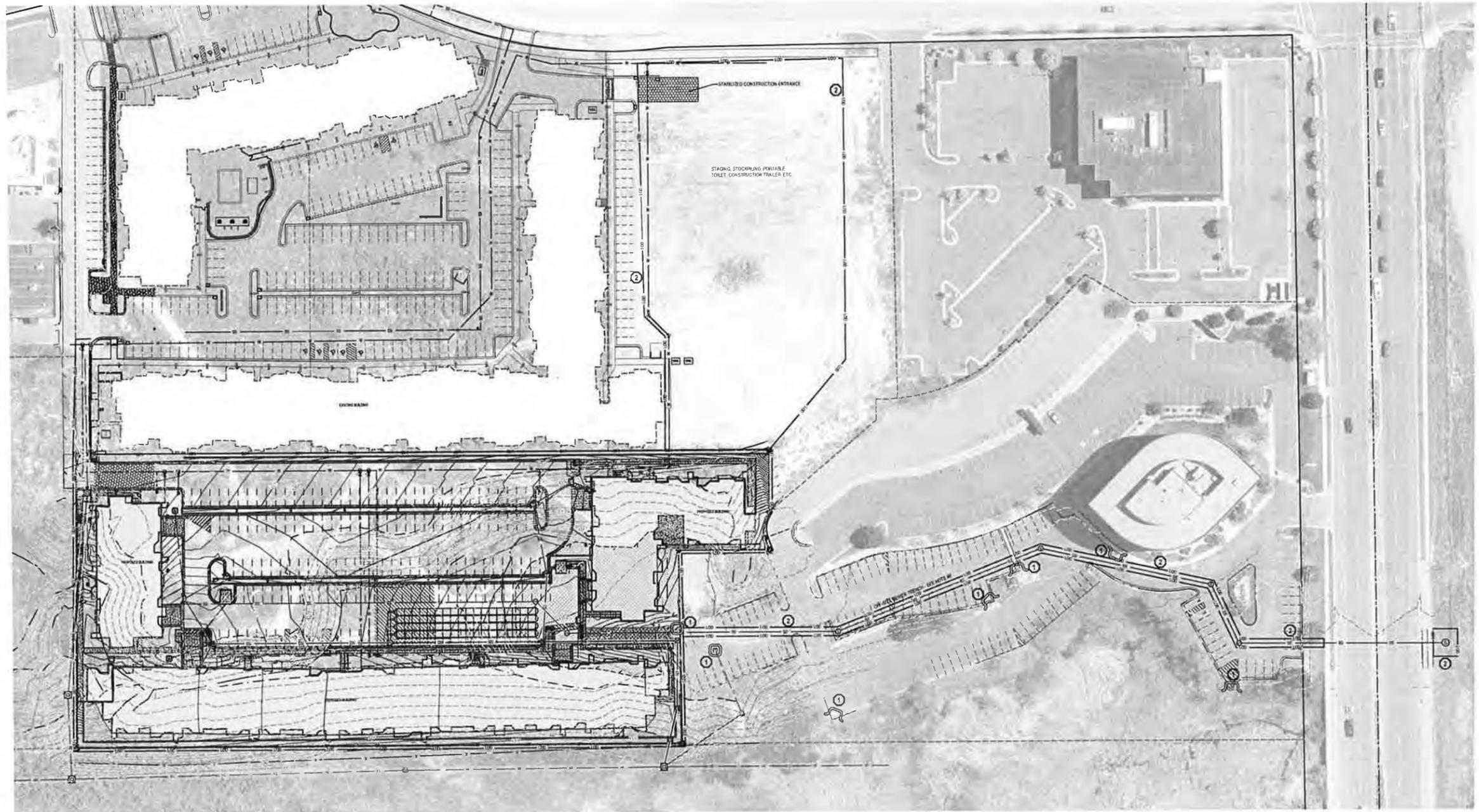
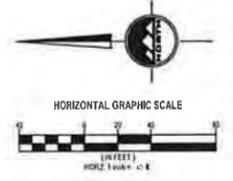
**BENCHMARK**  
 CENTER OF SECTION IS  
 THE B.M.  
 MARK

ELEVATION + 400 IS  
 TAKEN FROM LAYTON SQUARE PHASE I  
 PLANS BY NORTHERN ENGINEERING

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

- GENERAL NOTES**
- THIS PLAN IS DESIGNED AS A BEST APPROXIMATION OF NECESSARY MEASURES TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OPERATOR TO ADD UNANTICIPATED BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY. MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. RECORD, AND SIGN ALL CHANGES TO THIS PLAN. THESE CHANGES SHALL BE MADE BY THE OPERATOR OF THE SITE AND RECORDED BY THE OPERATOR ON A COPY OF THE SWPPP KEPT ON-SITE.
  - DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
  - RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINAL GRADE TO STABILIZE SOILS. LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
  - DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
  - VARIATIONS OF BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMPs TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
  - NOT ALL POSSIBLE BMPs HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
  - A SPDES SUDAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (PDES) IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.
  - OFF-SITE INLET PROTECTION IS REQUIRED PRIOR TO CUTTING AND REMOVING TRENCH PAVEMENT, MAY BE REMOVED ONCE TRENCH IS REPAIRED AND CLEANED UP.
  - SEE SHEET C-401 FOR EARTHWORK PHASE EROSION AND SEDIMENT CONTROLS.
  - SEE SHEET C-402 FOR SITE WORK PHASE EROSION AND SEDIMENT CONTROLS.

- SCOPE OF WORK:**
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS
- 1 INLET PROTECTION PER DETAIL C-300
  - 2 LIMITS OF DISTURBANCE



REVISIONS	BY



REVIEW SET

PHASE II RESIDENTIAL DEVELOPMENT  
 THE CLIFFS AT JORDAN STATION  
 10464 SOUTH JORDAN GATEWAY

**ENSIGN**  
 THE STANDARD IN ENGINEERING

**LAYTON**  
 1405 W. 1400 S. SUITE 204  
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**SALT LAKE CITY**  
 Phone: 801.255.0529

**TODDLE**  
 Phone: 435.843.3580

**CEDAR CITY**  
 Phone: 435.695.1453

**RICHFIELD**  
 Phone: 435.898.2953

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DRAWN  
 OFFICE  
 C-400/000  
 MS  
 DATE  
 10/20/15  
 SCALE

JOB NO.  
 08499  
 SHEET

OVERALL EROSION  
 CONTROL PLAN  
 C-400  
 OF 2 SHEETS



**BENCHMARK**  
 CENTER OF SECTION 13  
 135' R/W  
 SLAB  
 ELEVATION = 4892.5  
 TAKEN FROM STATION 50441C PHASE 1  
 PLANS BY NORTHERN ENGINEERING

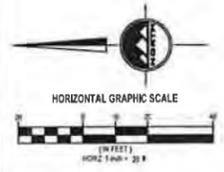
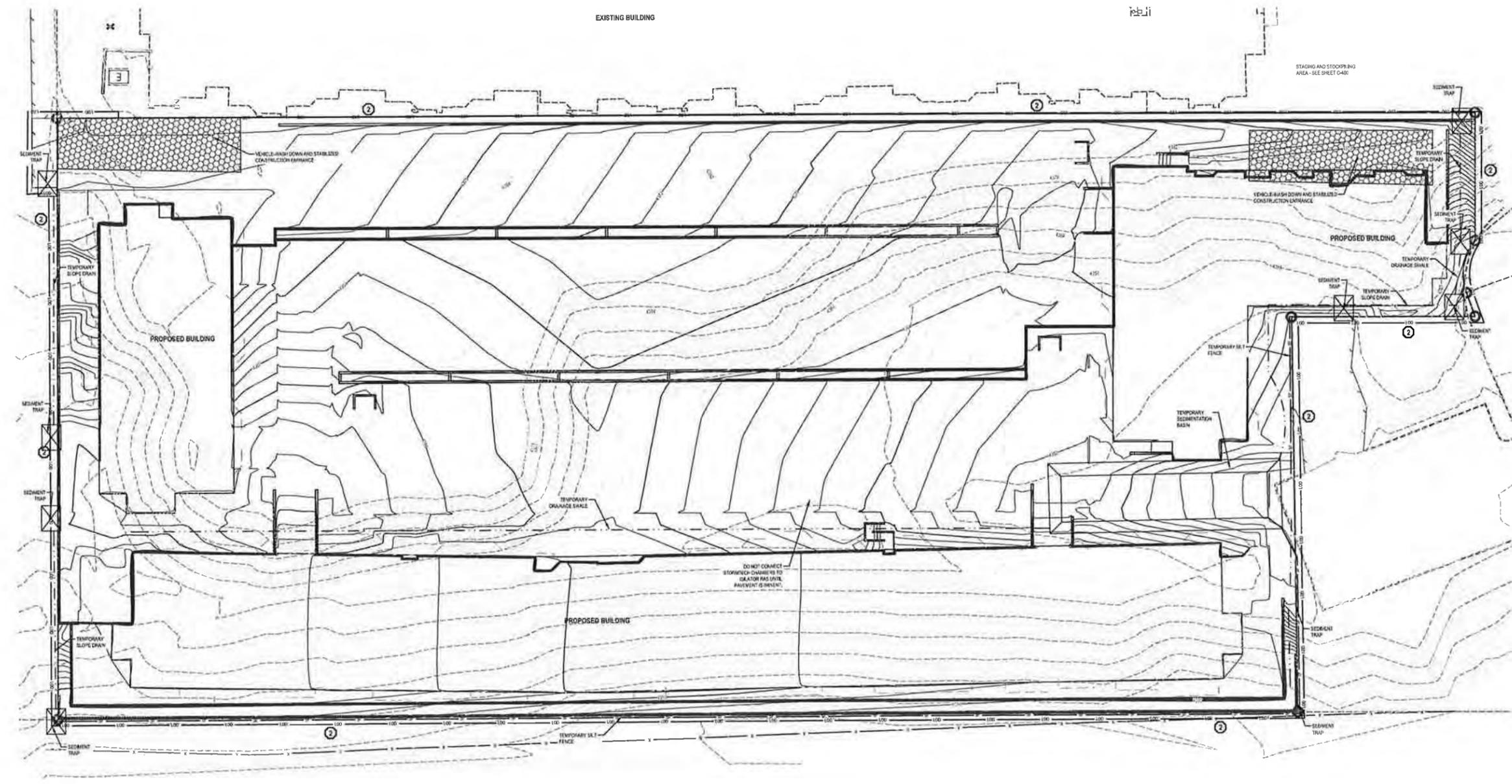
REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
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7			
8			
9			
10			
11			
12			

**GENERAL NOTES**

- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD UNWARRANTED BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY. HAZARDOUS MATERIALS SHOULD BE PROPERLY STORED AND HANDLED. THOSE FOUND TO BE UNDESIRABLE, FEDERAL AND STATE LAW ALLIANCE THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ON SITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ON SITE.
- DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY ON THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBANCE ACTIVITIES WILL BE RESUMED WITHIN 31 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- RESERVED DISTURBED LAND WITHIN THE GRASS MEASURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE. SOILS AND LANDS NOT TO BE REWORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
- DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT PROOF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
- VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMPs TO OTHER LOCATIONS IF PREFERRED PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
- NOT ALL POSSIBLE BMPs HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
- A UPDES BATH POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 Acre OR MORE.

**SCOPE OF WORK:**  
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS

- INLET PROTECTION PER DETAIL 3C-500
- LIMITS OF DISTURBANCE



REVISIONS	BY



PHASE II RESIDENTIAL DEVELOPMENT  
 THE CLIFFS AT JORDAN STATION  
 10464 SOUTH JORDAN GATEWAY

**ENSIGN**  
 THE STANDARD IN ENGINEERING

LAYTON  
 1485 W 141 Field Rd Ste 204  
 Layton, UT 84041  
 Phone 801 547 1100

SALT LAKE CITY  
 Phone 801 255 0629

TOOELE  
 Phone 435 842 3690

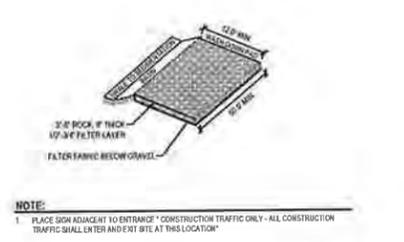
CEDAR CITY  
 Phone 435 805 1453

RICHFIELD  
 Phone 435 896 2383

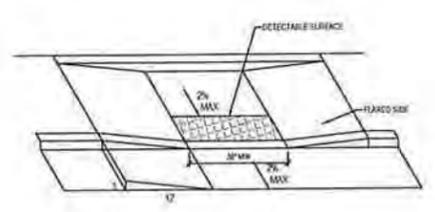
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DESIGN
OFFICE
CREATED
MS
DATE
10/20/15
SCALE
JOB NO.
55499
SHEET
EROSION CONTROL
PLAN - EARTHWORK
PHASE
C-401
SHEET 28

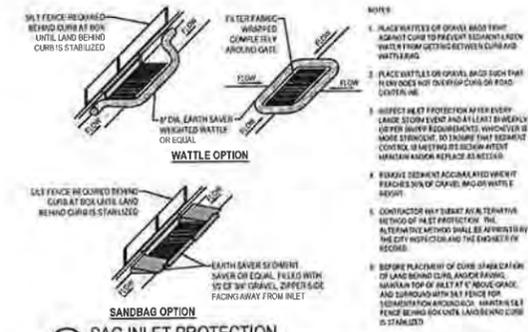




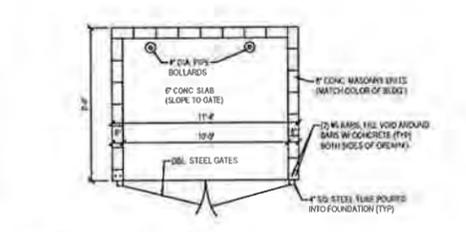
1 STABILIZED CONSTRUCTION ENTRANCE SCALE: NONE



2 PORTABLE TOILET SCALE: NONE

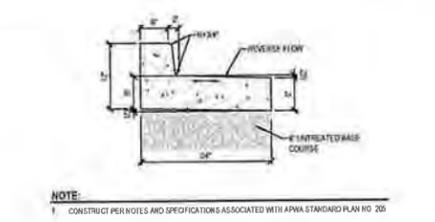


3 SILT INLET PROTECTION SCALE: NONE

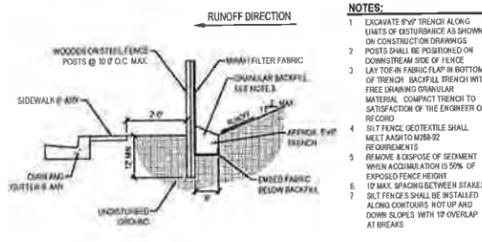


4 TRASH ENCLOSURE (TYP.) SCALE: NONE

5 ACCESSIBLE RAMP (ONSITE) SCALE: NONE



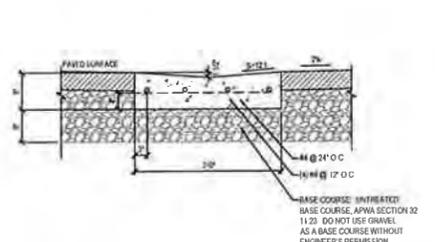
6 24" COLLECTION CURB AND GUTTER SCALE: NONE



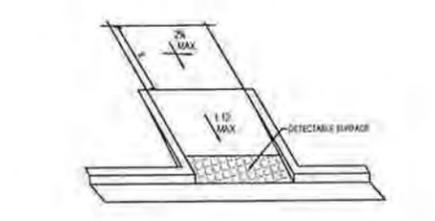
7 CONCRETE SIDEWALK SCALE: NONE



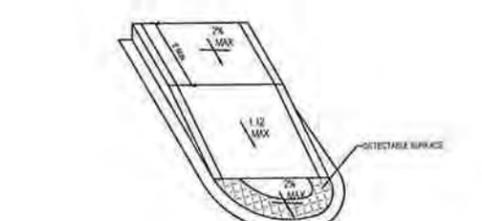
8 STAIR DETAIL SCALE: NONE



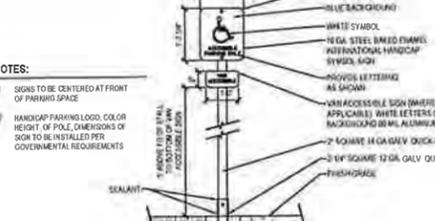
9 24" REVERSE PAN CURB AND GUTTER SCALE: NONE



10 TEMPORARY SILT FENCE SCALE: NONE



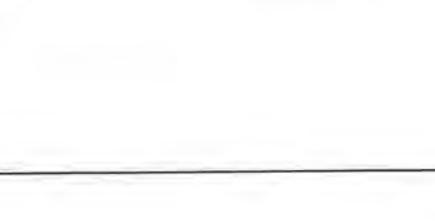
11 DRAINAGE SWALE SCALE: NONE



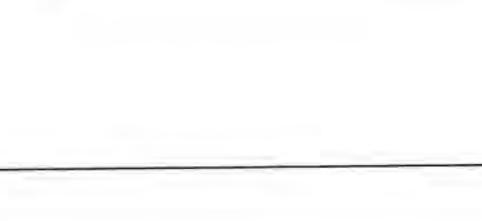
12 3' WATERWAY SCALE: NONE



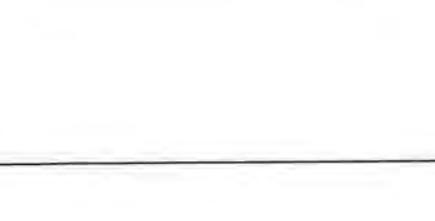
13 ACCESSIBLE RAMP (ONSITE) SCALE: NONE



14 ACCESSIBLE RAMP (ONSITE) SCALE: NONE



15 ACCESSIBLE PARKING SIGN SCALE: NONE



REVISIONS	BY



REVIEW SET

PHASE II RESIDENTIAL DEVELOPMENT  
THE CLIFFS AT JORDAN STATION  
10464 SOUTH JORDAN GATEWAY

**ENSIGN**  
THE STANDARD IN ENGINEERING

LAYTON  
1485 W. 4610 Rd., Ste 204  
Layton, UT 84041  
Phone: 801 547 1100

SALT LAKE CITY  
Phone: 801 255 0529

TOOELE  
Phone: 435 843 3590

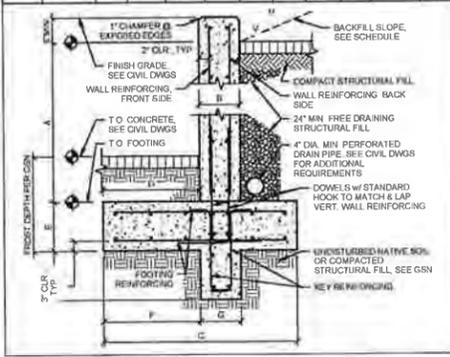
CEDAR CITY  
Phone: 435 865 1453

RICHFIELD  
Phone: 435 898 2983

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DESIGN
OFFICE
CHECKED
MS
DATE
10/20/15
SCALE
JOB NO.
59499
SHEET
DETAILS
C-500

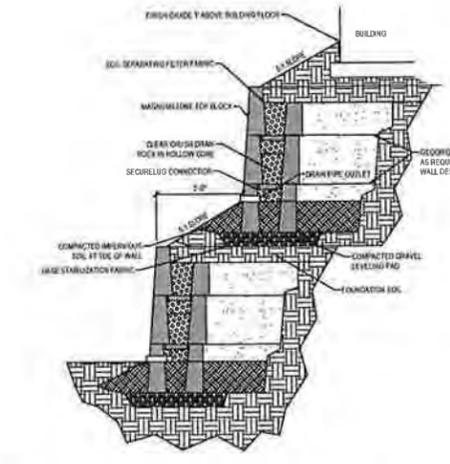
WALL DIMENSIONS		FOOTING DIMENSIONS		KEY DIMENSIONS		WALL REINFORCING				FOOTING REINFORCING				KEY REINFORCING				BACKFILL SLOPE (H:V)											
MARK	A	B	C	D	E	F	G	H	SIZE	SPACING	LOCATION	SIZE	SPACING	SIZE	SPACING	LOCATION	SIZE	SPACING	LOCATION	SIZE	SPACING	LOCATION	SIZE	SPACING	LOCATION	SIZE	SPACING	LOCATION	
RAW1	12"	8"	8"	12"	12"	12"	12"	12"	#5	18" O.C.	FACE	#5	18" O.C.	#5	18" O.C.	TOP & BOTTOM	#5	18" O.C.	FACE	#5	18" O.C.	FACE	#5	18" O.C.	FACE	#5	18" O.C.	FACE	1.5:1
RAW2	12"	8"	8"	12"	12"	12"	12"	12"	#5	18" O.C.	FACE	#5	18" O.C.	#5	18" O.C.	TOP & BOTTOM	#5	18" O.C.	FACE	#5	18" O.C.	FACE	#5	18" O.C.	FACE	#5	18" O.C.	FACE	1.5:1
RAW3	12"	8"	8"	12"	12"	12"	12"	12"	#5	18" O.C.	FACE	#5	18" O.C.	#5	18" O.C.	TOP & BOTTOM	#5	18" O.C.	FACE	#5	18" O.C.	FACE	#5	18" O.C.	FACE	#5	18" O.C.	FACE	1.5:1
RAW4	12"	8"	8"	12"	12"	12"	12"	12"	#5	18" O.C.	FACE	#5	18" O.C.	#5	18" O.C.	TOP & BOTTOM	#5	18" O.C.	FACE	#5	18" O.C.	FACE	#5	18" O.C.	FACE	#5	18" O.C.	FACE	1.5:1
RAW5	12"	8"	8"	12"	12"	12"	12"	12"	#5	18" O.C.	FACE	#5	18" O.C.	#5	18" O.C.	TOP & BOTTOM	#5	18" O.C.	FACE	#5	18" O.C.	FACE	#5	18" O.C.	FACE	#5	18" O.C.	FACE	1.5:1
RAW6	12"	8"	8"	12"	12"	12"	12"	12"	#5	18" O.C.	FACE	#5	18" O.C.	#5	18" O.C.	TOP & BOTTOM	#5	18" O.C.	FACE	#5	18" O.C.	FACE	#5	18" O.C.	FACE	#5	18" O.C.	FACE	1.5:1
RAW7	12"	8"	8"	12"	12"	12"	12"	12"	#5	18" O.C.	FACE	#5	18" O.C.	#5	18" O.C.	TOP & BOTTOM	#5	18" O.C.	FACE	#5	18" O.C.	FACE	#5	18" O.C.	FACE	#5	18" O.C.	FACE	1.5:1



**NOTES:**

- CONTRACTOR TO DETERMINE WHICH WALL TYPE WITHIN MARK RAWXX SHALL BE USED BASED ON MAXIMUM RETAINED HEIGHT OF SOIL ABOVE TOP OF FOOTING SHALL DETERMINE ALL TYPICAL UNDO WHERE ELEMENTS OCCUR ABOVE RETAINING WALL (I.E. FENCE, ETC.). SEE ARCHITECTURAL DRAWINGS IN 0 WHERE ONLY ONE MAT OF REINFORCING IS DESIGNATED. USE THE "VERTICAL - BACK SIDE" REINFORCING SPECIFIED IN THE TABLE AND CENTER THE BARS IN THE WALL.
- ALL SOIL MUST BE PLACED IN THE PLANTER BED PRIOR TO BACKFILLING AGAINST THE BACK OF THE RETAINING WALL.
- PROVIDE DRAINS IN THE BOTTOM OF THE PLANTER BED.
- ALL RETAINING WALLS OVER 8' TALL MUST HAVE THE SOIL PRESSURE PARAMETERS CHECKED FOR COMPLIANCE WITH THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER OF RECORD PRIOR TO REBAR FABRICATION ON FOOTING PLACEMENT.
- THE RW 1 THROUGH RW 5 WALLS ARE TO BE USED WHERE TWO RETAINING WALLS OCCUR WITHIN 6' OF ONE ANOTHER AS THE MAIN WALL. THE CONTRACTOR SHALL CHOOSE WHICH WALL TO USE BASED ON THE MAXIMUM RETAINED HEIGHT FROM THE UPPERMOST FIN TO THE FINISH GRADE BELOW BOTH WALLS. RW 6 AND RW 7 WALLS ARE TO BE USED FOR THE LOWER SHORTER OF THE TWO WALLS ACCORDING TO THE TO THE DIFFERENCE IN GRADE. THE VERTICAL REINFORCING SHALL BE DEVELOPED INTO THE FOOTING WITH A STANDARD HOOK. SEE SKETCH FOR MAIN WALL VERSUS LOWER SHORTER WALL ORIENTATION.

**A-A CONCRETE WALL DETAIL A-A AND SCHEDULE** SCALE: NONE

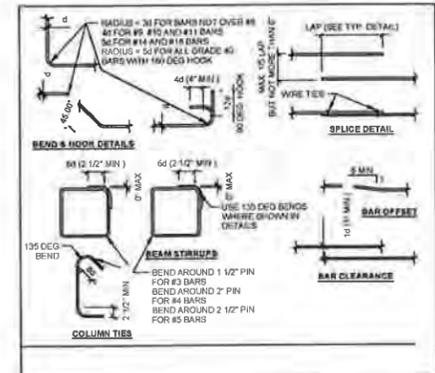


**D-D SEGMENTED BLOCK/GRAVITY WALL** SCALE: NONE

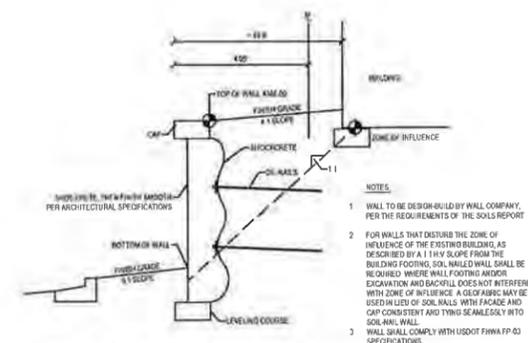
**NOTES:**

- ALL LAP SPlice LENGTHS ARE CLASS B UNLESS NOTED OTHERWISE ON PLANS.
- HORIZONTAL BARS ARE CLASSIFIED AS TOP BARS WHERE 12" OR MORE OF FRESH CONCRETE IS CAST BELOW LAP SPlice.
- FOR ALL EPOXY COATED BARS, LAP SPlice LENGTHS SHALL BE MULTIPLIED BY 1.5 WHEN CLEAR SPACING IS LESS THAN 36" AND CLEAR SPACING IS LESS THAN 66", OR 1.2 FOR ALL OTHER EPOXY COATED BARS.
- FOR ALL LIGHT WEIGHT CONCRETE, LAP SPlice LENGTHS SHALL BE MULTIPLIED BY 1.33.

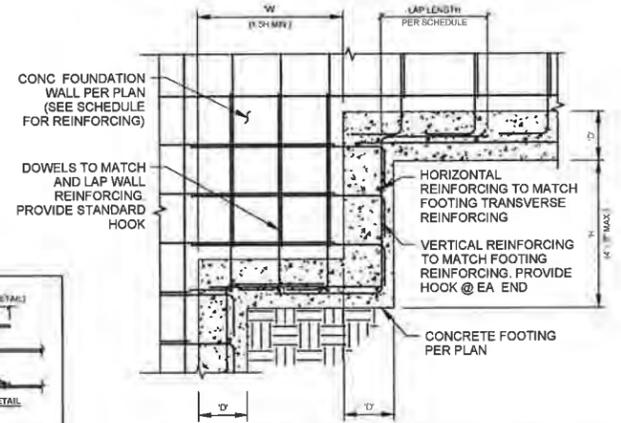
**3 CONCRETE REINFORCED SPlice LENGTH SCHEDULE** SCALE: NONE



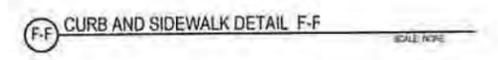
**1 CONCRETE-REINFORCING BAR** SCALE: NONE



**C-C SOIL NAIL WALL DETAIL C-C** SCALE: NONE



**2 CONCRETE-STEPPED FOOTING** SCALE: NONE



**F-F CURB AND SIDEWALK DETAIL F-F** SCALE: NONE

REVISIONS	BY



REVIEW SET

PHASE II RESIDENTIAL DEVELOPMENT  
THE CLIFFS AT JORDAN STATION  
10464 SOUTH JORDAN GATEWAY

**EN SIGN**  
THE STANDARD IN ENGINEERING

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1405 W. 1400 ROAD, Ste. 204  
Layton, UT 84041  
Phone: 801.547.1100

SALT LAKE CITY  
Phone: 801.255.0529

TOOELE  
Phone: 435.843.3590

CEBAN CITY  
Phone: 435.865.1633

RICHFIELD  
Phone: 435.899.2883

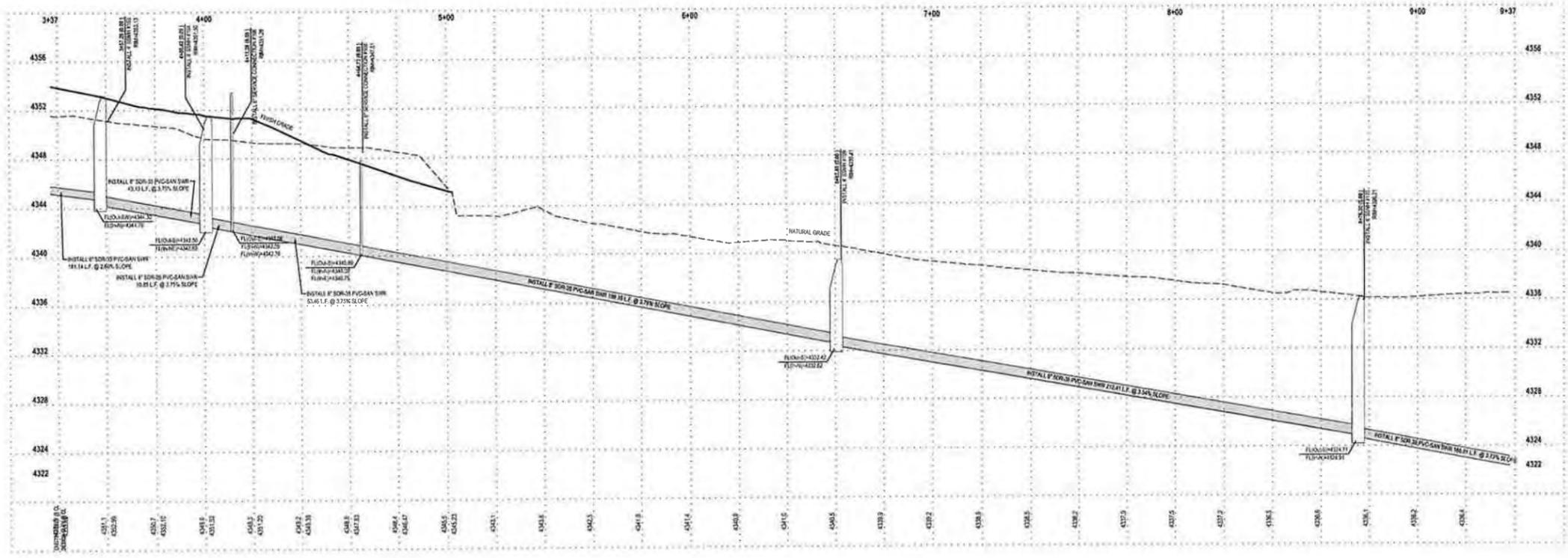
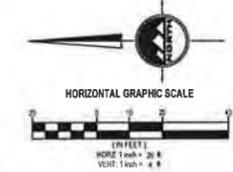
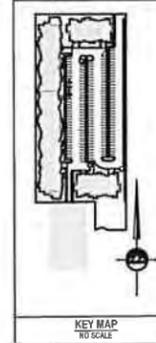
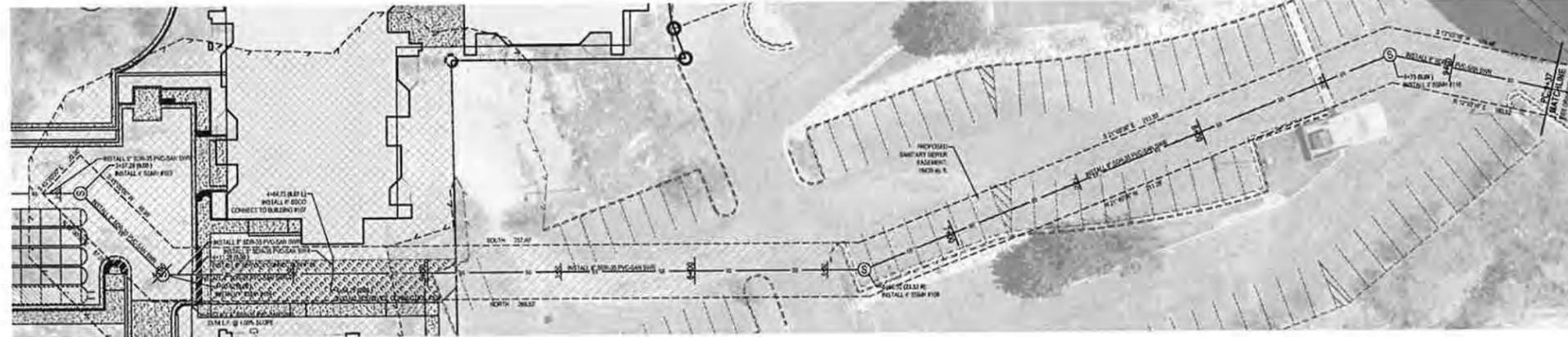
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DRAWN  
OFFICE  
CHECKED  
NO  
DATE  
10/20/15  
SCALE  
JOB NO.  
09498  
SHEET  
DETAILS  
C-501



**811**  
 CALL BEFORE YOU DIG  
 CALL 811 AT LEAST 48 HOURS  
 BEFORE THE COMMENCEMENT OF ANY  
 CONSTRUCTION

**BENCHMARK**  
 CENTER OF SECTION IS  
 735.50M  
 SLBM4  
 ELEVATION = 477.85  
 TAKEN FROM STATION SQUARE PHASE I  
 PLANS BY NORTHERN ENGINEERING



REVISIONS	BY



REVIEW SET

PHASE II RESIDENTIAL DEVELOPMENT  
 THE CLIFFS AT JORDAN STATION  
 10464 SOUTH JORDAN GATEWAY

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SALT LAKE CITY  
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TODDLE  
 Phone: 435.843.3690

CEAR CITY  
 Phone: 435.865.1453

RICHFIELD  
 Phone: 435.882.2888

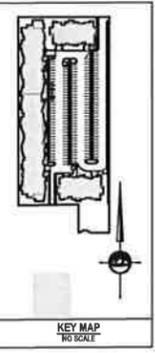
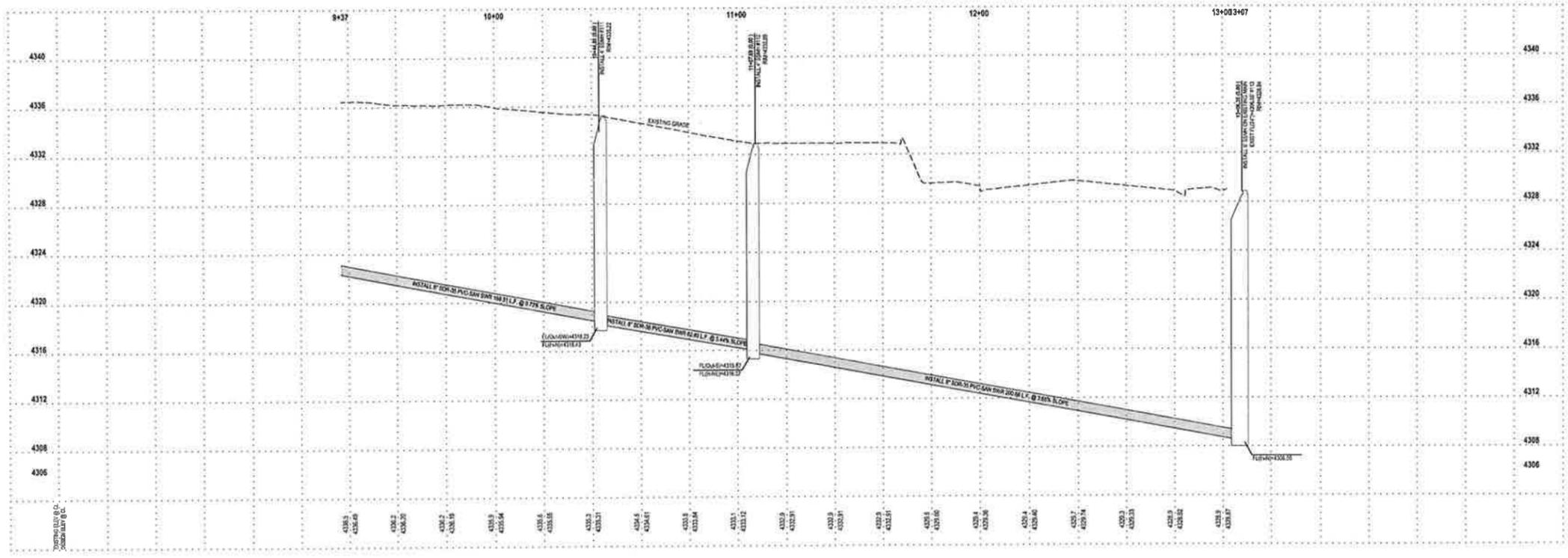
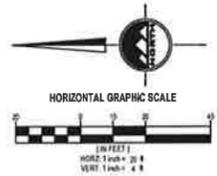
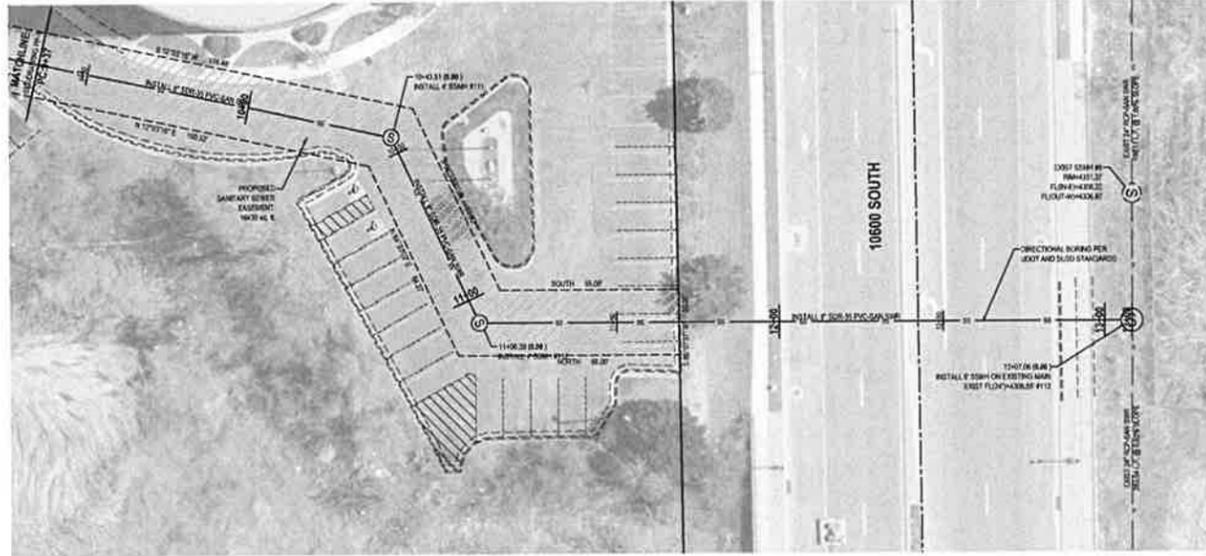
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DRAWN: OFFICE  
 CHECKED: MS  
 DATE: 10/20/15  
 SCALE:

JOB NO.: 09490  
 SHEET: 84  
 SANITARY SEWER  
 PROFILE  
 PP-1

**811**  
CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION  
Call before you dig.

**BENCHMARK**  
CENTER OF SECTION 13  
T35, R1W  
S.86M  
ELEVATION = 4277.85  
TAKEN FROM STATION SQUARE PHASE 1  
PLANS BY NORTHERN ENGINEERING



REVISIONS	BY



PHASE II RESIDENTIAL DEVELOPMENT  
THE CLIFFS AT JORDAN STATION  
10464 SOUTH JORDAN GATEWAY

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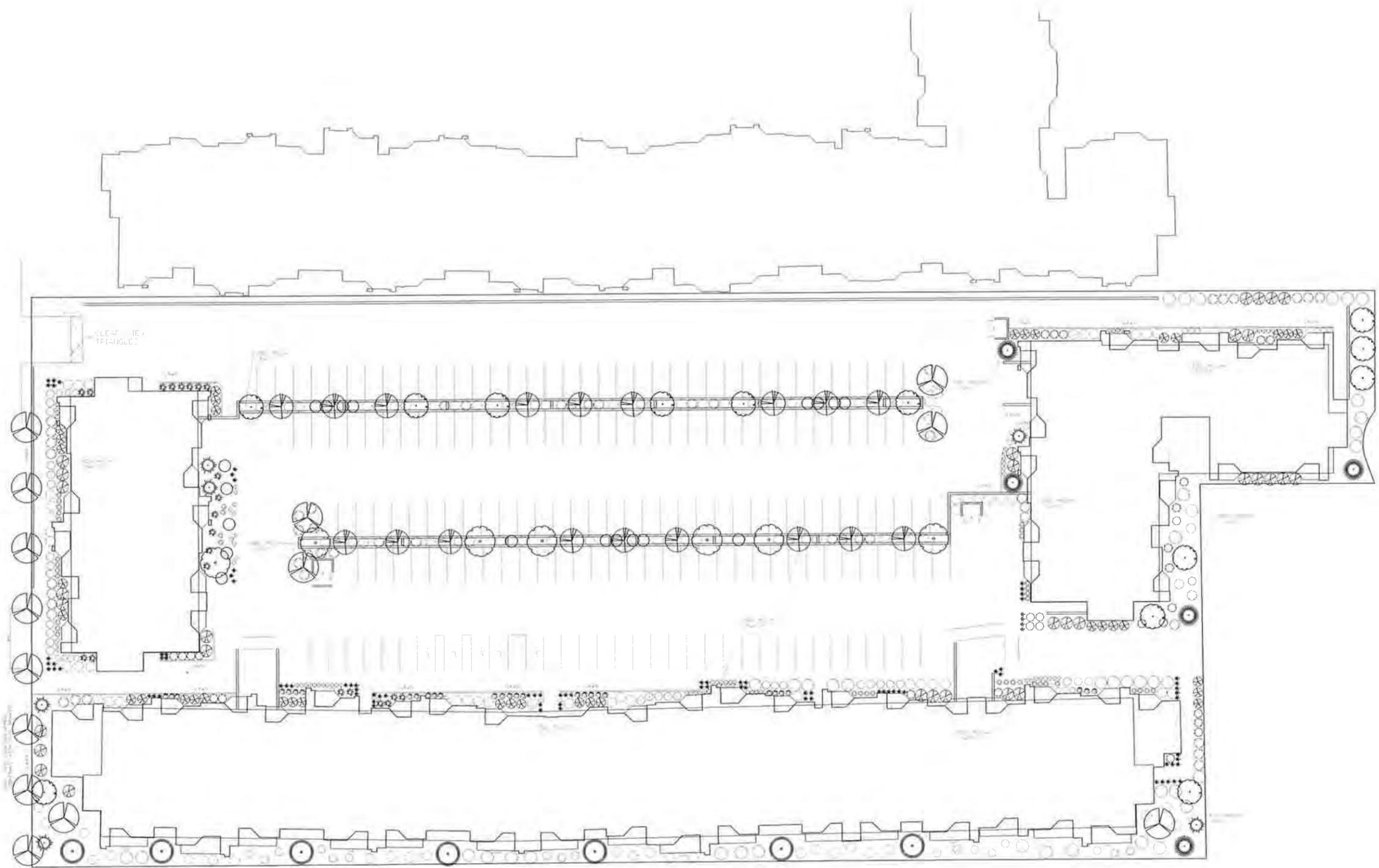
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DATE  
10/20/15  
SCALE

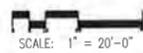
JOB NO.  
09498

SHEET  
SANITARY SEWER  
PROFILE  
PP-2

SHEETS



LANDSCAPE PLAN



REVISIONS	BY



NEW RESIDENTIAL DEVELOPMENT  
 JORDAN STATION APARTMENTS PHASE 2  
 10464 SOUTH JORDAN GATEWAY

**Architects**  
 Raymond Van Noidol & Assoc. Inc.  
 ARCHITECTS • PLANNERS • 1981-742-2000

DATE	08/14/15
BY	BW
DATE	09/02/15
BY	BW
DATE	12-10-15
BY	BW

L101

## PLANTING SCHEDULE

### Broadleaf Deciduous

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
AcAr	AcAr	Acer rubrum 'Armstrong'	Armstrong Maple	2"-Cal	14
Ceca	Ceca	Cercis canadensis	Eastern Redbud	2"-Cal	18
PrKV	PrKV	Prunus cerasifera 'Krauter Vesuvius'	Krauter Vesuvius Flw. Plum	2"-Cal	7
PyCh	PyCh	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2"-Cal	13

### Conifer Evergreen

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
Piac	Piac	Picea abies cupressina	Columnar Norway Spruce	7'-8' Ht.	5
PpFA	PpFA	Picea pungens 'Fat Albert'	Fat Albert Spruce	7'-8' Ht.	4
Pihe	Pihe	Pinus heldrichii leucodermis	Bosnian Redcone Pine	7'-8' Ht.	7

### Perennial

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
HeSt	HeSt	Hemerocallis 'Stella d'Oro'	Stella d'Oro Daylily	1-Gal	78
HeRI	HeRI	Heuchera 'Raspberry Ice'	Raspberry Ice Coral Bells	1-Gal	72
AsVP	AsVP	Astilbe chinensis 'Visions in Pink'	Visions in Pink Astilbe	1-Gal	-
AqSS	AqSS	Aquilegia x 'Songbird Series'	Songbird Series Mixed Columbine	1-Gal	-

### Grass

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
Hese	Hese	Helictotrichon sempervirens	Blue Oat Grass	1-Gal	39

### Shrub

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
CoaB	CoaB	Cornus alba 'Baltho'	Ivory Halo Dogwood	5-Gal	30
JuSc	JuSc	Juniperus sabinia 'Scandia'	Scandia Juniper	5-Gal	17
PhopN	PhopN	Physocarpus opulifolius 'Nanus'	Dwarf Ninebark	5-Gal	30
PimuP	PimuP	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	5-Gal	22
PokD	PokD	Potentilla fruticosa 'Kathryn Dykes'	Kathryn Dykes Potentilla	5-Gal	17
PrPB	PrPB	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sand Cherry	5-Gal	53
PrOL	PrOL	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	5-Gal	30
RhGL	RhGL	Rhus aromatica 'Grow Low'	Grow Low Sumac	5-Gal	30
RIGM	RIGM	Ribes alpinum 'Green Mound'	Green Mound Currant	5-Gal	29
RoMR	RoMR	Rosa 'Meidiland Red'	Meidiland Red Rose	5-Gal	19
SycRH	SycRH	Symphoricarpos x chenaultii 'Hancock'	Hancock Coralberry	5-Gal	19
TaDG	TaDG	Taxus cuspidata 'Densiflora'	Dense Yew	5-Gal	5

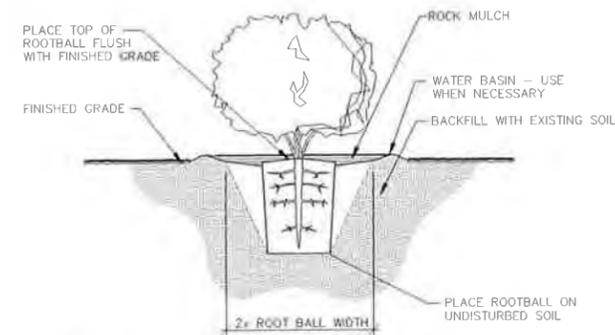
## CITY REQUIREMENTS

Landscape Element	Required	Per Plan
Deciduous Trees	32	52
Evergreen Trees	14	16

\* Trees based on calculation of 32,115 sq. ft. of landscaped area

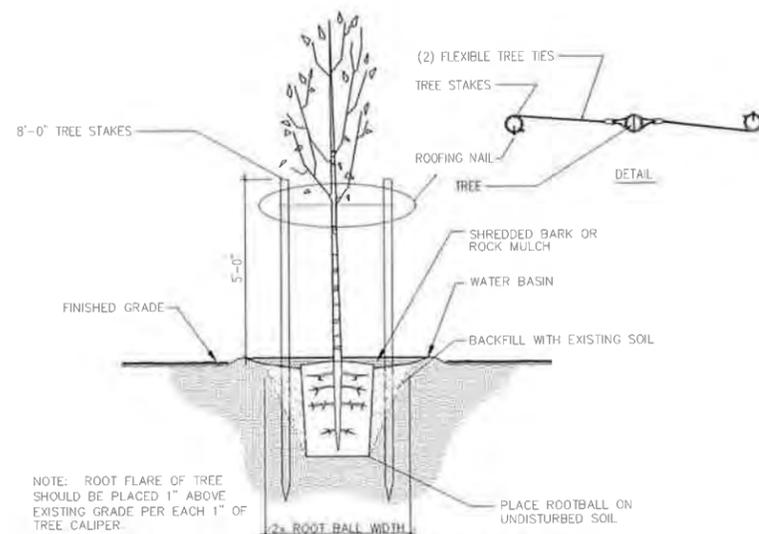
## NOTES:

- 1) Imported, screened Top Soil to be implemented in all new planting areas at the following depths: 12" in all shrub beds, 5" in all lawn areas
- 2) Lawn to be a Kentucky Bluegrass Blend (min. 3 varieties) and be implemented as sod.
- 3) 6"x6" flat concrete curbing to be implemented between all shrub bed and lawn areas as shown on plan.
- 4) Rock Mulch to be 1-1/2" size "Southtown Crushed" from Nephi Sandstone - Nephi, Utah. Implement Rock Mulch in planter beds at a 3" depth over weed barrier fabric.
- 5) Rock Mulch to be clean and free of dirt and debris, placed at uniform depth, and raked smooth.
- 6) DeWitt #5 Landscape Fabric to be implemented in all shrub beds prior to cobble rock implementation. Follow manufacturer's installation instructions.
- 7) Trees in lawn areas to have a 36" diameter grass free ring around the trunk and have a 2" depth of shredded bark mulch implemented.
- 8) No landscaping or other obstruction in excess of 3 feet above finished grade shall be implemented in clear view triangles.



**A SHRUB PLANTING DETAIL**

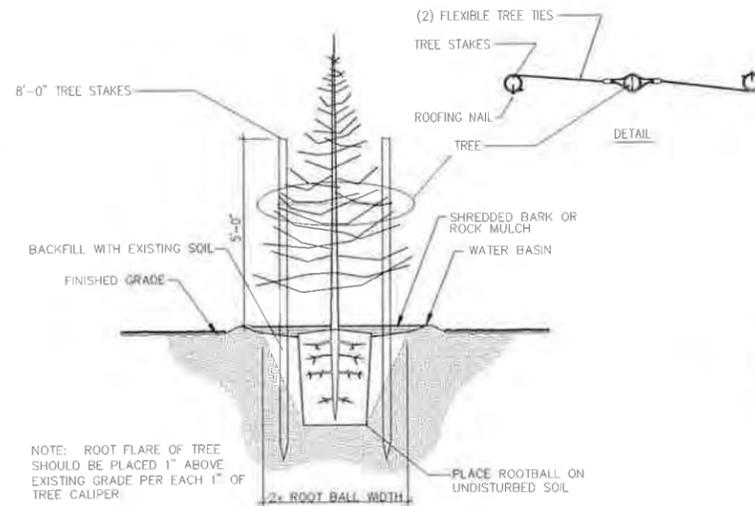
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**B DECIDUOUS TREE PLANTING DETAIL**

SCALE: NTS

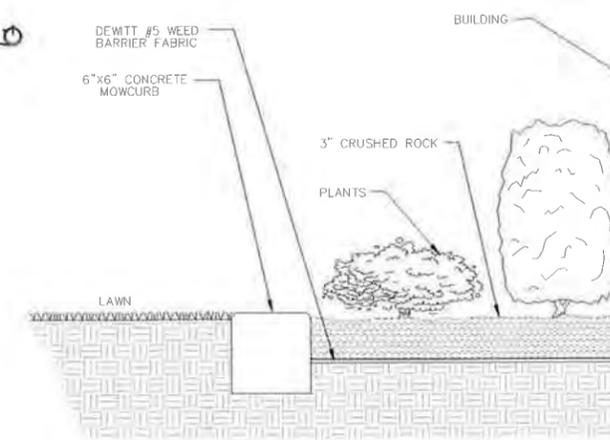
NOTE: ROOT FLARE OF TREE SHOULD BE PLACED 1" ABOVE EXISTING GRADE PER EACH 1" OF TREE CALIPER.



**C EVERGREEN PLANTING DETAIL**

SCALE: NTS

NOTE: ROOT FLARE OF TREE SHOULD BE PLACED 1" ABOVE EXISTING GRADE PER EACH 1" OF TREE CALIPER.



**D CONCRETE EDGING DETAIL**

SCALE: NTS

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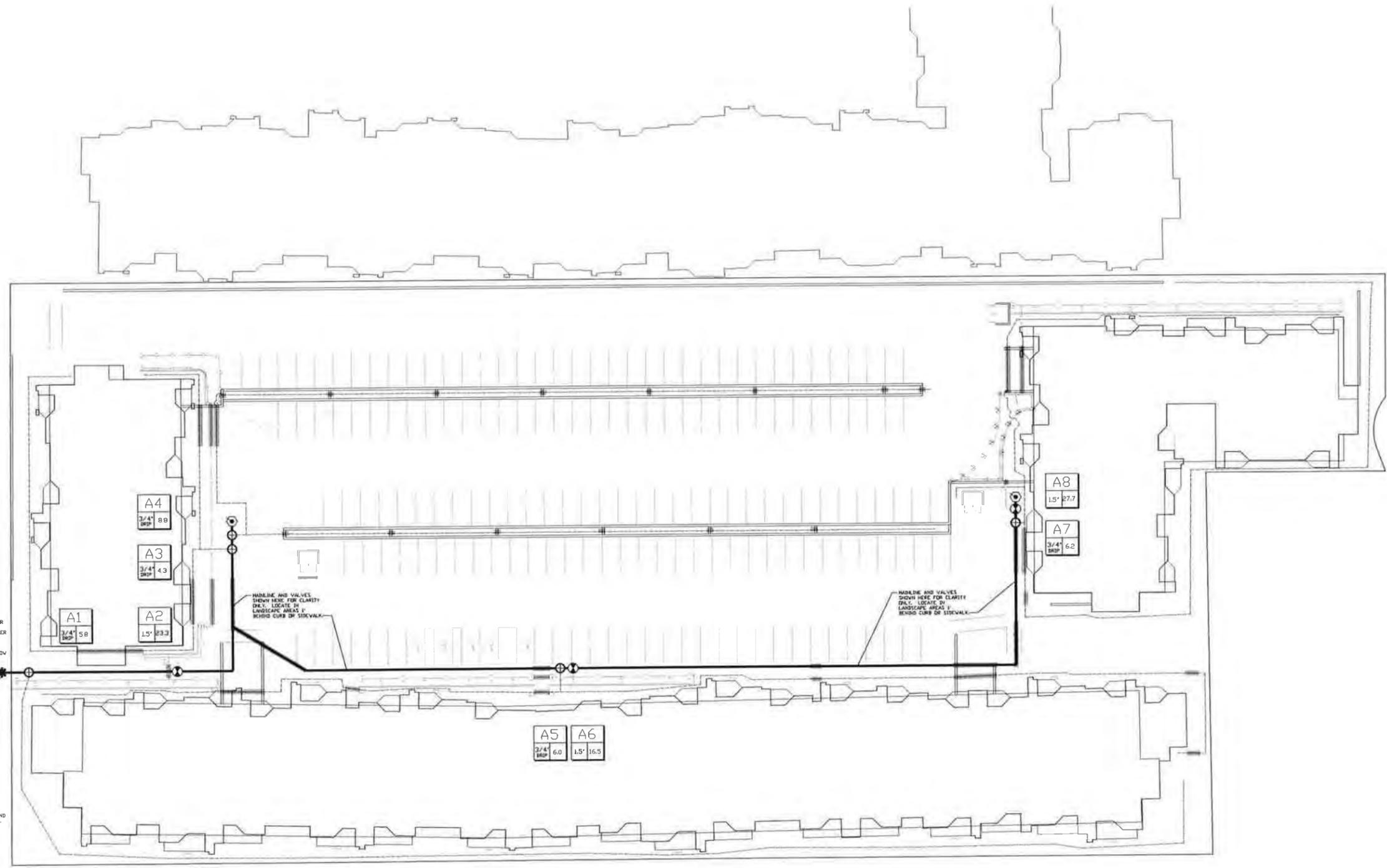
NEW RESIDENTIAL DEVELOPMENT  
**JORDAN STATION APARTMENTS PHASE 2**  
 10464 SOUTH JORDAN GATEWAY

**Architects**  
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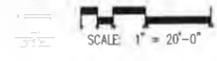
DATE	BY	DESCRIPTION
09/02/15	DW	REVISED
09/02/15	DW	REVISED

SHEET  
**L102**





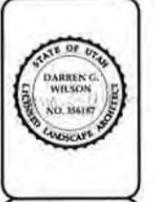
IRRIGATION PLAN



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NEW RESIDENTIAL DEVELOPMENT  
 JORDAN STATION APARTMENTS PHASE 2  
 10464 SOUTH JORDAN GATEWAY

**Architects**  
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Scale	
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Sheet	
L201	



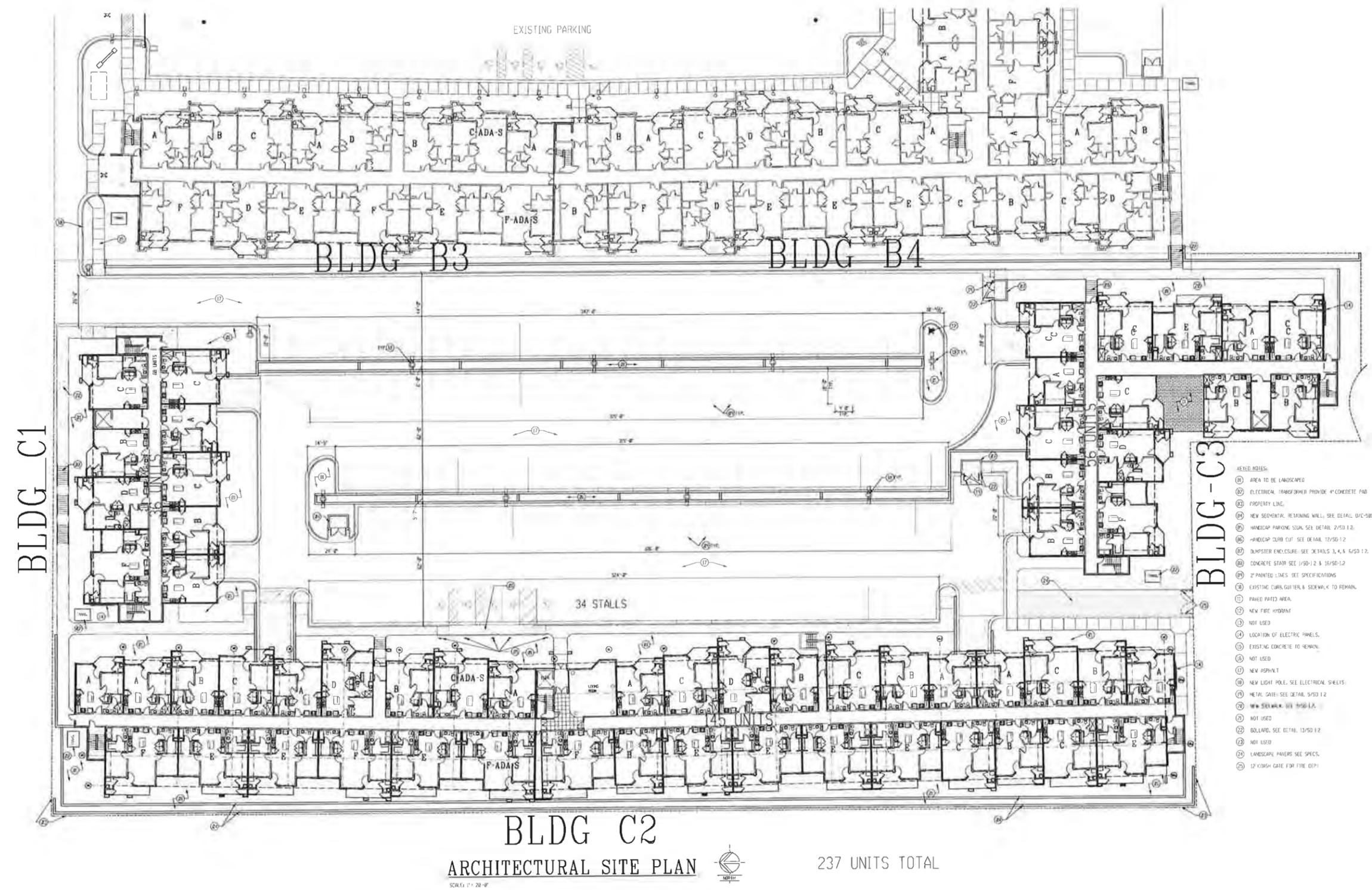
SUBMITTAL TASK	DATE
FIELD PLAN	10/20/11
CITY REVIEW #1	11/22/11



PHASE II RESIDENTIAL DEVELOPMENT  
**THE CLIFFS AT JORDAN STATION**  
 10484 SOUTH JORDAN GATEWAY

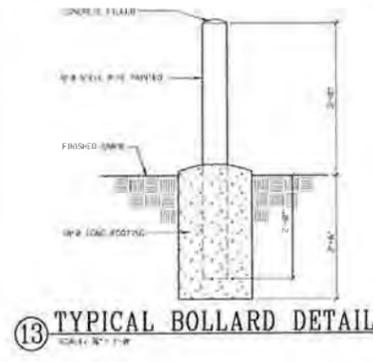
**Architects**  
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CHECKED BY	RAYMOND, VAN NOY & ASSOCIATES, INC.
DATE	10/20/11
SCALE	1/4" = 1'-0"
PROJECT NO.	10484
<b>SD-1.1</b>	

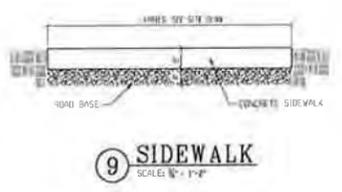


- KEYED NOTES:
- (1) AREA TO BE LANDSCAPED
  - (2) ELECTRICAL TRANSFORMER PROVIDE 4" CONCRETE PAD
  - (3) PROPERTY LINE
  - (4) NEW SEGMENTAL RETAINING WALL; SEE DETAIL DVC-500
  - (5) HANDICAP PARKING SIGN; SEE DETAIL 2/SD-1.2
  - (6) HANDICAP CURB CUT; SEE DETAIL 12/SD-1.2
  - (7) DUMPSTER ENCLOSURE; SEE DETAILS 3, 4, & 6/SD-1.2
  - (8) CONCRETE STAIR; SEE 1/SD-1.2 & 10/SD-1.2
  - (9) 2" PAINTED LINES; SEE SPECIFICATIONS
  - (10) EXISTING CURB, GUTTER, & SIDEWALK TO REMAIN
  - (11) PAVED PAVED AREA
  - (12) NEW FIRE HYDRANT
  - (13) NOT USED
  - (14) LOCATION OF ELECTRIC PANELS
  - (15) EXISTING CONCRETE TO REMAIN
  - (16) NOT USED
  - (17) NEW ASPHALT
  - (18) NEW LIGHT POLE; SEE ELECTRICAL SHEETS
  - (19) METAL GATE; SEE DETAIL 5/SD-1.2
  - (20) WWW.SDMARKET.COM 3/SD-1.2
  - (21) NOT USED
  - (22) BOLLARD; SEE DETAIL 13/SD-1.2
  - (23) NOT USED
  - (24) LANDSCAPE PAVERS SEE SPECS.
  - (25) 12" CORUSH GATE FOR FIRE DEPT.

PREPARED BY: RAYMOND, VAN NOY & ASSOCIATES, INC. ARCHITECTS AND PLANNERS. 10484 SOUTH JORDAN GATEWAY, SALT LAKE CITY, UT 84120. DATE: 10/20/11.

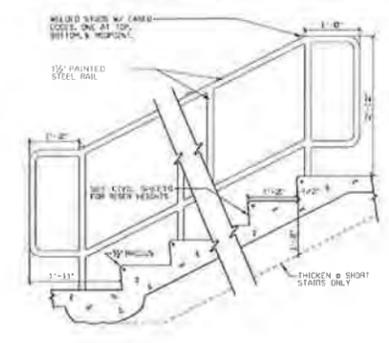


13 TYPICAL BOLLARD DETAIL  
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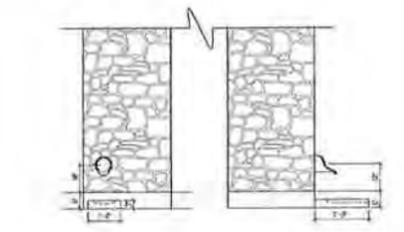


9 SIDEWALK  
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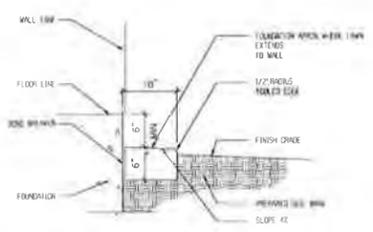
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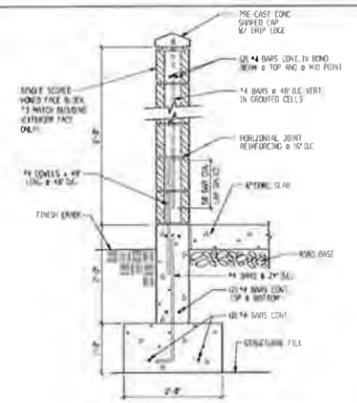
1 EXT. STAIR SECTION  
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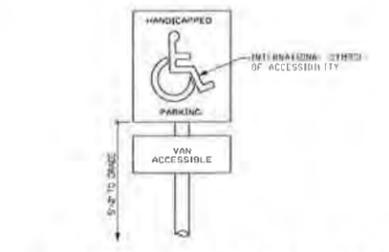
14 SPOUT AND SPLASH BLOCK  
SCALE: 3/4" = 1'-0"



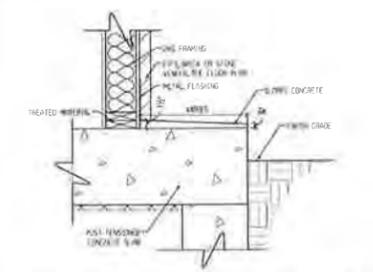
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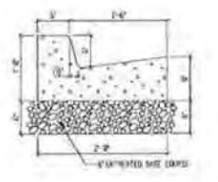
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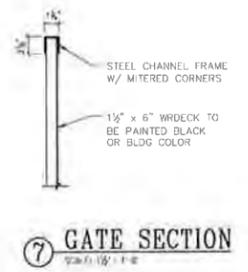
2 HANDICAP PARKING SIGN  
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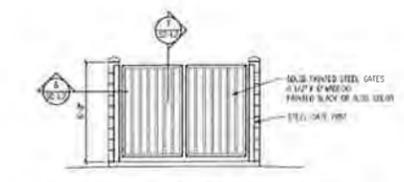
15 SLOPED CONCRETE EDGE  
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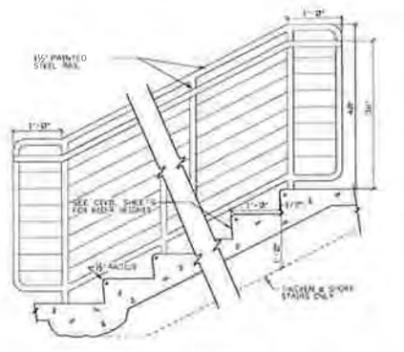
11 CURB DETAIL  
SCALE: 3/4" = 1'-0"



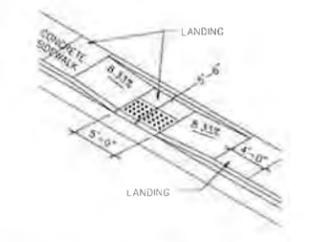
7 GATE SECTION  
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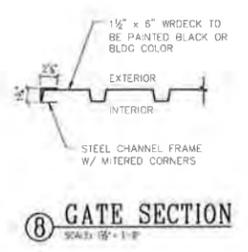
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SCALE: 3/4" = 1'-0"



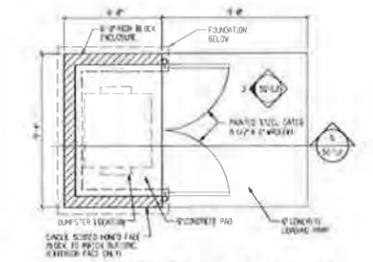
16 EXT. STAIR SECTION  
SCALE: 3/4" = 1'-0"



12 HANDICAP CURB CUT  
SCALE: NONE



8 GATE SECTION  
SCALE: 1/2" = 1'-0"



4 DUMPSTER PAD PLAN  
SCALE: 3/4" = 1'-0"

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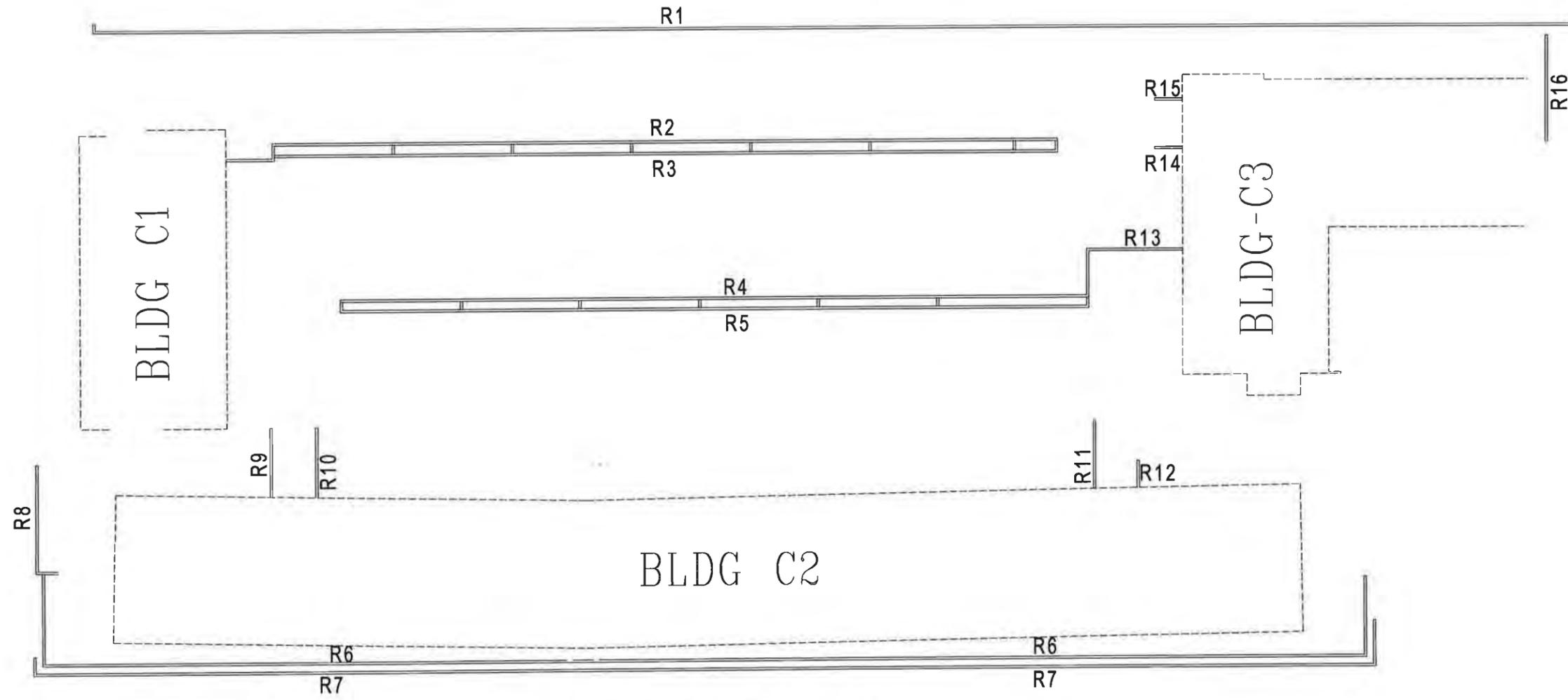
PHASE 11 RESIDENTIAL DEVELOPMENT  
THE CLIFFS AT JORDAN STATION  
10484 SOUTH JORDAN GATEWAY

Architects  
Raymond Van Nossdol & Assoc. Inc.  
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DESIGN OFFICE	
DESIGNED	
MCR	
DATE	
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SD-1.2

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RETAINING WALL PLAN  
SCALE: 1" = 20' 0"



REVISION	DATE
1	10/20/15



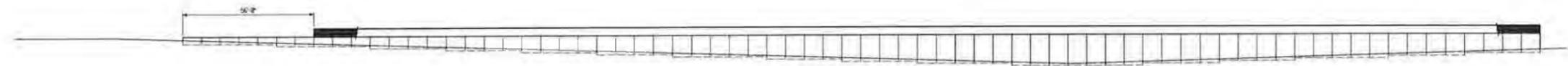
PHASE II RESIDENTIAL DEVELOPMENT  
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Architects  
Raymond • Van Noy • & Assoc. Inc.  
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1" = 20'
SHEET
SD-1.3

SD-1.3

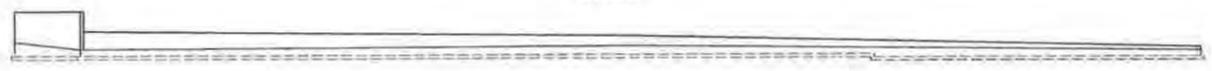
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R1 PROFILE  
SEE DETAIL SECTION



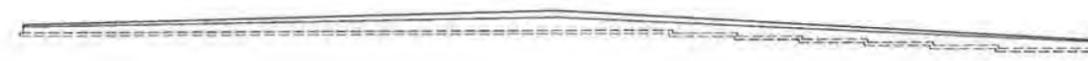
R2 PROFILE  
SEE DETAIL SECTION



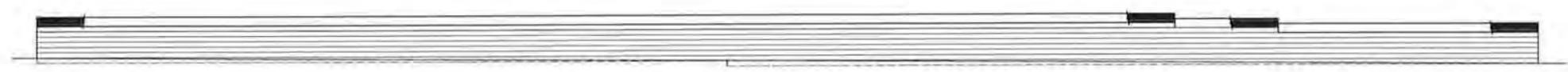
R3 PROFILE  
SEE DETAIL SECTION



R4 PROFILE  
SEE DETAIL SECTION



R5 PROFILE  
SEE DETAIL SECTION



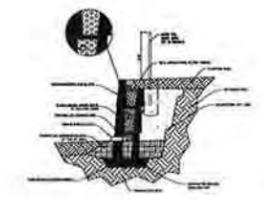
R6 PROFILE



R7 PROFILE



R8 PROFILE



SUBMITTAL	TASK	DATE



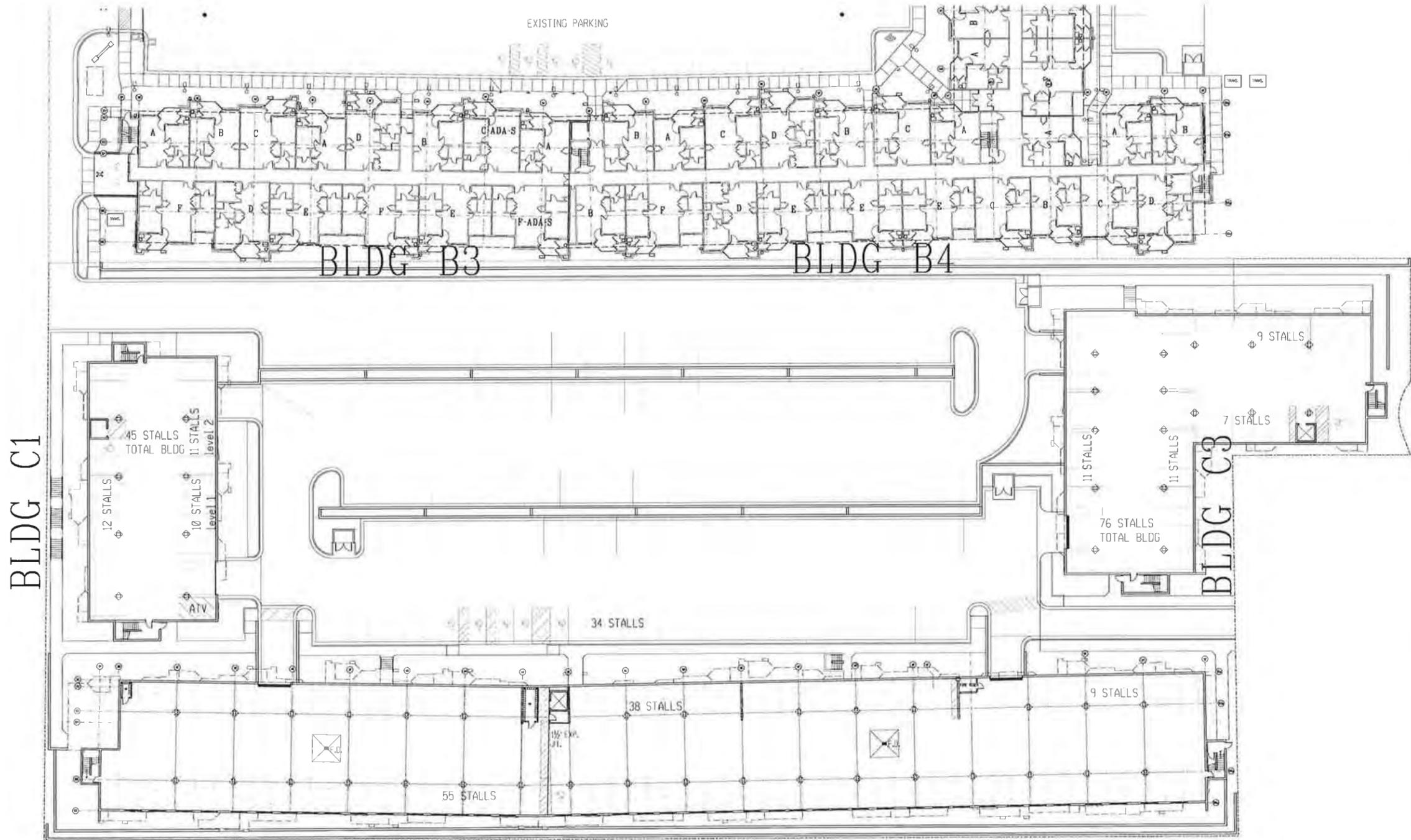
PHASE II RESIDENTIAL DEVELOPMENT  
**THE CLIFFS AT JORDAN STATION**  
 10464 SOUTH JORDAN GATEWAY

**Architects**  
 Raymond • Van Nisdol & Assoc., Inc.  
 ARCHITECTS • PLANNERS • (617) 721-1100

DESIGN	
OFFICE	
CHECKED	
DATE	
12/28/15	
SCALE	
DATE	
14-01	
SHEET	

SD-1.4

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BLDG C2  
**OVERALL LOWER PARKING PLAN**

237 UNITS TOTAL  
 PARKING REQ'D  
 179-1bdrm units x 1.5 = 269 STALLS  
 58-2bdrm units x 2.0 = 116 STALLS  
 TOTAL: 385 STALLS REQ'D

PARKING TABULATION	
SURFACE	176 STALLS
BELOW GRADE	223 STALLS
TOTAL	399 STALLS-1.7/UNIT
TOTAL INCLUDES 9 H/C STALLS	

REVISION	DATE	BY

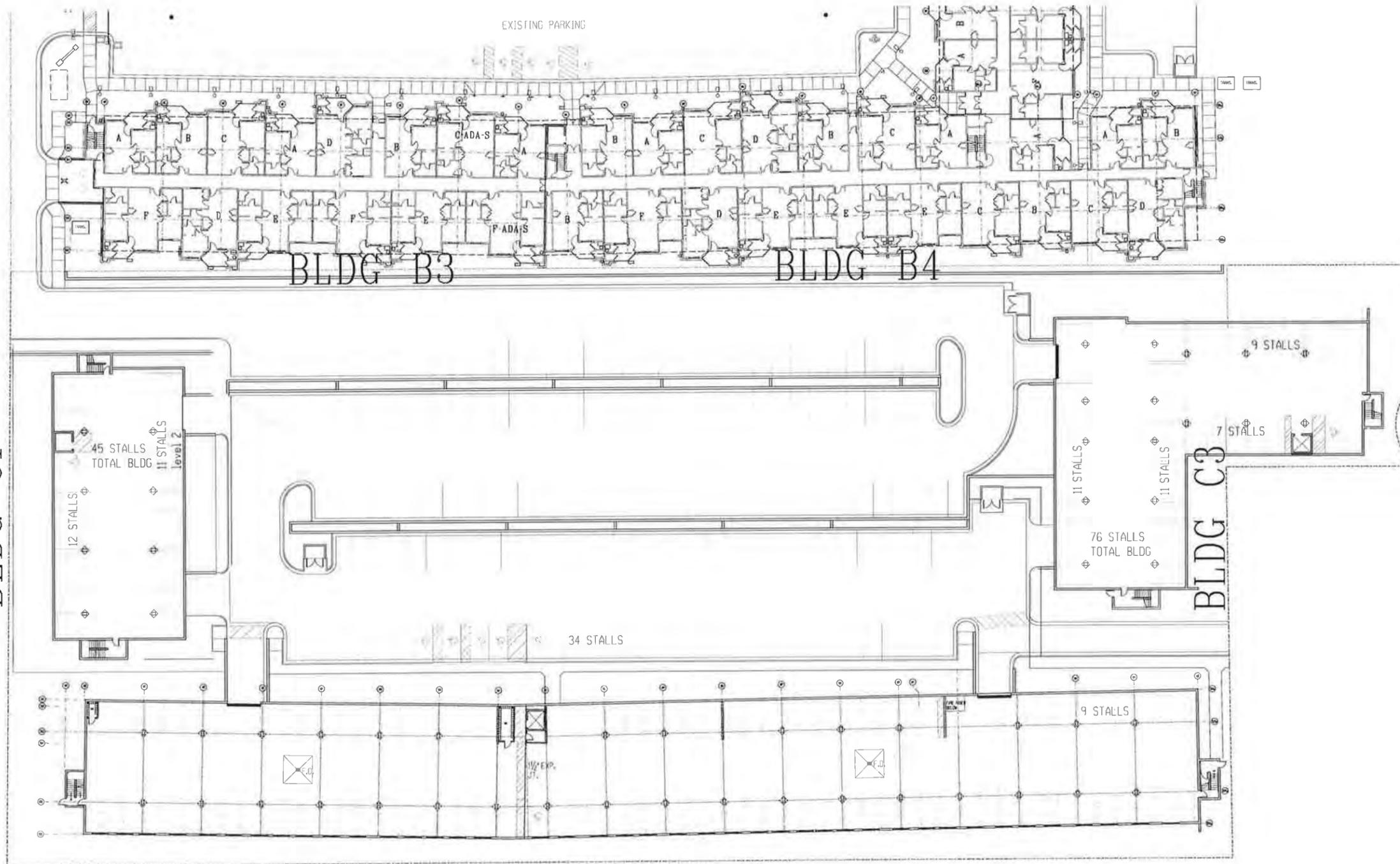


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**THE CLIFFS AT JORDAN STATION**  
 10464 SOUTH JORDAN GATEWAY

**Architects**  
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DATE	
OFFICE	
CHECKED	
DATE	
11/30/15	
SCALE	
DATE	
14-01	

BLDG C1



BLDG C2

OVERALL UPPER PARKING PLAN

237 UNITS TOTAL

SCALE: 1" = 20' 0"

PARKING TABULATION	
SURFACE	176 STALLS
BELOW GRADE	223 STALLS
TOTAL	399 STALLS=1.7/UNIT
TOTAL INCLUDES 9 H/C STALLS	

SUBMITTAL TASK	DATE
SITE PLAN	11/28/15
CITY REVIEW #1	11/28/15



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 THE CLIFFS AT JORDAN STATION  
 10464 SOUTH JORDAN GATEWAY

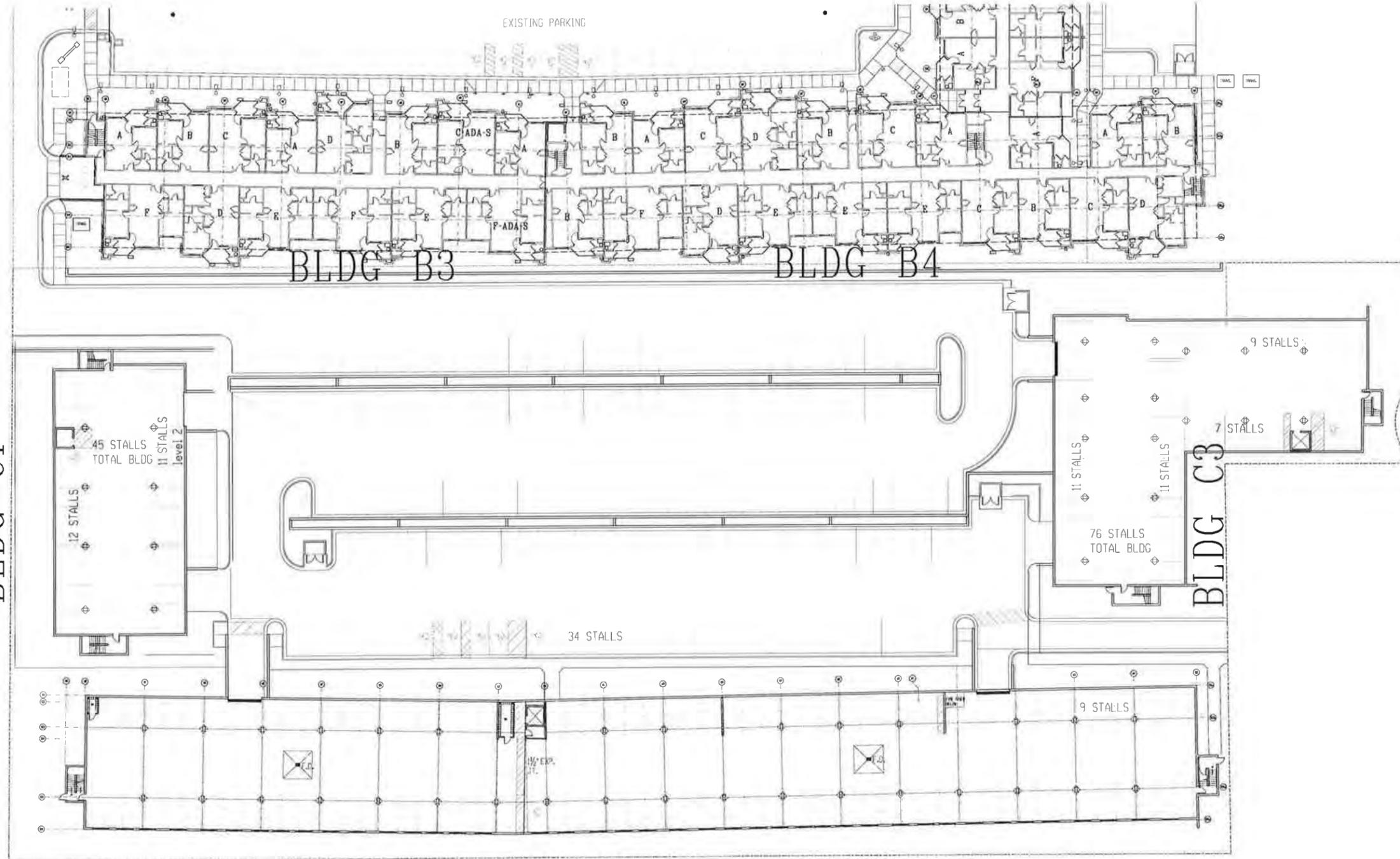
**Architects**  
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DESIGN OFFICE	
DESIGNER	
MR	
DATE	11/28/15
SCALE	

A-1.2

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BLDG C1



BLDG C2

OVERALL UPPER PARKING PLAN



237 UNITS TOTAL

PARKING TABULATION	
SURFACE	176 STALLS
BELOW GRADE	223 STALLS
TOTAL	399 STALLS=1.7/UNIT
TOTAL INCLUDES 9 H/C STALLS	

SUBMITTAL TASK	DATE
SITE PLAN	10/20/15
CITY REVIEW #1	11/20/15



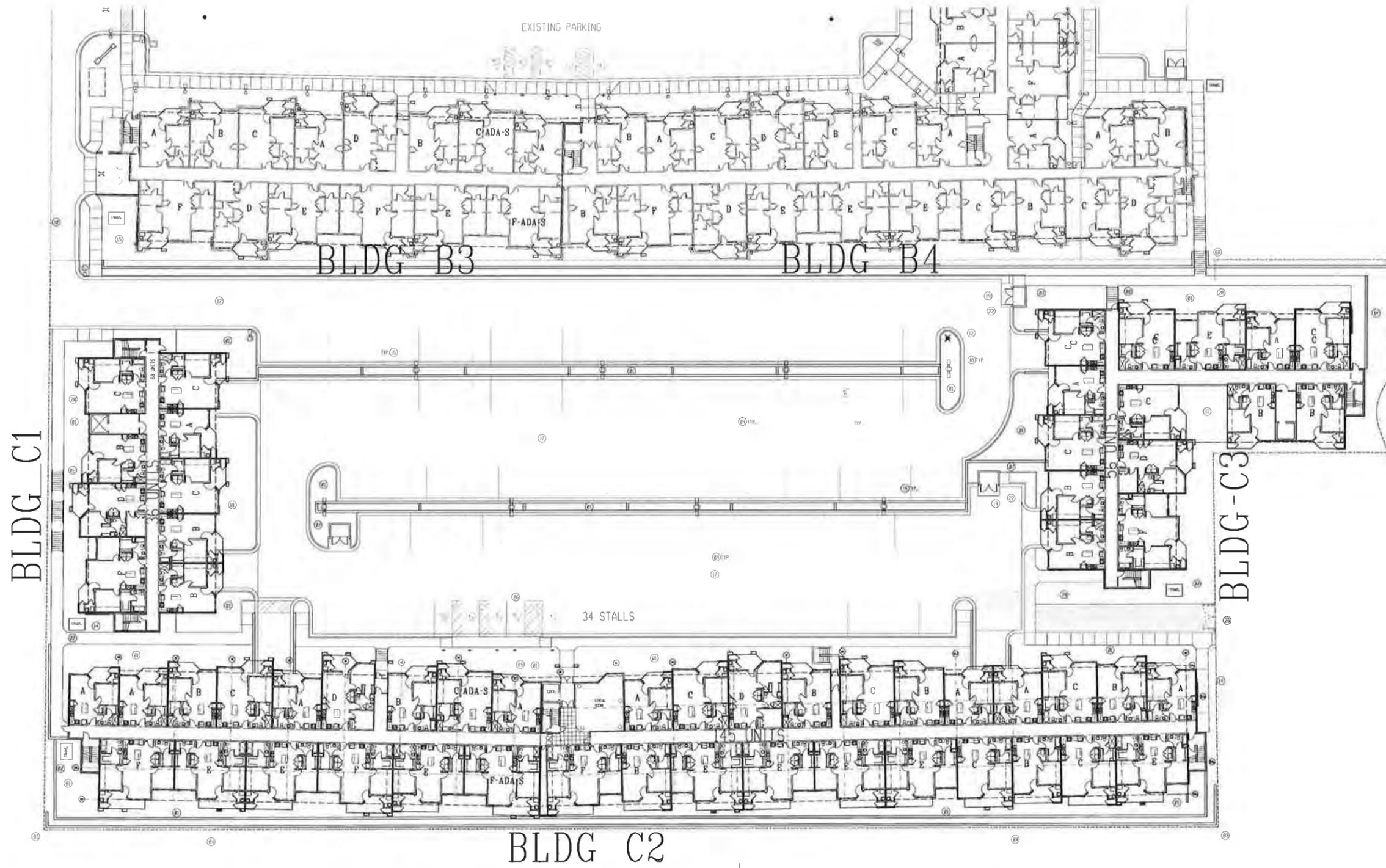
PHASE II RESIDENTIAL DEVELOPMENT  
 THE CLIFFS AT JORDAN STATION  
 10484 SOUTH JORDAN GATEWAY

**Architects**  
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DESIGN OFFICE	
DATE	11/20/15
SCALE	

A-1.2

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BLDG C2  
 OVERALL MAIN FLOOR PLAN  237 UNITS TOTAL  
 SCALE: 1" = 20' 0"

PREPARED BY: ARCHITECTS VAN NOSTRUP & ASSOCIATES, INC. 10000 VAN NOSTRUP AVENUE, SUITE 100, VAN NOSTRUP, CALIFORNIA 91321  
 DATE: 08/20/19

REVISION	DATE

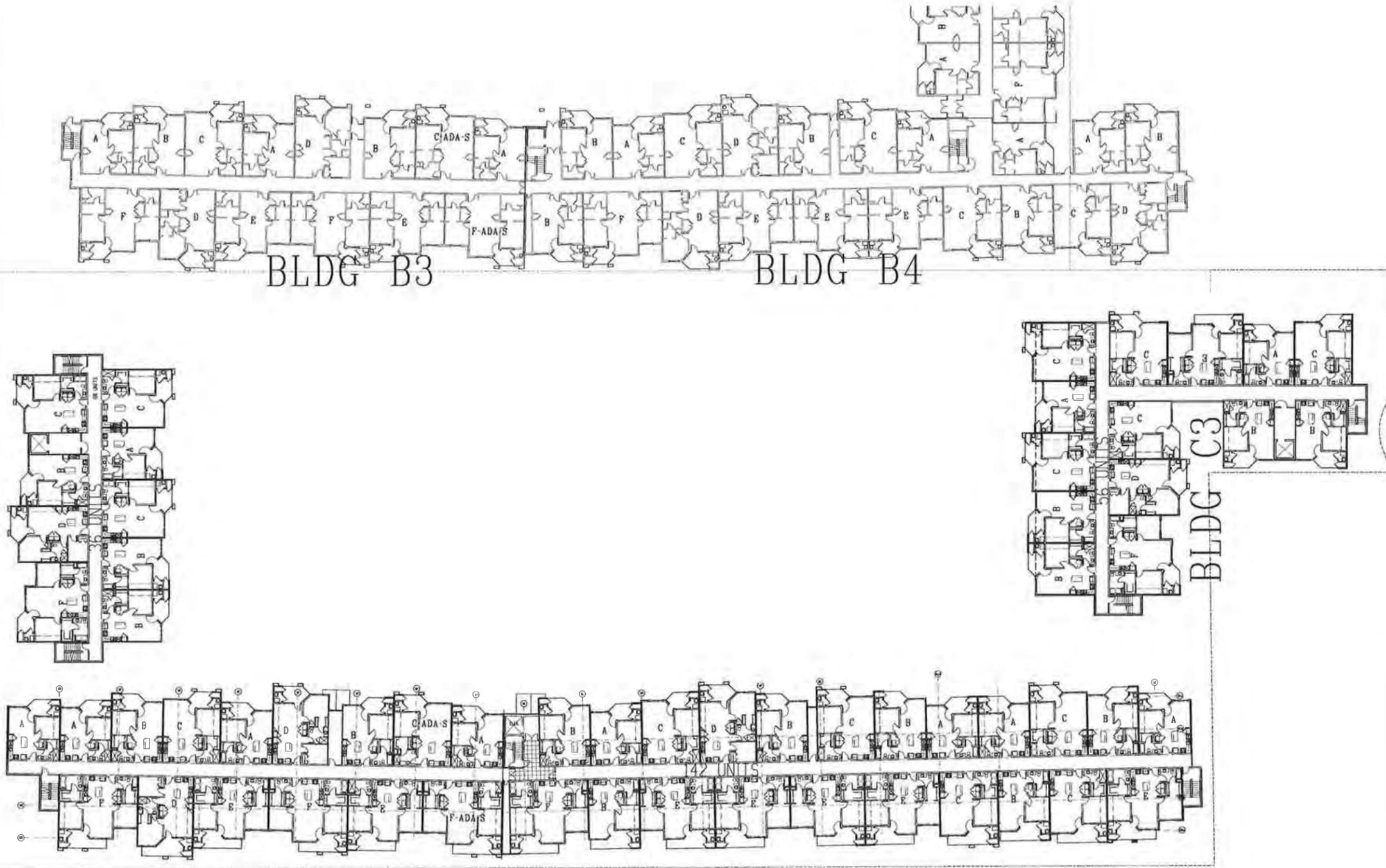


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 10464 SOUTH JORDAN GATEWAY

**Architects**  
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DATE	08/20/19
OFFICE	1400
CHECKED	
DATE	
BY	
SCALE	

BLDG C1



BLDG C2  
SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



237 UNITS TOTAL

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SUBMITTAL	TASK	DATE



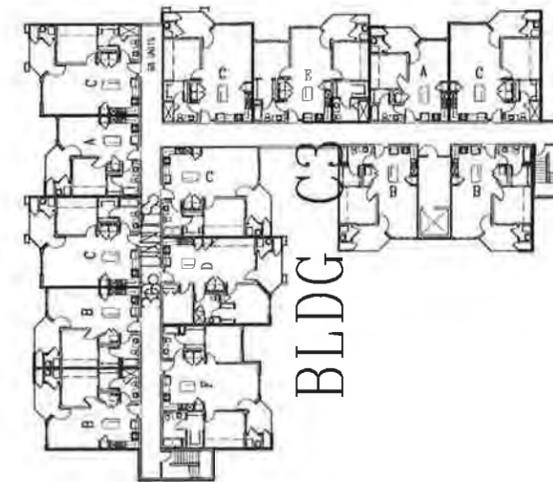
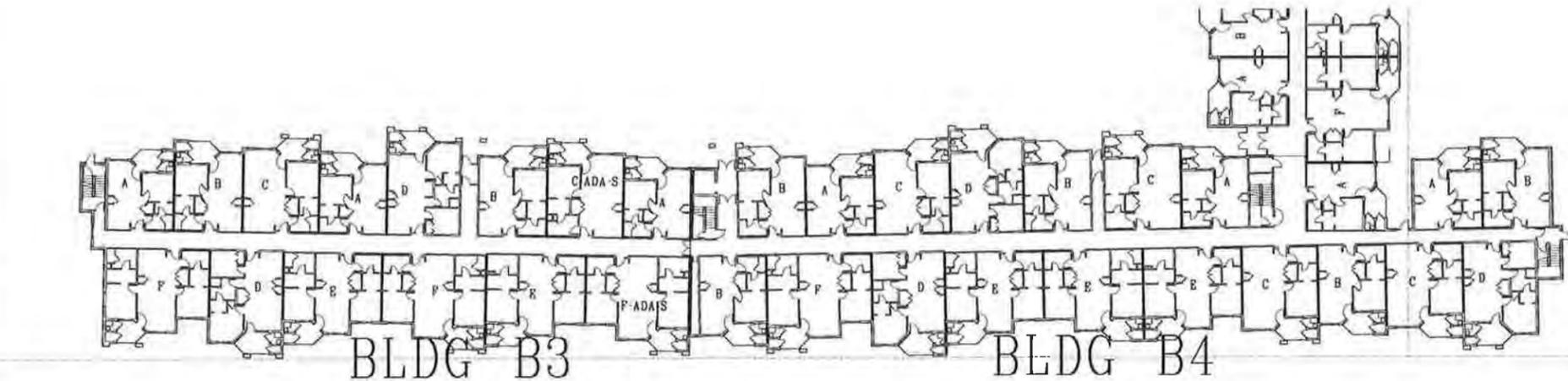
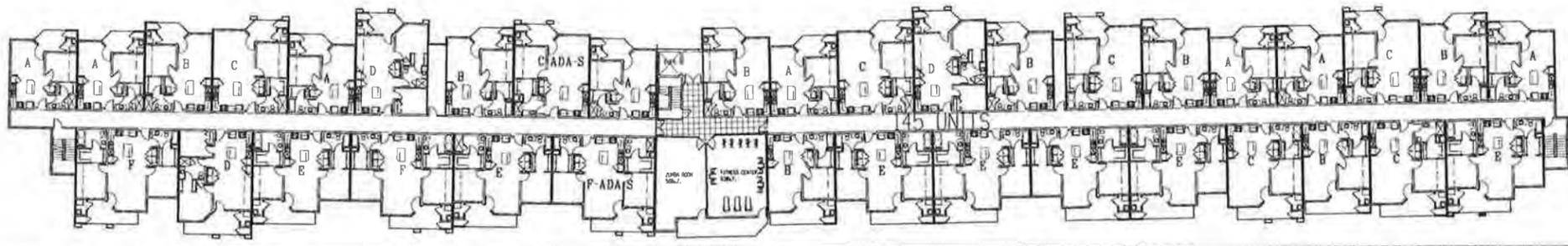
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**Architects**  
 Raymond Van Nardol & Assoc. Inc.  
 ARCHITECTS • PLANNERS • ENGINEERS

DESIGN OFFICE
DATE: MCH 18/2015
SCALE: 1/8" = 1'-0"
BY: RVD
CHECKED: RVD



BLDG C1



BLDG C2



OVERALL FOURTH FLOOR PLAN

237 UNITS TOTAL

SCALE: 1" = 20'-0"



RAYMOND VAN NOSTDL & ASSOC., INC. ARCHITECTS AND ENGINEERS, 10000 W. 10TH AVENUE, SUITE 100, DENVER, CO 80202

REVISION	DATE

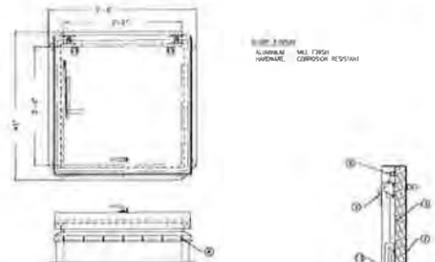


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**Architects**  
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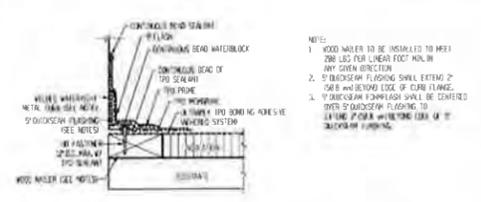
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CHECKED	
DATE	
SCALE	

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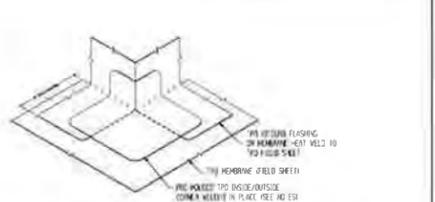
- SCALE NOTES:**
1. CURB & FLASHING CAPSULING
  2. 1/2" ALUMINUM CORNER FLASHING
  3. 1/2" x 1/2" x 1/2" ALUMINUM
  4. 1/2" x 1/2" x 1/2" ALUMINUM
  5. 1/2" x 1/2" x 1/2" ALUMINUM
  6. 1/2" x 1/2" x 1/2" ALUMINUM
  7. 1/2" x 1/2" x 1/2" ALUMINUM
  8. 1/2" x 1/2" x 1/2" ALUMINUM
  9. 1/2" x 1/2" x 1/2" ALUMINUM
  10. 1/2" x 1/2" x 1/2" ALUMINUM
  11. 1/2" x 1/2" x 1/2" ALUMINUM
  12. 1/2" x 1/2" x 1/2" ALUMINUM
  13. 1/2" x 1/2" x 1/2" ALUMINUM
  14. 1/2" x 1/2" x 1/2" ALUMINUM
  15. 1/2" x 1/2" x 1/2" ALUMINUM
  16. 1/2" x 1/2" x 1/2" ALUMINUM
  17. 1/2" x 1/2" x 1/2" ALUMINUM
  18. 1/2" x 1/2" x 1/2" ALUMINUM

**1 ROOF HATCH DET**  
SCALE: 1/8" = 1'-0"

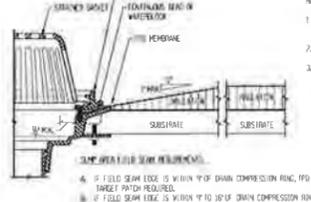


**2 ROOF FLASH'G DET**  
SCALE: 1/2" = 1'-0"

- REFER NOTES:**
1. REFER TO W-101 FOR WOOD
  2. REFER TO W-101 FOR WOOD
  3. REFER TO W-101 FOR WOOD

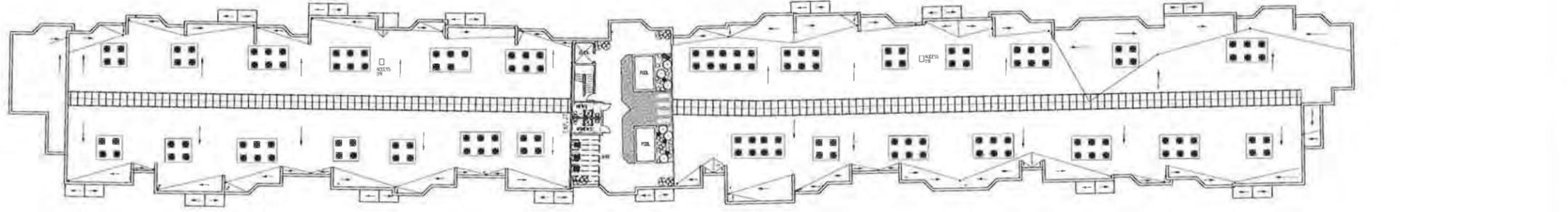
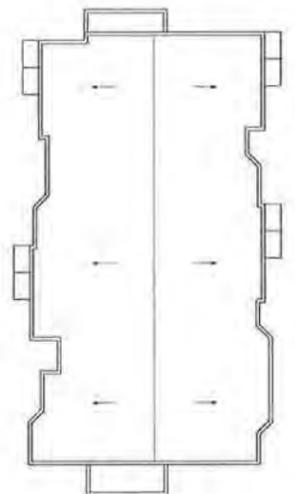


**3 CORNER MEMBRANE**  
SCALE: 1/2" = 1'-0"

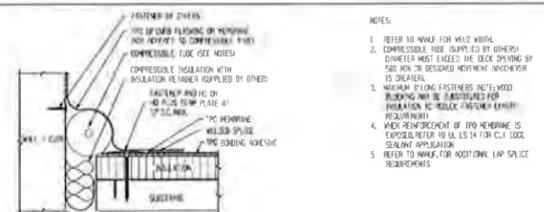


**4 ROOF DRAIN DET**  
SCALE: 1/2" = 1'-0"

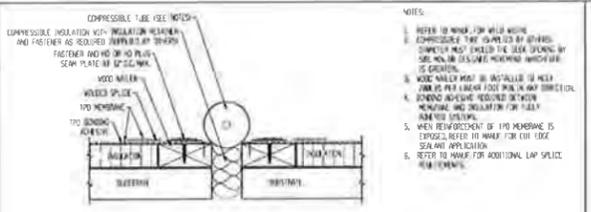
- NOTES:**
1. SEE IN MEMBRANE SHOULD EXTEND A MINIMUM OF 15" BEYOND CLAMPING RING AND SHOULD NOT BE SMALLER THAN THE DIAMETER OF THE LEADER PIPE.
  2. INSULATION POSITION TO DRAIN TO BE APPROPRIATE INSULATION WITH APPROPRIATE BONDING SURFACE.
  3. WATERSTOP SHALL BE 1/2" TO 1" OF 100% POLYURETHANE ADHESIVE WATERSTOP FOR LEADER DRAIN.



**OVERALL ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**5 ROOF EXP. JT. DET**  
SCALE: 1/2" = 1'-0"



**6 EXPANSION JOINT DET**  
SCALE: 1/2" = 1'-0"



**7 PIPE FLASH'G DET**  
SCALE: 1/2" = 1'-0"



**8 PARAPET DETAIL**  
SCALE: 1/2" = 1'-0"

REVISIONS	BY

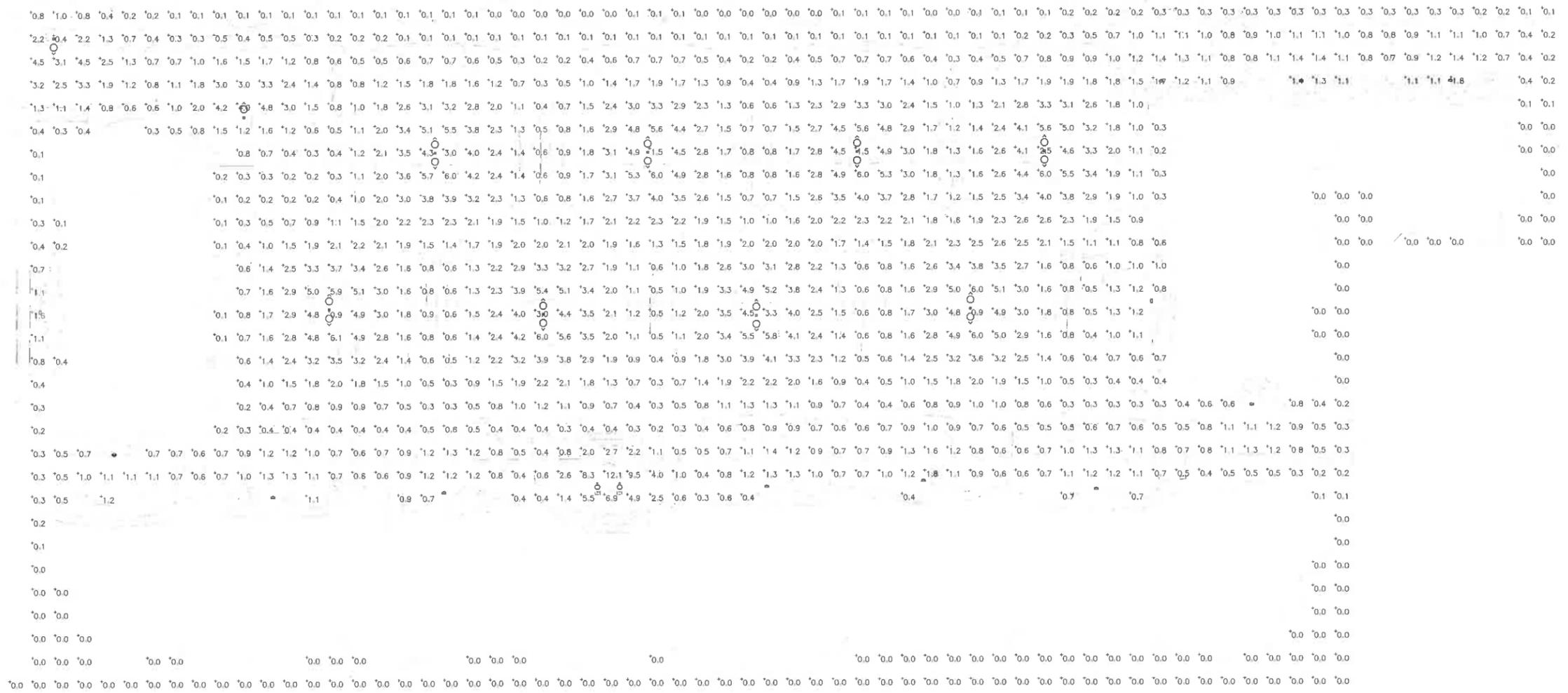


PHASE II RESIDENTIAL DEVELOPMENT  
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**Architects**  
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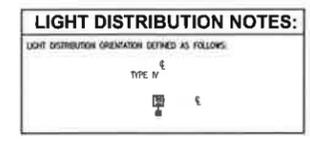
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SCALE	

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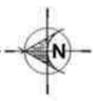


LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Description	Lamp	Lamp	Mounting	Lumens
○	SF1	2	POLE MOUNTED LED PARKING LOT FIXTURE SINGLE HEAD	100W LED ARRAY		18 Pole 3'Base	Absolute 100
○	SF2	8	POLE MOUNTED LED PARKING LOT FIXTURE SINGLE HEAD	100W LED ARRAY		18 Pole 3'Base	Absolute 201.8
○	SF3	2	Seturn 2 Cutoff LED	(5 Clusters of 30 LED's) White 30W SSL C/A Advance Driver: XTRAVUM 100W 0.35A/0.53A/0.70A 120V 60V		Wall Surface 10'	Absolute 51
□	SF4	12	30W LED WALL PACK	12- HIGHNA 3100 LEDS		Wall Surface 15'	Absolute 28.6

STATISTICS					
Description	Symbol	Avg	Max	Min	Max/Min
Calc. Zone #1	+	1.3 fc	12.1 fc	0.0 fc	N / A



PHOTOMETRIC SITE PLAN  
SCALE: 1" = 20'-0"



REVISIONS	BY

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10464 SOUTH JORDAN GATEWAY

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**RE ROYAL ENGINEERING**  
ELECTRICAL MECHANICAL  
2338 SOUTH STATE, SUITE 100 PAVOIA, UTAH 84062  
PHONE: 801.372.2228 FAX: 801.372.2818  
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DESIGNER: KUH/JCH  
CHECKED: SRC  
DATE: 08/21/15  
PHOTOMETRIC SITE PLAN  
14-01  
SHEET: E1.2